



# Building and Timber Pest Inspection Report

Inspection Date: Wed, 11 Mar 2026

Property Address: 140 Kalang Rd, Bellingen NSW 2454,  
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Wed, 11 Mar 2026

Modified Date: Mon, 16 Mar 2026

## The Parties

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Name of the Client:

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Name of the Principal(If Applicable):

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Job Address: 140 Kalang Rd, Bellingen NSW 2454, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Leon Pennell Ph: 0422 441 126  
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Company Name: Jim's Building Inspections (Coffs Harbour)

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Company Address and Postcode: Coffs Harbour 2450

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Company Email: Coffsharbour@jimsbuildinginspections.com.au

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Company Contact Numbers: 0422 441 126

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: There were limiting factors that prevented a thorough inspection of several areas in and around the home at the time of this inspection. These areas have been documented in this report. Please read the report in its entirety.

A thermal imaging camera and moisture metre were used in the inspection of this house.

Areas of the yard were not inspected due to excessive vegetation.

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>		✓
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>	✓	
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>	✓	

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in poor condition with safety hazards identified. Major and minor defects were also found.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

## Section B General

### General description of the property

Building Type	Rural
Company or Strata title	No
Floor	Timber and masonry piers, timber floor structure with sheet and strip flooring
Furnished	Unfurnished
No. of bedrooms	4
Occupied	Unoccupied
Orientation	East
Other Building Elements	Carport, Water Tanks, Retaining Walls, Porch
Other Timber Bldg Elements	Fascias, Floorboards, Internal Joinery, Landscaping Timbers and Construction, Architraves, Architectural Trims, Skirting Boards, Stair Railing, Staircase, Deck, Doors, Door Frames, Stumps, Timber Wall Panelling, Veranda Posts, Weatherboards, Window Frames
Roof	Corrugated Iron (e.g. Colourbond)
Storeys	Single
Walls	Timber Framed and Clad, Weatherboards
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Posts
- Exterior
- Roof Exterior - Part
- Interior
- Gardens
- Stumps
- Landscaping Timbers
- Subfloor
- The Site
- Timber Retaining Walls
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of skillion or flat roof - no access
- Ceiling Cavity.
- Exterior Roof Surface - Second Storey.
- Roof Exterior - Part
- Roof Void due to lack of access.
- Site - Part.

- Timber retaining walls due to obstructions.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

## Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Debris in gutters
- Above safe working height
- Debris or rubbish
- Areas of skillion or flat roof - no access
- Ceiling linings
- Fixed Furniture - Built-in Cabinetry
- External concrete or paving
- Landscaping
- Patio
- No safe point from which to access roof exterior
- Overhanging vegetation
- Sarking
- Stored items
- Solar Panels
- Unsafe to Access Roof - No Fall Protection System
- Vegetation
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where

ever possible and re-inspect these areas urgently.

### Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

No evidence was found

### Major Defect

#### Finding 2.01

Building: Main Building  
Location: Roof Exterior  
Finding: Roof exterior and guttering  
Information: At the time of this inspection, the roof sheeting, roof flashings and roof penetration flashings appeared to be in weathered and poor condition with some deterioration evident.

The guttering was generally full of leaf litter and water and has minor rusting in the bottom of the gutters in areas. It is recommended that the guttering be cleaned out as soon as possible.

There were numerous rusted roofing screws, these should be replaced by a roofer.

It was observed that the hot water solar panels and the electrical solar panels had extensive mould and fungus evident, it is recommended that these items and the roofing be pressure cleaned.

The roof was inspected from a ladder only, due to Workplace Health and Safety constraints.

It is recommended that a roofer thoroughly inspect the roof sheets, roof flashings and guttering as soon as possible and provide required maintenance.







## Finding 2.02

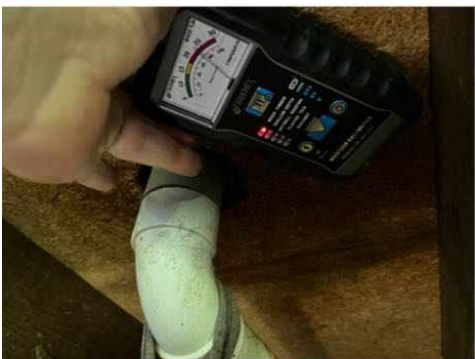
Building:	Main Building
Location:	Subfloor
Finding:	Subfloor space - defects
Information:	At the time of this inspection it was observed that there were numerous defects in the subfloor area,

1 - The subfloor has a combination of masonry piers to the front wall and timber posts buried in the ground. It was observed that the masonry piers has metal ant caps fitted. The timber posts had no termite protection. It is recommended that a timber pest expert provide terminate protection to all timber posts as soon as possible.

2 - It was also noted that there was wet soil and areas where water runs under the floor, a plumber should be engaged to provide additional drainage to the front of the house to eliminate this issue.

3 - It was observed that some sections of the excessive vegetation was in contact with the timber floor structure elements, it is recommended that this vegetation be removed as soon as possible.

4 - It was further observed that some water was running down the rear wall timber cladding and under the floor structure creating water damage and mould. It is recommended that a carpenter repair any damage to the wall cladding and seal this junction.





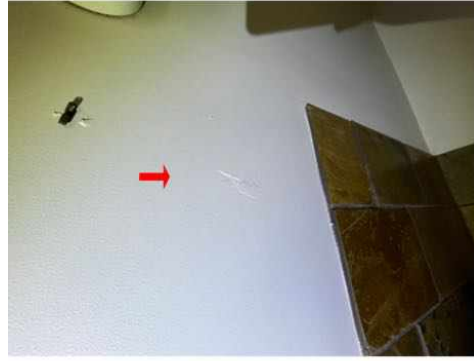
**Finding 2.03**

Building: Main Building  
Location: Powder room  
Finding: Powder room - defects  
Information: At the time of this inspection it was observed that there were a number of defects in the powder room area,

It appears that the water is leaking from the powder room and causing damage to the floor of the powder room, as detailed in this report under “excessive moisture”.

It is recommended that the powder room be renovated as soon as possible.





### Finding 2.04

Building: Main Building  
 Location: Powder room  
 Finding: Moisture - powder room excessive moisture evident  
 Information: At the time of this inspection a moisture meter was used to take reading of moisture outside the shower cubicle on both tiled walls.

An excessive moisture reading was evident in the wall tiles around the shower and bath.

The moisture readings in the tiles ranged from 22 to 28 on the moisture metre out of a

maximum of 30.

Water damage was evident under the bathroom floor and it appears that water is leaking from the shower area.

It is assumed that the waterproofing membrane has failed in the shower/ bathroom area.

It is recommended that a builder and plumber investigate this issue further to determine the cause of the excessive moisture content in the wall tiles and damage to the flooring and suggest remedial works to fix the underlying issue.





### Finding 2.05

Building: Main Building

Location: Timber floors

Finding: Timber floors - out of level

Information: At the time of this inspection it was observed that the timber floors were generally level throughout the house.

However the floors in several rooms were out of level out of level (hump) in several directions by between 10mm and 30mm over the length of a 2m long level.

It is assumed that this is as a result of minor movement in the subfloor piers and floor.

It is recommended that a builder thoroughly inspect the subfloor area to determine any remedial works required to level the floors, at your discretion.





### Finding 2.06

Building: Main Building

Location: Subfloor

Finding: House drainage

Information: It was observed that there was no barrier to prevent water running under the house, it was also noted that there was no drainage at the front of the house to capture surface or subsoil water. It is recommended that a plumber install a sub soil agg drain to collect all water before it gets to the house and retaining walls, this work should be completed as soon as possible.

Damp soil under the house has the potential to attract termites and cause mould.





**Minor Defect**

**Finding 3.01**

Building: Main Building  
Location: Carport  
Finding: Carport - defects  
Information: At the time of this inspection it was observed that the two carports at the front of the house were in poor condition and should be repaired or replaced.





**Finding 3.02**

Building: Main Building  
Location: Water tanks  
Finding: Concrete water tanks - defects  
Information: It was observed at the time of this inspection that the concrete water tanks had excessive mould and fungus growth evident to the external areas, also noted was a water leak to the one tank where the pipe joins the tank. It is recommended that the vegetation around the tanks be cleared and tanks cleaned for inspection and repair.





### Finding 3.03

Building:	Main Building
Location:	Rear covered deck
Finding:	Rear covered deck - defects
Information:	It was observed at the time of this inspection that the rear covered deck and rear wall area was in poor condition.

Maintenance is required to a number of items in this area, decking, timber balustrade, timber wall cladding, timber fascias and timber window and door frames all require repairing, sanding and re coating, it is recommended that a carpenter and painter complete these work as soon as possible.

It was also observed that the steel balustrade elements were severely rusted in areas, it is recommended that a steel worker grind off the rust make any required repairs and re prime and paint the steel elements as soon as possible.

It was also observed that the rear eaves sheets and sarking to the underside of the deck roof were mouldy and should be pressure cleaned and repainted.

The guttering should be cleaned of leaf litter.





Finding 3.04

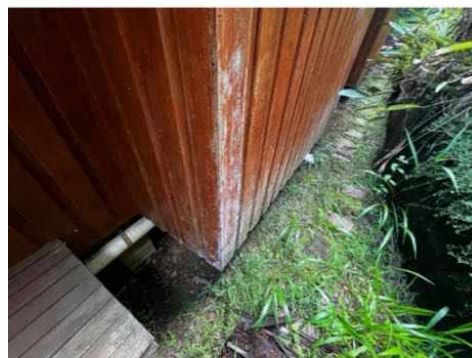
Building: Main Building  
Location: Exterior walls - front  
Finding: Exterior area front - defects  
Information: It was observed at the time of this inspection that there were a number of defects at the front of the house,

Maintenance is required to a number of items in this area, timber wall cladding, timber fascias and timber window and door frames all require repairing, sanding and re coating, it is recommended that a carpenter and painter complete these work as soon as possible.

It was also observed that the front eaves sheets were mouldy and should be pressure cleaned and repainted.

The guttering should be cleaned of leaf litter.

It was observed that the front down pipe bracket was broken, a plumber should re fit the bracket as soon as possible.







**Finding 3.05**

Building: Main Building  
Location: All External Areas  
Finding: Rear paved area - defects  
Information: At the time of this inspection it was observed that there was a paved footpath to the right side and rear of the house, it was observed that there were sunken areas in the paving.

It is recommended that a landscaper be engaged to replace any broken pavers and re level any areas of paving as soon as possible, there are possible trip hazards.



### Finding 3.06

Building: Main Building

Location: Laundry

Finding: Laundry - defects

Information: At the time of this inspection it was noted that there were a number of minor defects in the laundry.

1 - It was observed that the laundry tub and cabinet require replacement, the steel cabinet was rusted and the plastic tub stained.

2 - It was observed that there was damage to one linen cupboard door with a timber slat missing, a carpenter should repair the door.

3 - It was also observed that the timber to the window and door frames was weathered with minor damage, it is recommended that a painter prepare and repaint the entire room.





### Finding 3.07

Building: Main Building

Location: Toilet (WC)

Finding: Toilet - defects

Information: It was observed at the time of this inspection, it was observed that there was minor damage to the timber passage door, wall sheeting and timber architrave, it is recommended that a painter should prepare all surfaces and repaint the entire room.



### Finding 3.08

Building: Main Building

Location: Breezeway  
Finding: Breezeway - defects  
Information: It was observed at the time of this inspection, it was observed that there was minor damage to the timber passage door and wall cladding, it is recommended that a painter should prepare all surfaces and repaint the entire room.

It was also observed that there was a hole in the timber cladding and appears to be missing a cover. A carpenter should fit a cover to this hole.



**Finding 3.09**

Building: Main Building

Location: Hallway

Finding: Hallway - defects

Information: At the time of this inspection several defects were observed in the hallway,

It was observed at the time of this inspection, that there were areas of rough finish to the wall sheets in the hallway, it is recommended that a plasterer re set the wall joins.

It was also observed that there was a timber trim missing from behind the passage door, this should be fitted by a carpenter.

It was also observed that there was minor damage to the floor coverings, it is recommended that new floor coverings be installed at your discretion.

It is recommended that all surfaces be prepared and a painter re paint the entire room.





### Finding 3.10

Building: Main Building

Location: Bedroom 3

Finding: Bedroom 3 - defects

Information: At the time of this inspection several defects were observed in bedroom 3,

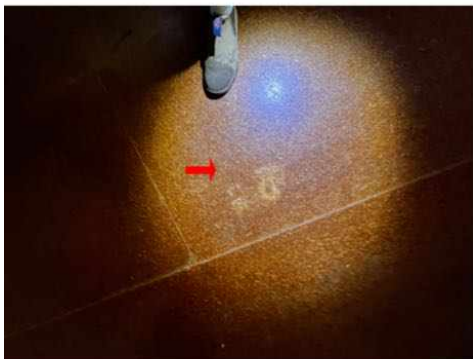
It was observed that there were no floor coverings fitted to the bedroom it is recommended that floor coverings be installed at your discretion.

The passage door was damaged and was binding on the bottom lock side, it is recommended that the door be repaired or replaced by a carpenter.

It was observed that the seal was loose in the window, it is recommended that a glazier provide maintenance top all timber windows and doors.

It is recommended that all surfaces be prepared and a painter re paint the entire room.





### Finding 3.11

Building: Main Building

Location: Hallway 2

Finding: Hallway 2 - defects

Information: At the time of this inspection it was observed that there was minor damage to the timber door jambs and wall area in hallway 2.

It is recommended that all surfaces be repaired by a painter and the entire room be repainted.



### Finding 3.12

Building: Main Building  
 Location: Bathroom  
 Finding: Bathroom - defects  
 Information: At the time of this inspection it was observed that there were a number of defects in the bathroom area,

1 - It was observed that the timber vanity bench was water affected, it is recommended that a painter sand and re coat the timber top.

2 - It was also observed that the timber window and frame was weathered and should be sanded and repainted.

3 - The bath tub had staining, this should be cleaned if possible.



### Finding 3.13

Building: Main Building

Location: Bedroom 2

Finding: Bedroom 2 - defects

Information: At the time of this inspection several defects were observed in bedroom 2,

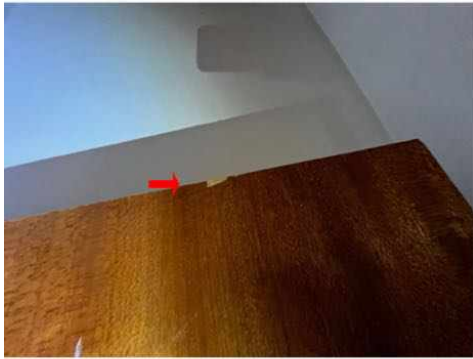
It was observed that there were no floor coverings fitted to the bedroom it is recommended that floor coverings be installed at your discretion.

The passage door was damaged and the lock was damaged, it is recommended that the door be repaired or replaced by a carpenter.

The external door was not operational, it is recommended that a carpenter change the lock.

All timber windows and doors and frames were weathered with minor damage, it is recommended that all surfaces be prepared and a painter re paint the entire room.





### Finding 3.14

Building: Main Building

Location: Bedroom - Master

Finding: Bedroom 1 - defects

Information: At the time of this inspection several defects were observed in bedroom 1,

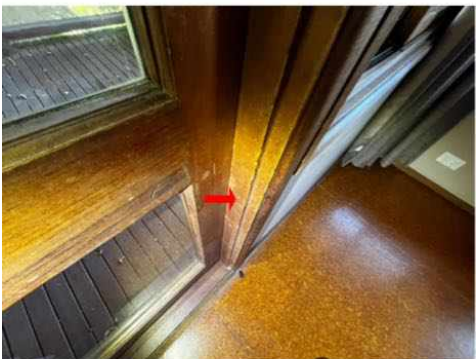
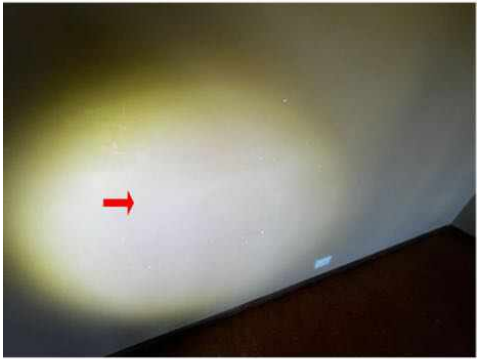
1 - It was observed that there was minor cracking and damage to the wall sheeting, all areas should be patched and repainted.

2 - Minor marking was observed to the ceiling in one area, this area should be repainted at your discretion.

3 - It was observed that all timber windows and doors were weathered and should be prepared and repainted.

4 - It was observed that a trim was broken to the external door, a carpenter should repair the door and all surfaces be repainted.







### Finding 3.15

Building: Main Building

Location: Study

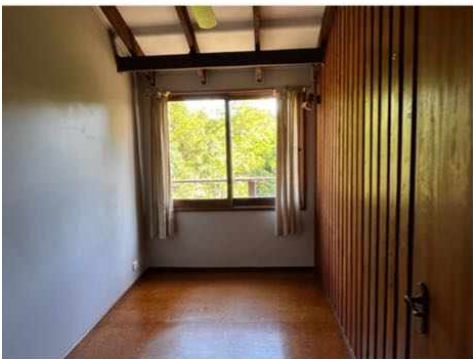
Finding: Study - defects

Information: At the time of this inspection several defects were observed in the study,

It was observed that there were no floor coverings fitted to the bedroom it is recommended that floor coverings be installed at your discretion.

All timber windows and doors were weathered and should be prepared by a painter.

It is recommended that all surfaces be prepared and a painter re paint the entire room.





### Finding 3.16

Building: Main Building  
 Location: Lounge Room  
 Finding: Lounge room - defects  
 Information: At the time of this inspection it was observed that there were a number of defects in the lounge room,

1 - It was observed that there was minor damage to the wall sheeting and ceiling sheeting where replacement items have been fitted, these unpainted areas should be prepared and painted.

2 - It was observed that there was mould growth and marking evident to areas of the ceiling, the ceiling should be cleaned and repainted.

3 - All timber windows and doors were weathered and require preparing and re coating. Also observed were a number of minor areas of maintenance required and should be provided by a glazier.

4 - It was observed that there was minor damage and scratching to the timber flooring, a flooring expert should sand and re coat the floor at your discretion.



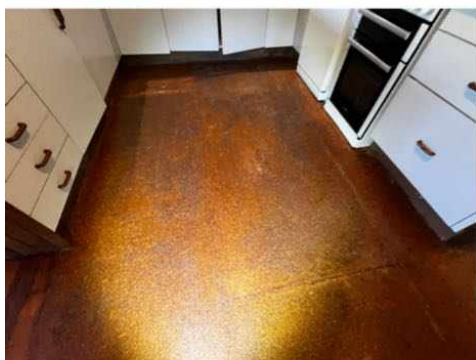




**Finding 3.17**

Building: Main Building  
Location: Kitchen  
Finding: Kitchen - minor defects  
Information: At the time of this inspection, it was observed that the kitchen and pantry were in poor condition, it is recommended that the areas be renovated as soon as possible.





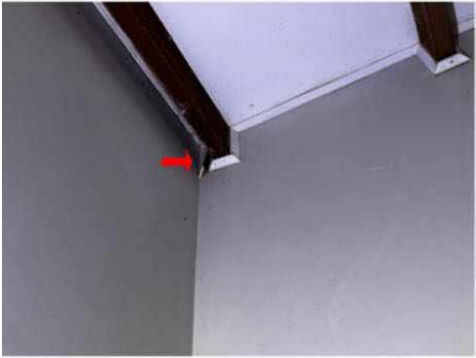
### Finding 3.18

Building:	Main Building
Location:	Bedroom 4
Finding:	Bedroom 4 - defects
Information:	<p>At the time of this inspection several defects were observed in bedroom 4,</p> <p>1 - It was observed that there was minor damage to the wall sheeting with areas unpainted, all areas should be patched and repainted.</p> <p>2 - A timber trim to the rafter was loose, a carpenter should re fix the trim.</p> <p>3 - It was observed that all timber windows and doors were weathered and should be</p>

prepared and repainted.

4 - It was observed that the fly screen was damaged and the timber window would not close, it is recommended that a glazier provide maintenance to all timber windows and doors.

5 - No floor coverings were fitted to this room and there was damage to the floor sheets, it is recommended that floor coverings be fitted at your discretion.



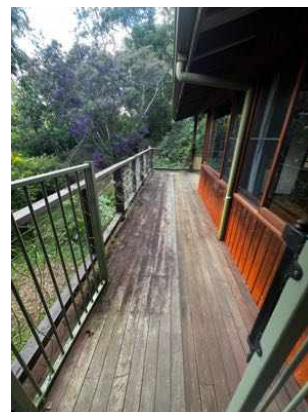
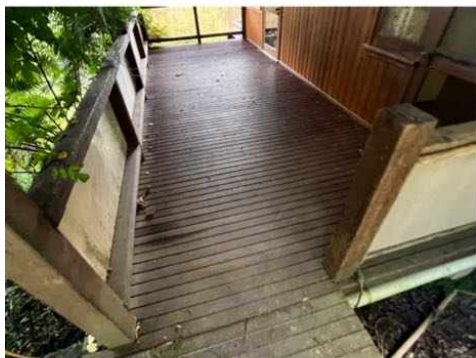


### Finding 3.19

Building:	Main Building
Location:	Decks
Finding:	External Timber Balcony or Deck - Structural Stability
Information:	The load capacity of the external balcony or deck could not be verified during the inspection.

External timber structures are also constantly exposed to weather elements and can deteriorate in an accelerated manner, ongoing assessments are required.

It is highly recommended that a Structural Engineer further assess the external timber balcony or deck to inform the client of its load capacity. Regular maintenance inspections by competent practitioners is needed.



## Live Timber Pest Activity

No evidence was found

## Timber Pest Damage

No evidence was found

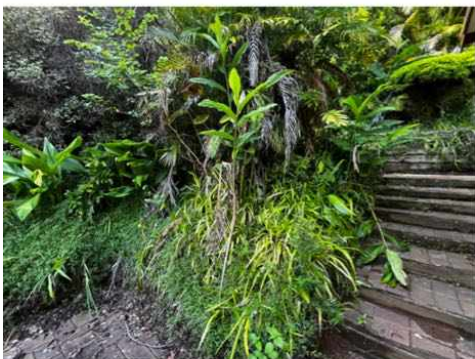
## Conditions Conducive to Timber Pest Activity

### Finding 6.01

Building: Main Building  
Location: All External Areas  
Finding: Overgrown vegetation  
Information: Extensive and overgrown vegetation was observed to all areas of the house and yard, this vegetation should be thinned out or removed and all areas reinspected.

In areas the vegetation is causing damage to the building.





Finding 6.02

Building: Main Building  
Location: All External Areas  
Finding: Possible concealed termite entry areas - conducive to termite attack  
Information: At the time of this inspection, numerous areas of possible concealed termite entry points were observed around the exterior of the building.

These areas are points on the exterior of the building where it is not possible to view the external cladding or slab/foundation edge because of close proximity of external members/features.

These elements could be fixtures and fitting, landscaping elements, high ground levels, external pipes or ductwork, fixed items against the building, unprotected piers, garden bark, retaining walls abutting the external walls, etc.

It was also observed that numerous areas around the perimeter of the building and deck had Timbers in contact with the ground. This has the potential to attract termites to the building and should be removed as soon as possible.

These areas should be cleared if possible and monitored regularly for termite infestation by a timber pest expert.

It is recommended that a timber pest expert provide and implement a Timber Pest Management Plan as soon as possible.







## Evidence of fungal decay activity and/or damage

### Finding 7.01

Building:	Main Building
Location:	South deck
Finding:	Southern deck area - defects
Information:	It was observed at the time of this inspection that the southern deck area was in poor condition.

Maintenance is required to a number of items in this area, decking, timber balustrade, timber wall cladding, timber fascias and timber roof support posts all require sanding repairing and re coating, it is recommended that a carpenter and painter complete these work as soon as possible.

It was also observed that the deck ceiling was mouldy and should be pressure cleaned and repainted.

All vegetation should be removed from this area as soon as possible.

It was observed that the timber balustrade was non compliant under current regulations, however the balustrade may have been compliant when constructed. It is recommended that the balustrade be made compliant in the interests of safety.





### Finding 7.02

Building:	Main Building
Location:	Rear uncovered deck
Finding:	Rear uncovered deck - defects
Information:	It was observed at the time of this inspection that the rear uncovered deck and rear wall area was in poor condition.

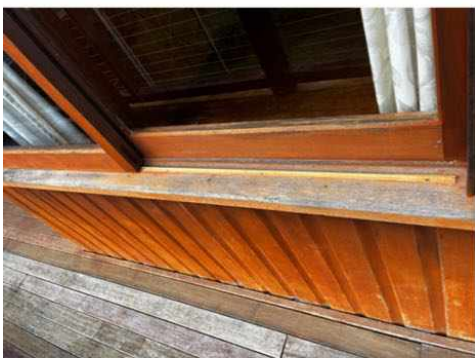
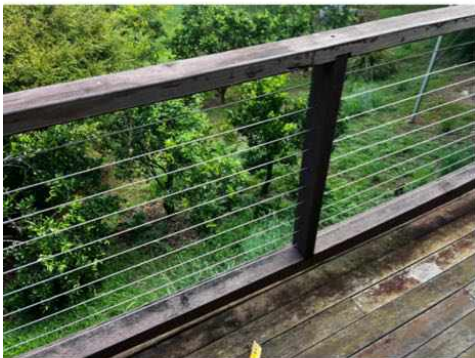
Maintenance is required to a number of items in this area, decking, timber balustrade, timber wall cladding, timber fascias and timber window frames all require repairing, sanding and re coating, it is recommended that a carpenter and painter complete these work as soon as possible.

It was also observed that the rear eaves sheets were mouldy and should be pressure cleaned and repainted.

The guttering should be cleaned of leaf litter.

It was observed that the timber balustrade was non compliant under current regulations, however the balustrade may have been compliant when constructed. It is recommended that the balustrade be made compliant in the interests of safety.





Finding 7.03

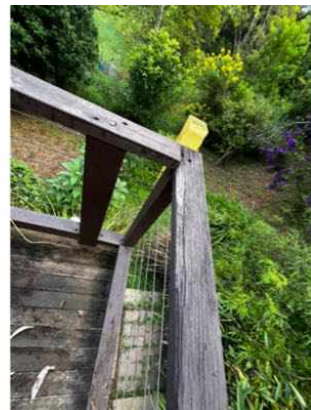
Building: Main Building  
Location: Rear covered deck  
Finding: East deck and wall area - defects  
Information: It was observed at the time of this inspection that the eastern wall and deck area was in poor condition.

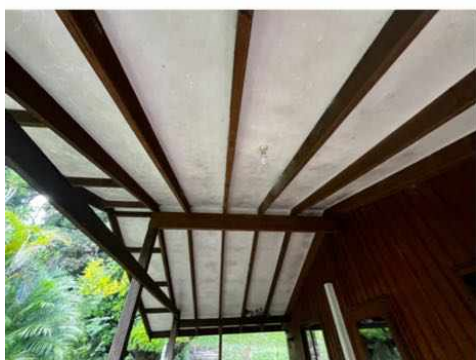
Maintenance is required to a number of items in this area, decking, timber balustrade, timber wall cladding and timber roof support posts all require sanding repairing and re coating, it is recommended that a carpenter and painter complete these work as soon as possible.

It was also observed that the deck ceiling was mouldy and should be pressure cleaned and repainted.

All vegetation should be removed from this area as soon as possible.

It was observed that the timber balustrade was non compliant under current regulations, however the balustrade may have been compliant when constructed. It is recommended that the balustrade be made compliant in the interests of safety.





### Finding 7.04

Building:	Main Building
Location:	All External Areas
Finding:	Landscaping Timbers and retaining wall - defects
Information:	At the lke of this inspection it was observed that there was numerous timber elements used in the landscaping, these elements were garden edging, garden featured and retaining walls timbers.

Generally the timber elements were in fair condition with elements generally having fungal decay (wood rot) and mould evident. It was observed that the front retaining walls to the house were very wet. It is recommended that a plumber installs addition drainage to the front of the house to capture water prior to it entering the front gardens and going under the house.

It is recommended that all vegetation be thinned out or removed and a landscaper is engaged to provide maintenance (repair or replace damaged elements) to all retaining walls and landscaping Timbers as soon as possible.





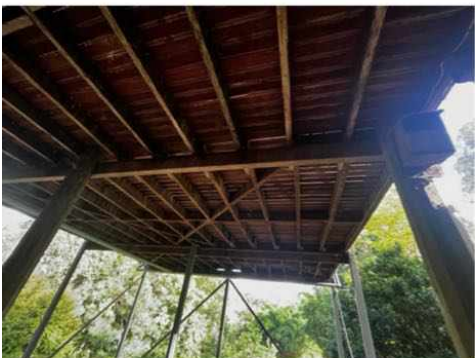
**Finding 7.05**

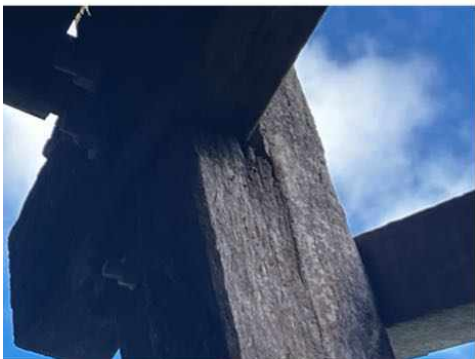
Building: Main Building  
Location: Deck structure  
Finding: Deck structure - defects  
Information: It was observed at the time of this inspection that there all deck structure and backing timber elements and steel elements were in poor to fair condition only.

It was observed that the steel posts, post feet and steel bracing all had rusting evident, it is recommended that a steel worker repair, grind, prime and repaint all steel elements as soon as possible to prevent further damage.

It was also observed that all external timber structural and bracing elements had extensive weathering and some fungal decay evident. It is recommended that a builder repair or replace any affected element and a painter sand, prepare and re coat all external timber elements, this will increase the service life of the timber.







## **Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- This house was in poor condition when compared to other houses of similar age and construction type.

Numerous minor defects were observed as detailed in this report.

A number of major defects were observed as detailed in this report.

Several safety hazards were identified as detailed in this report.

The house has been poorly maintained in all areas. All internal and external areas require maintenance and repainting.

All timber windows, fly screens and door require maintenance and repainting.

Extensive and overgrown vegetation was observed to all areas of the yard, this vegetation should be thinned out or removed and reinspected.

At the time of this inspection, the roof sheeting, roof flashings and roof penetration flashings appeared to be in weathered and poor condition with some deterioration evident. The guttering was generally full of leaf litter and water and has minor rusting in the bottom of the gutters in areas.

It was observed that the hot water solar panels and the electrical solar panels had extensive mould and fungus evident, it is recommended that these items and the roofing be pressure cleaned.

The roof was inspected from a ladder only, due to Workplace Health and Safety constraints. It is recommended that a roofer thoroughly inspect the roof sheets, roof flashings and guttering as soon as possible and provide required maintenance.

At the time of this inspection, it was observed that the kitchen and pantry were in poor condition, it is recommended that the areas be renovated as soon as possible.

At the time of this inspection a moisture meter was used to take reading of moisture outside the

shower cubicle on both tiled walls. An excessive moisture reading was evident in the wall tiles around the shower and bath of the powder room. Water damage was evident under the bathroom floor and it appears that water is leaking from the shower area. There is a chance that the waterproofing membrane has failed in the shower/ bathroom area.

At the time of this inspection it was observed that the timber floors were generally level throughout the house. However the floors in several rooms were out of level out of level in several directions by between 10mm and 30mm over the length of a 2m long level.

At the time of this inspection it was noted that there was a physical termite barrier installed to the sub floor masonry piers at the time of construction, this is in the form of metal ant caps. These ant caps were only fitted to the masonry piers, all timber piers were unprotected. It is recommended that a timber pest expert provide termite protection to the timber subfloor of the house. There was no evidence of any further inspections or treatments additional to that. As a consequence of the conducive conditions that exist around the external of the building for the attack or infestation of timber pests, especially the sub floor area, it is highly recommended that a professional timber pest practitioner be engaged to complete a timber pest inspection to all areas of the property, including landscaping and all areas of the building. Then provide and implement a Timber Pest Management Plan as soon as possible.

For further information, advice and clarification please contact Leon Pennell on: 0422 441 126

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building: Main Building  
Location: All Internal Areas  
Finding: Obstructions and Limitations Internal Areas  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of internal areas of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





**Noted Item**

Building: Main Building  
Location: All External Areas  
Finding: Obstructions and Limitations External Areas  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of external areas of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





Noted Item

Building: Main Building  
Location: Subfloor  
Finding: Obstructions and Limitations Sub Floor Areas  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of sub floor areas of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



**Noted Item**

Building: Main Building

Location: Driveway  
 Finding: Driveway  
 Information: It was observed that the driveway was unformed gravel.



## The following items were noted as - Evidence of a previous termite management program

### Noted Item

Building: Main Building  
 Location: All External Areas  
 Finding: Evidence of ant caps, previous termite management system was identified  
 Information: At the time of this inspection it was noted that there was a physical termite barrier installed to the sub floor masonry piers at the time of construction, this is in the form of metal ant caps. These ant caps were only fitted to the masonry piers, all timber piers were unprotected. It is recommended that a timber pest expert provide termite protection to the timber subfloor of the house.

There was no evidence of any further inspections or treatments additional to that.

As a consequence of the conducive conditions that exist around the external of the building for the attack or infestation of timber pests, especially the sub floor area, it is highly recommended that a professional timber pest practitioner be engaged to complete a timber pest inspection to all areas of the property, including landscaping and all areas of the building. Then provide and implement a Timber Pest Management Plan as soon as possible.



## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.