



**BEFORE YOU BUY**  
**BEFORE YOU BUILD**

## Building Inspection Report

Inspection Date: Tue, 7 Apr 2026

Property Address: 2/99 Reddall Parade, Lake Illawarra NSW  
2528, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 7 Apr 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 2/99 Reddall Parade, Lake Illawarra NSW 2528, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Justin Blake Ph: 0435 182 122  
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Company Name: Jim's Building Inspections (Shellharbour)

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Company Address and Postcode: Shellharbour 2529

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Company Email: Shellharbour@jimsbuildinginspections.com.au

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Company Contact Numbers: 0435 182 122

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: The PreInspection Agreement which includes the extent of reporting, limitations and exclusions must be read and agreed to prior to viewing this report.

The inspection was for the front shop, subfloor and roof areas.

This report was commissioned for the sole use of the 'Client' and liability does not extend to any third parties. Any third party not named on page 3 of this report, acting or relying on this report, in whole or in part, does so entirety at their own risk.

This report is only valid as at the date of the inspection, any defects found or incurred after this date cannot be guaranteed.

THIS IS A VISUAL INSPECTION ONLY limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ insulation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed

New South Wales experiences major weather events annually. These periods of storms and torrential & driving rains from certain angles can overwhelm residential roofs, waterproofed areas, skylights, flashings & guttering causing water ingress into properties that otherwise would not happen in normal rain conditions. Therefore no guarantee can be given against any future roof leaks.

All roof coverings & plumbing, flashings, exterior guttering etc should remain free of all debris and possible blockages. Blockages may lead to pooling, accumulated water overflows, possible water ingress and the associated damage to adjoining building elements. Any areas of missing or aged/corroded guttering should be replaced. All flat roofs and waterproofed areas should be monitored regularly.

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in fair condition with safety, major and minor defects found.

## Section B General

### General description of the property

Building Type	Residential, Detached
Company or Strata title	Yes
Floor	Slab - Monolithic or Slab on Ground
Furnished	Furnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	North
Other Building Elements	Driveway, Fence - Fabricated Metal Fence, Garage, Water Tanks, Pergola
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Floating Floor, Internal Joinery, Landscaping Timbers and Construction, Skirting Boards, Stair Railing, Staircase, Veranda Posts
Roof	Corrugated Iron (e.g. Colourbond), Flat
Storeys	Double
Walls	Weatherboards, Timber Framed and Clad
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior
- Fencing
- Exterior
- Landscaping Timbers
- Roof Exterior - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of skillion or flat roof - no access
- Ceiling Cavity.
- Roof Exterior - Part
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

### Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Areas of skillion or flat roof - no access

- Ceiling linings
- Debris or rubbish

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

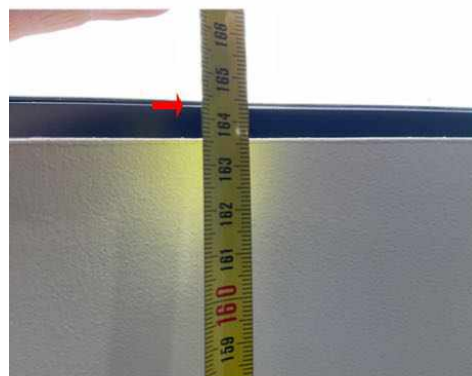
### Safety Hazard

#### Defects 1.01

Building:	Building 1
Location:	Most upper windows
Finding:	Window opening restrictors missing.
Information:	The Building Code of Australia rules require all openable windows (where the internal floor is more than 2m above the ground outside) in residential rooms to be fitted with a suitable screen or restrictor. Windows located 1.7m above the floor level do not require protection.

Window restrictors are required to these pictured windows where people who are vulnerable to the risk of falling have access to windows. This means all windows above ground level which do not have another fall prevention safety measure in place, such as a balcony or balustrade should have a restrictor.

These need to be added urgently for the safety of all persons.





## Defects 1.02

Building: Building 1

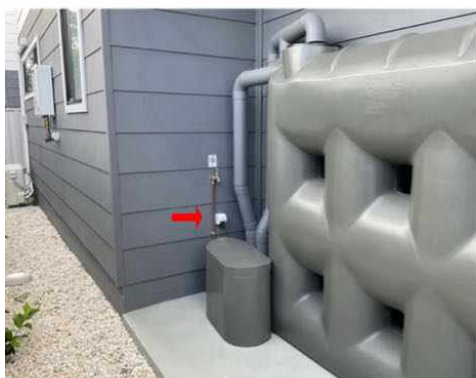
Location: South wall

Finding: Separation

Information: There was insufficient separation found between the rear wall electrical wiring and the plumbing at the time of the inspection. The tap pipe is under 18mm from the electrical outlet. Locating a tap over the electrical outlet also presents an increased safety risk to nearby persons.

As 3000-2018 Electrical Installations - Wiring rules states "Wiring systems shall maintain a separation of not less than 25 mm from any above-ground gas or water piping."

Where a building elements installation fails to achieve the required minimum standard at the time of the inspection, the builder needs to complete the works to the required standard prior to purchase.



## Major Defect

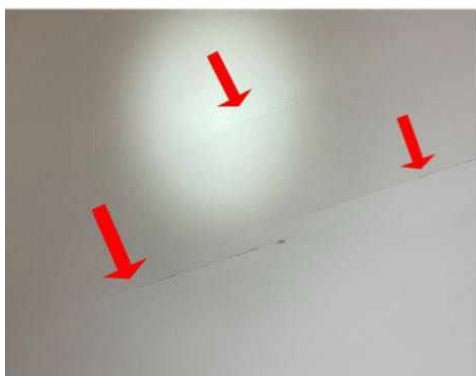
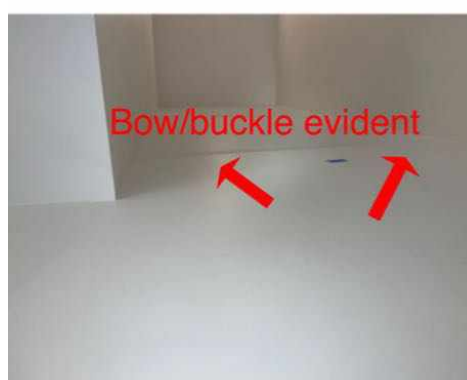
### Defects 2.01

Building: Building 1

Location: Stairs - Internal east wall >  
 Finding: Bow in upper wall  
 Information: Bulging was noted to the stairs upper wall surface. The upper wall is out of plumb . The wall plaster has cracked horizontally in the middle. Vertically, this wall is bowing 38mm over 2m in the middle.

Building works required to fix this bulging wall should be completed immediately and before purchase as the cause may be significant and may indicate a structural defect which would require extensive works in the long-term future.

Further invasive inspection is required to determine the actual cause. It is advised to consult a Structural Engineer to determine the cause and advise on rectification works required.



## Defects 2.02

Building: Building 1  
 Location: Roof Exterior  
 Finding: Roof sheet damaged  
 Information: Upon inspection of the exterior roof covering, it was noted that one roof sheet in the front right has impact damage. It is suspected that something very heavy has been dropped on these sheets and has caused holes in two roof sheet ridges.

Damaged roof sheeting detracts from the weather tightness of the roof covering and will be subject to premature rust and water ingress.

A Major Defect is a defect of sufficient magnitude where rectification has to be carried out to avoid loss of utility or further deterioration of the property.

This applies here where these holes will allow rainwater to damage internal building areas.

These need to be brought to the attention of the builder for urgent rectification.



## Minor Defect

### Defects 3.01

Building:	Building 1
Location:	Upper windows & lower doors
Finding:	Evidence of excessive moisture was present at the time of inspection
Information:	Excessive moisture was found adjacent to many upper windows and lower doors at the time of the inspection. Medium moisture readings of 58.4 and 62.7 were recorded in the upper windows and lower door areas respectively. All areas adjacent to these areas were checked for reference and showed readings of under 6.

This moisture can attract termites and produce conditions that promote termite attack, fungal growth and wood decay.

Excessive moisture is generally caused by deteriorated, inadequate or missing roof drainage, missing sealant of flashing, leaking plumbing pipes or fixtures, poorly plumbed HWS overflows or condenser units and poor site drainage. It is highly recommended that all plumbing and drainage fixtures and fittings be maintained regularly in order to prevent excessive moisture being present in the internal property.





### Defects 3.02

Building: Building 1  
 Location: South wall  
 Finding: Water pooling - Surface Water Drainage - NCC 2022 Housing Provisions Part 3.3.3  
 Information: Water has been observed pooling on external concrete/paved surfaces adjacent to the dwelling, with falls directing water towards the building instead of away from it.

External paving has not been adequately graded to divert surface water clear of the building envelope.

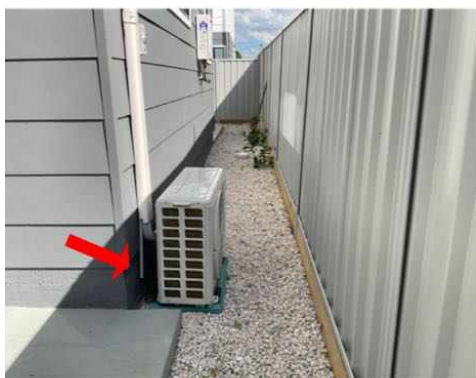
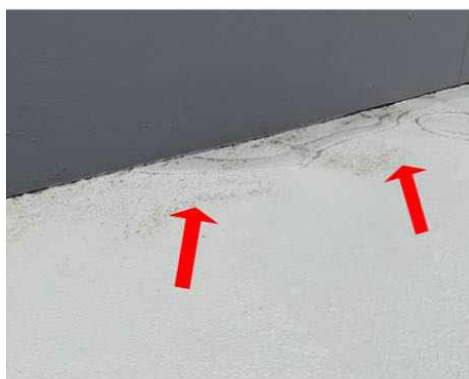
The National Construction Code (NCC) requires that surface water be managed to prevent moisture-related damage. NCC 2022 Housing Provisions Part 3.3.3 states

that the external finished surface surrounding a slab-on-ground must be graded to move surface water away from the building, with a minimum fall of 50 mm over the first 1 metre where surfaces are impermeable, such as concrete or paving.

Where water is pooling against the house, water damage to the external wall cladding is imminent. The rear wall air conditioner runoff also runs onto the rear house wall.

Such water pooling and Ac runoff also increases the risk of termite activity and the development of fungal decay in these areas.

These need to be brought to the attention of the builder.



### Defects 3.03

Building:	Building 1
Location:	North gutters
Finding:	Gutters - Insufficient fall and water pooling
Information:	It was identified that there is insufficient fall or angle in the two north gutters which is leading to pooling of water in these gutters and will result in secondary related building defects such as rust and fascia damage. Such defects are likely to include material deterioration, leaks and/or corrosion of associated building materials.

Over time, if this defect is not addressed, further building defects will develop.

These need to be brought to the attention of the builder.



### Defects 3.04

Building:	Building 1
Location:	Roof areas, driveway, bathroom & laundry drains
Finding:	Building waste in drains and on roofs
Information:	Builders waste was found on rooves and in driveway and bathroom floor wastes at the time of the inspection. Builders waste left in any drains or roof areas has the potential to interrupt the normal function of these drains or gutters and may lead to blockages and flooding of surrounding areas. Some waste left on the front right roof is rusting the roof sheets.

These areas need to be brought to the attention of the builder.



Defects 3.05

Building:	Building 1
Location:	Roof Exterior
Finding:	Swarfing stains
Information:	This pictured areas shows evidence of rusting and corrosion, which is a result of swarfing.

Swarf is the term given to the steel debris arising from cutting or piercing operations when using friction saws, abrasive discs, drills, etc., on steel products. Whilst comprising mostly fine steel particles mixed with abrasive media, in this context swarf is taken to include numerous builders debris including discarded steel objects such as rivet shanks, nails, screws and nuts.

Fresh swarf stains are characterised by small red-brown coloured areas with a central dark spot (the remains of the steel particles). The surface will feel like sandpaper, and the particle may be lifted with a fingernail. An old swarf stain will appear as a localised red- brown stain, the steel particle having corroded away, and the surface will be smoother. Prevention of swarf staining is the responsibility of the installer.

This needs to be brought to the attention of the builder and cleaned immediately.



### Defects 3.06

Building:	Building 1
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Location: Pictured front areas  
 Finding: Fence and gate capping missing  
 Information: Fence and gate caps were missing at the time of inspection. Where these caps are missing, these areas will fill with rainwater and prematurely rust.

These need to be brought to the attention of the builder.

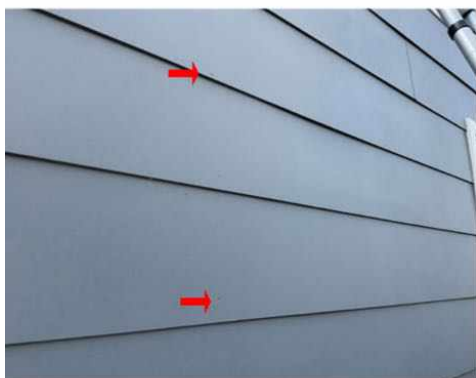


### Defects 3.07

Building: Building 1  
 Location: Pictured areas  
 Finding: Nails protruding from cladding and nail holes not sealed.  
 Information: The external wall cladding fixings have been installed without sealing to nail/screw penetrations. This is non-compliant with NCC requirements for weatherproof external walls and manufacturer installation instructions. Unsealed fixings pose a risk of water ingress and deterioration of wall elements. Rectification is required to seal all exposed fasteners with a suitable external-grade sealant or as per the cladding manufacturer's specifications.

Nails that are not driven flush break the cladding's weather-resistant surface. Water can track down the nail shank and enter the wall cavity. This increases risk of moisture ingress, rot, mould, and corrosion. All protruding nails need to be driven in and sealed.

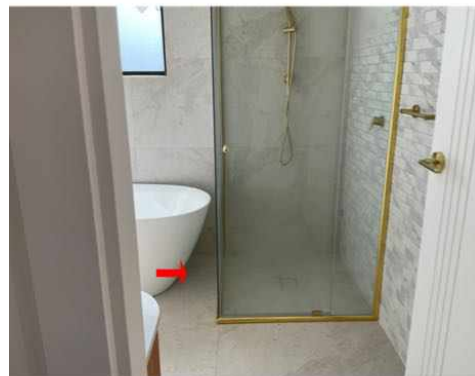
These areas need to be brought to the attention of the builder.



### Defects 3.08

Building:	Building 1
Location:	Bathrooms
Finding:	Shower screens - Leaking
Information:	Three leaks were evident to the two shower screens at the time of inspection. It is suspected that the leaking has occurred as a result missing sealant. Leaking from the showers , where left unattended, is likely to lead to water damage to adjoining flooring and walls. Such damage can lead to water damage and necessitate extensive remedial works being required. Active water leaks may also create an environment that is susceptible to the formation and development of mould.

This should be brought to the attention of the builder.



### Defects 3.09

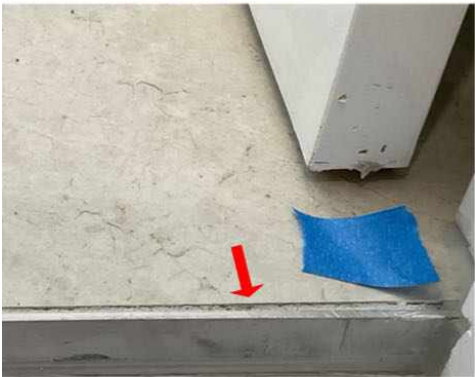
Building: Building 1  
 Location: Bathrooms  
 Finding: Shower rail cover plates loose and missing and bath very loose  
 Information: All shower rail covers were loose and one was missing. The bath was also loose, damage to the bath to floor connecting pipe is likely.

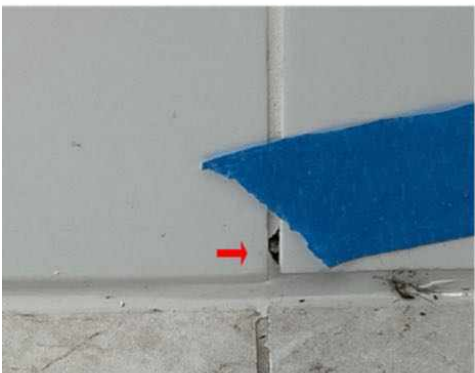
This should be brought to the attention of the builder.



**Defects 3.10**

Building: Building 1  
Location: Bathrooms  
Finding: Sealant and grouting - Missing  
Information: It was noted on inspection that sealant or grout is missing to the pictured bathroom areas. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.  
  
These areas need to be brought to the attention of the builder.





Defects 3.11

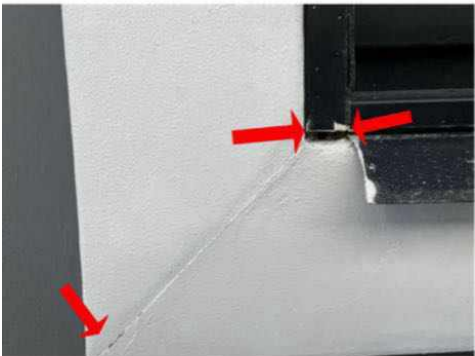
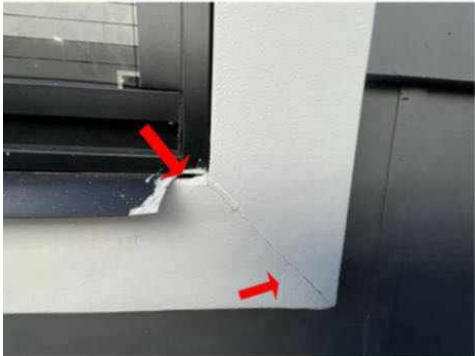
Building: Building 1  
Location: Many areas  
Finding: Sealant in External areas - The NSW Standards and Tolerances 2017 - 12.7  
Information: It was noted on inspection that sealant or flashing is missing to some external wall areas. Pictures 4 to 6 show missing flashing/ cladding which is required to stop water ingress to internal areas.

The NSW Standard states - 12.7 Flexible sealants to junctions states -

Flexible or waterproof sealants to junctions are defective if they are not installed when required by the BCA and AS 3958.1.

All holes, gaps or cracks should be adequately filled by a suitable sealant or flashings as soon as possible to prevent any water damage that may occur.

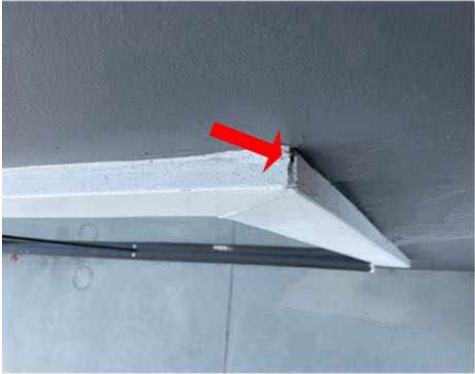
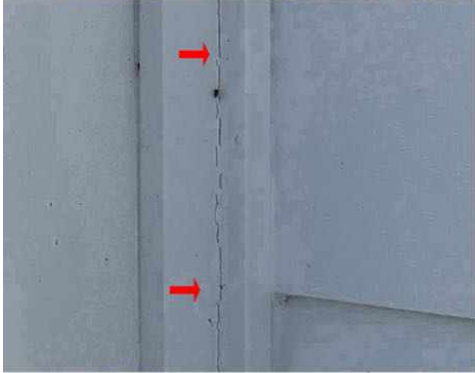
These areas need to be brought to the attention of the builder.

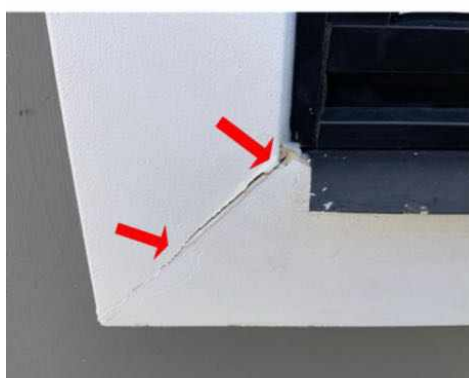




Defects 3.12

Building: Building 1  
Location: Pictured external areas  
Finding: Sealant in External areas - The NSW Standards and Tolerances 2017 - 12.7 (continued)  
Information:

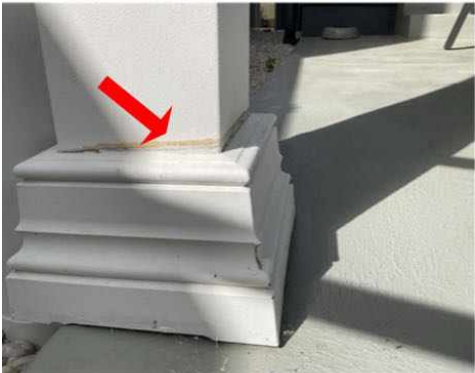




### Defects 3.13

Building:	Building 1
Location:	External and Internal areas
Finding:	Paintwork defective - NSW Guide to standards and tolerances part 13.2
Information:	Several areas of substandard paint finishes were identified on the building at the time of the inspection. Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position. Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

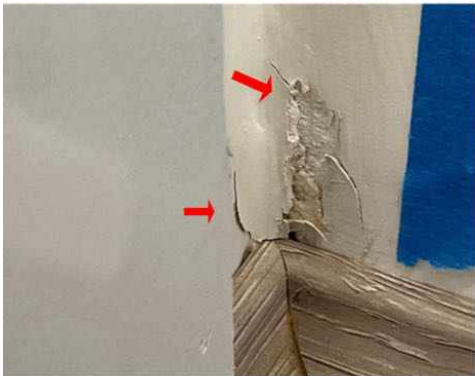
These areas need to be brought to the attention of the builder.

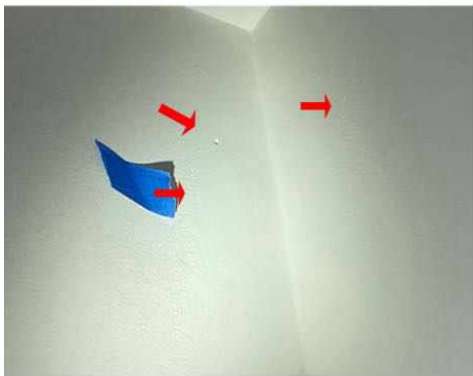
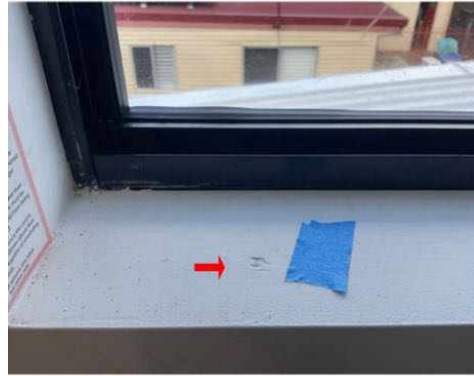
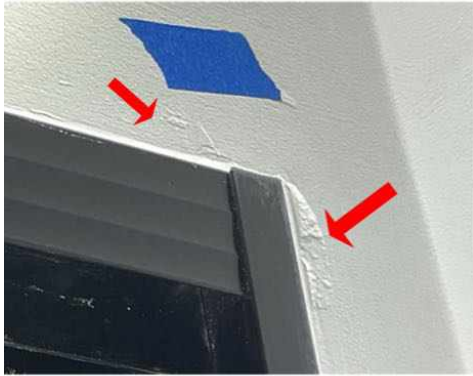




**Defects 3.14**

Building: Building 1  
Location: Many upstairs areas  
Finding: Paintwork defective - NSW Guide to standards and tolerances part 13.2 (continued)  
Information: These areas need to be brought to the attention of the builder.





### Defects 3.15

Building:	Building 1
Location:	Many doors
Finding:	Paint finish on doors - Incomplete and minor damage evident
Information:	The paint finish to many doors was identified as being incomplete at the time of inspection.

NSW Guide to Standards and Tolerances 9.6 states that "door leaves are defective if they do not have all sides, top and bottom edges sealed/painted

in accordance with the manufacturers specifications"

Whilst incomplete or missing paint finish is generally an appearance defect, it can also lead to the development of secondary building defects over time. Incomplete areas of paint finish expose the area to moisture, potentially accelerating the deterioration of underlying building materials.

Incomplete paint finishes should be sanded back, filled, leveled and painted, as applicable. Where inadequate or missing paint protection has led to the deterioration of any doors, replacement of the damaged doors will be required.

These areas need to be brought to the attention of the builder.





**Defects 3.16**

Building: Building 1  
Location: Entry, rear garage, loungeroom screen door  
Finding: Doors - Binding/jamming  
Information: Binding and/or jamming of these three doors was evident during standard operation. This defect inhibits the functionality of the affected doors as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

These areas need to be brought to the attention of the builder.





### Defects 3.17

Building:	Building 1
Location:	Windows
Finding:	Cleaning of building elements - NSW Standards and Tolerance 2017 - 3.11
Information:	It was observed that the pictured windows are not cleaned and ready for use. Many stickers are still applied to windows. Some of these areas are inaccessible to remove.

These window areas need to be cleaned and ready for use.



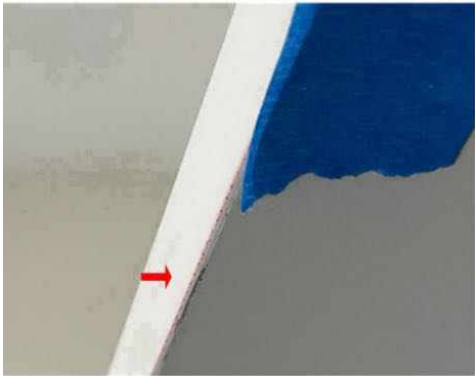
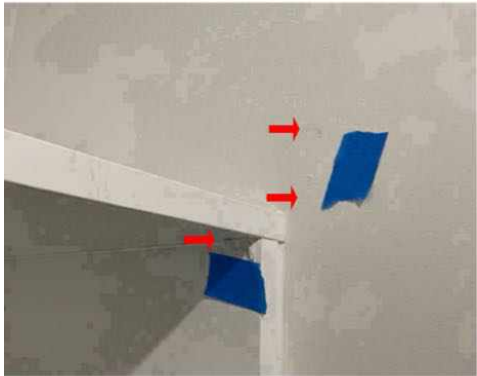
### Defects 3.18

Building:	Building 1
Location:	Many Internal Areas
Finding:	Cleaning of building elements - NSW Standards and Tolerance 2017 - 3.11
Information:	It was observed that the pictured building elements are not cleaned and ready for use.

The NSW Standards and Tolerances 2017 - 3.11 state - Cleaning, mortar smears and stains

“Stains, mortar smears and damage caused by cleaning are defective if they are visible from a normal viewing position.”

These areas need to be cleaned and ready for use.





### Defects 3.19

Building:	Building 1
Location:	Pictured external and internal areas
Finding:	Gaps or cracks in mouldings including many external windows
Information:	Gaps were found in these mouldings.

The NSW Standards and Tolerances 2017 - 11.1 state -

Unless documented otherwise, gaps between mouldings or between mouldings and other fixtures, at mitre or butt joints, or at junctions with a wall or other surfaces, are defective if they exist at handover, or exceed 1 mm in width within the first 12 months of completion and are visible from a normal viewing position.

This should be brought to the attention of the builder.



**Defects 3.20**

Building: Building 1  
Location: Left wall  
Finding: Unfinished construction  
Information: The construction of this structure appears to be incomplete. There are pipes protruding in the garage left wall.  
  
The Builder should complete this construction process.



## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Licensed Electrician
- Licensed Plumber
- Structural Engineer

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- The property, a 3 Bedroom double story townhouse has two safety defects and two major defects.

There are the safety issues of the missing window restrictors in most upper windows that are required for the safety of all vulnerable persons. The rear wall adjacent electrical and plumbing pipes require separation and are not compliant.

There are the major defects of internal wall damage to the two story high front stair wall. This wall is bowing and the plaster is cracking. An invasive inspection is required to determine the reason for the damage to this wall. A structural engineer should be consulted. There is also a damaged external front right roof sheet with holes evident.

There are other non-compliant and incomplete defects that need to be finished and rectified respectively.

Rectification works were noted for completion and these are detailed in this Inspection report.

For further information, advice and clarification please contact Justin Blake on: 0435 182 122

### Section D Significant Items

The following items were noted as - For your information

#### Noted Item

Building: Building 1  
Location: Roof Void  
Finding: Additional Photos - Obstructions and Limitations of the ROOF CAVITY  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of roof cavity areas at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out if applicable. A re-inspection is recommended once the areas are made accessible.



#### Noted Item

Building: Building 1  
Location: Services  
Finding: Services  
Information:





**Noted Item**

Building: Building 1  
 Location: Appliances  
 Finding: Appliances  
 Information:





## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

## **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

## **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.