



Building and Timber Pest Inspection Report

Inspection Date: Wed, 18 Feb 2026

Property Address: 13 Wickham Rd, Hampton East VIC 3188,
Australia



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on.

This Report reflects the opinion of the inspector based on the documents that have been provided.

This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail.

We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist.

If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection.

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Original Inspection Date Wed, 18 Feb 2026

Modified Date Fri, 20 Feb 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 13 Wickham Rd, Hampton East VIC 3188, Australia

Client's Email Address:

Client's Phone Number:

Consultant:

Company Name:

Company Address and Postcode:

Company Email:

Company Contact Numbers:

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: The inspection was carried out during dry weather with no recent rainfall. Moisture-related defects such as roof or water ingress issues may not have been evident under these conditions. The property should be monitored during and after heavy rain, and if signs of leakage or elevated moisture become apparent, further assessment by an appropriate registered contractor is recommended.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage	✓	

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Concrete Stumps, Masonry Foundations, Suspended Timber Frame
Furnished	Furnished
Occupied	Unoccupied
No. of bedrooms	3
Orientation	South
Other Building Elements	Carport, Driveway, Fence - Post and Rail Construction, Footpath, Shed
Other Timber Bldg Elements	Architectural Trims, Architraves, Deck, Door Frames, Doors, External Joinery, Fascias, Floating Floor, Floorboards, Internal Joinery, Landscaping Timbers and Construction, Skirting Boards, Weatherboards, Window Frames
Roof	Corrugated Iron (e.g. Colourbond), Flat, Pitched, Tiled, Timber Framed
Storeys	Single
Walls	Brick Veneer (Timber Framed), Full Brick
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Interior
- Landscaping Timbers
- Posts
- Roof Exterior - Part
- Roof Void - Part
- Subfloor - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Areas of skillion or flat roof - no access
- Ceiling Cavity - Part.
- Roof Exterior - Part
- Subfloor - Part.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Areas of skillion or flat roof - no access
- Ceiling linings
- Chimney vents and flues
- Debris in gutters
- Debris or rubbish
- Decking
- Duct work

- Evidence of recently painted walls or ceilings
- External concrete or paving
- External finished ground level
- Fixed Furniture - Built-in Cabinetry
- Fixed ceilings
- Floor coverings
- Furniture
- Insulation
- Landscaping
- Old disused HWS in roof cavity incl associated plumbing
- Overhanging vegetation
- Pipework
- Proximity of perimeter fence to building
- Roof framing - not trafficable
- Rugs
- Stored items
- Suspected Asbestos Debris
- Vegetation
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Finding 2.01

Building: Main Building

Location: exterior walls

Finding: Damp(Lack of Damp Proof Course)- Rising

Information: Rising damp describes the upward movement of water in low sections of building elements (e.g. walls) by capillary action - the movement of water through porous materials such as bricks, sandstone or mortar.

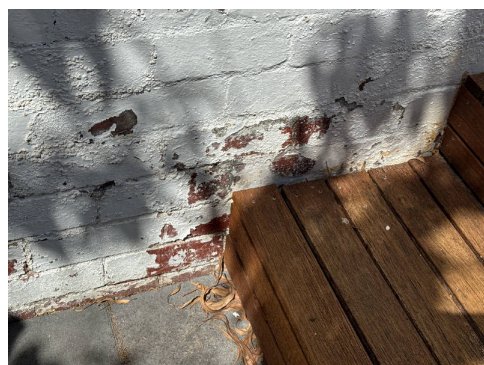
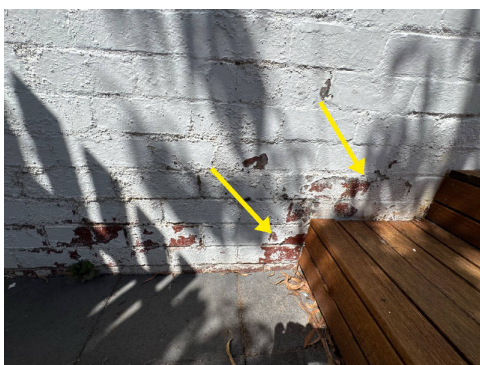
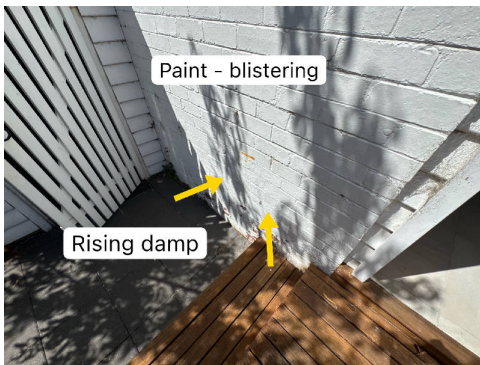
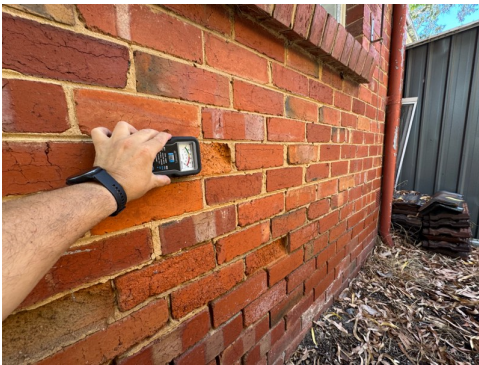
Rising damp is generally managed by the installation of a damp proof course during construction. A Damp Proof Course (DPC) is an impermeable barrier at the base of the wall above ground level. The DPC may have been omitted as a consequence of poor workmanship, or it may have been bridged where materials built up against the side of the house allow moisture ingress above the DPC level.

Left unmanaged, rising damp can lead to health problems resulting from mould growth and can have major implications on affected building elements, including wall finishes like paint and plasterwork.

The first step in addressing rising damp is to diagnose the cause. The identified cause should be addressed first before addressing the appearance and other defects which have resulted from the rising damp. If the original cause is not resolved, further cases of damp are likely to ensue, resulting in secondary defects.

Consultation with a registered builder is advised immediately to identify the cause of the damp and perform remedial works as required.







Minor Defect

Finding 3.01

Building: Main Building

Location: Roof Exterior

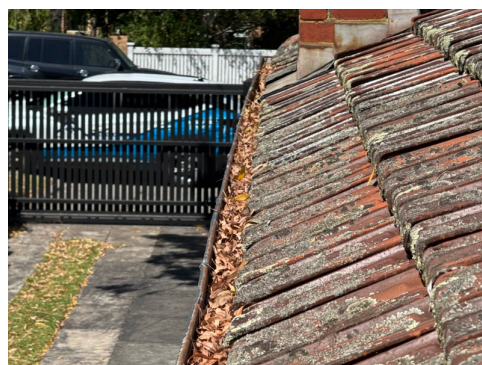
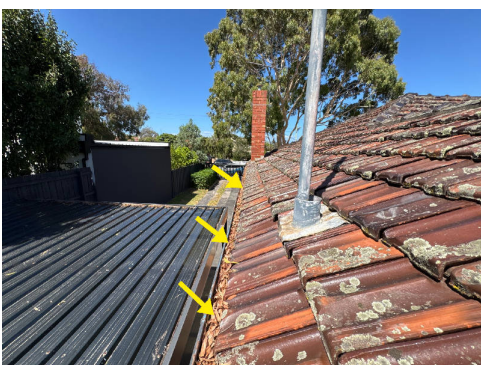
Finding: Roof drainage system-poor condition

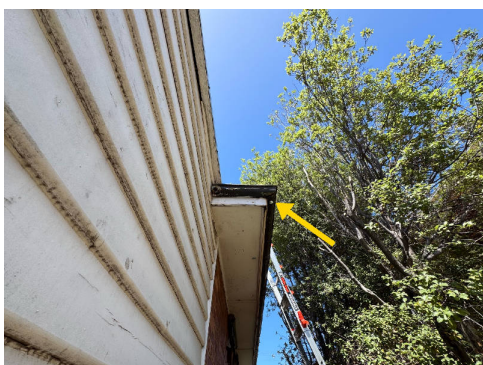
Information: At the time of inspection, the roof drainage system was found to be in poor condition, particularly to the western elevation of the building. Sections of the gutters are heavily corroded, with perforations and areas of complete material loss, significantly compromising the ability of the guttering to effectively collect and discharge rainwater. In addition, all gutters and roof valleys were blocked with accumulated leaf debris, further restricting stormwater flow and increasing the likelihood of overflow during rainfall events.

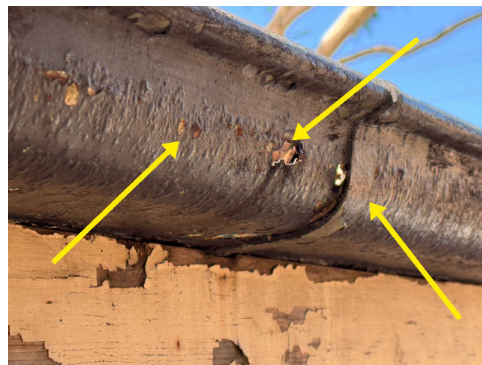
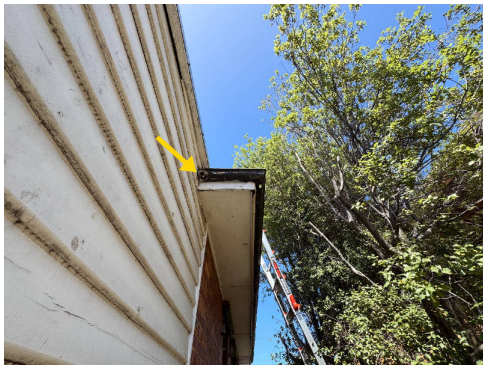
Some downpipes were also missing, resulting in uncontrolled discharge of stormwater adjacent to the external walls. This condition is likely to contribute to ongoing moisture exposure to fascia boards, eaves linings, and wall elements, increasing the risk of timber decay, paint failure, and potential foundation movement over time. Blocked gutters and valleys may also accelerate corrosion due to prolonged water retention and organic build-up.

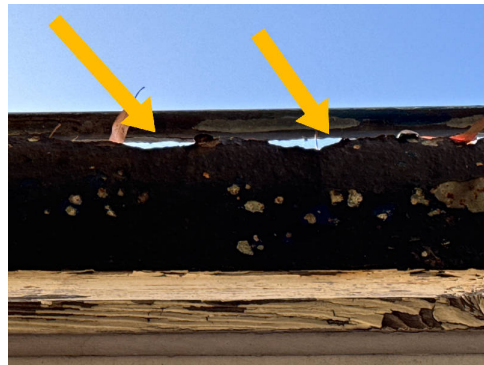
Given the extent of corrosion, blockage, and deterioration observed, localised patch repairs would not be adequate. It is recommended that the affected guttering and associated components be fully replaced by a licensed roofing plumber. The entire roof drainage system should be cleared of debris and assessed for correct falls, secure fixing, and compliant stormwater discharge away from the building.

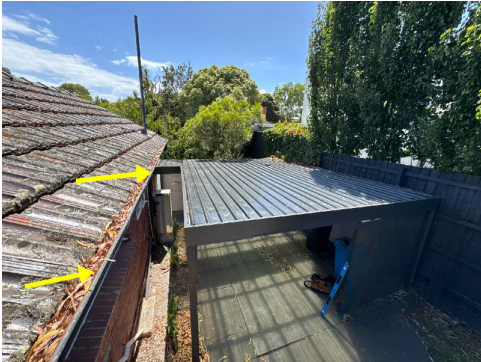














Finding 3.02

Building: Main Building

Location: Roof Exterior

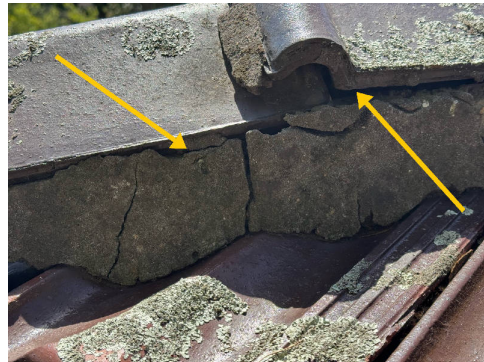
Finding: Roof tiles – fair condition (fretting tiles) and localised mortar bedding deterioration

Information: At the time of inspection, the tiled roof covering was found to be in serviceable condition; however, short-term maintenance works are required. Lichen growth was present across multiple roof tile surfaces, and cleaning is recommended as part of routine roof maintenance. Accumulated organic growth can retain moisture and contribute to accelerated surface deterioration of the tiles over time.

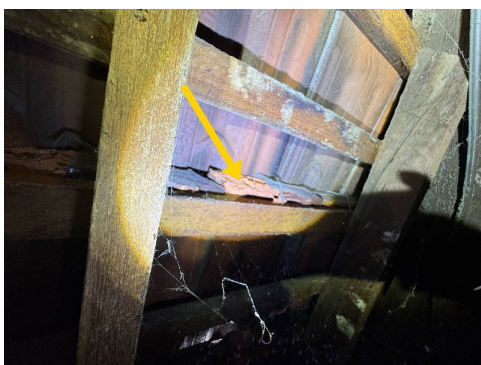
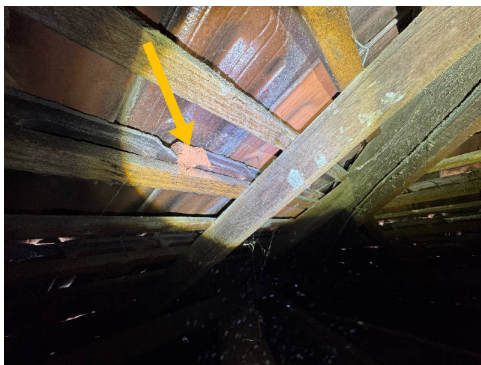
Inspection within the roof void identified several tiles, in accessible areas, affected by fretting. Fretting is characterised by surface erosion and granular breakdown of the tile material, which may reduce long-term durability. Ongoing lichen growth may further accelerate this deterioration process if not addressed.

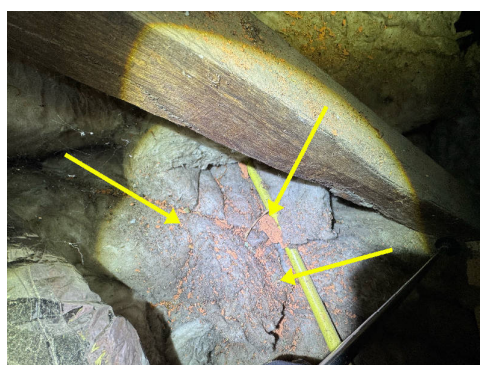
In addition, localised cracking and deterioration of bedding mortar were identified, particularly to ridge tiles. While the current condition does not require immediate urgent action, comprehensive maintenance is recommended. All cleaning, tile replacement, and renewal of defective bedding mortar should be carried out by a registered roof contractor to ensure compliant and durable rectification works.











Finding 3.03

Building: Main Building

Location: internal floors

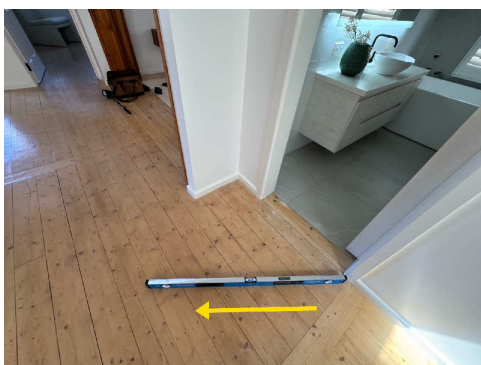
Finding: Internal floors – uneven surface

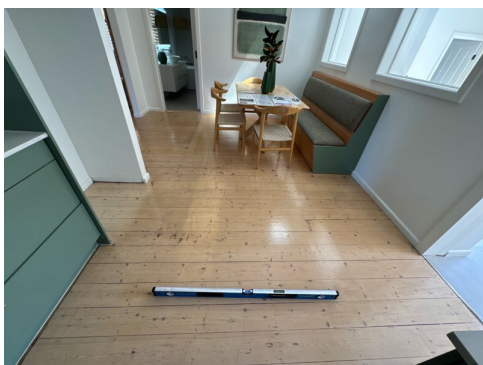
Information: the time of inspection, unevenness was identified to sections of the internal timber flooring, particularly within the dining area. Measurements taken using a digital spirit level recorded deviations of maximum approximately 18 mm/m and 22 mm/m in different locations.

The degree of slope recorded exceeds normal surface tolerances for finished flooring and may be indicative of subfloor movement, stump settlement, bearer or joist deflection, or differential foundation movement.

It is recommended that the subfloor area be monitored. Should further deviation occur, or if doors and windows begin to bind or become difficult to operate, further assessment will be required to determine the underlying cause of the unevenness. If ongoing movement is suspected, engagement of a structural engineer is recommended to undertake a comprehensive assessment and provide rectification recommendations if required.







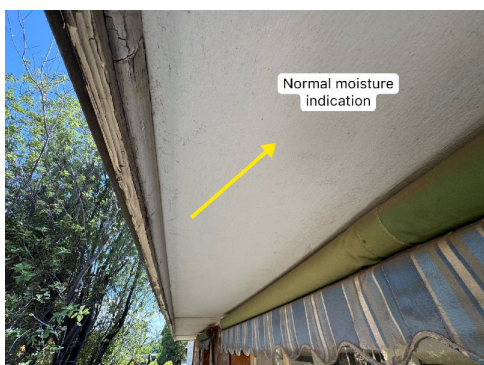
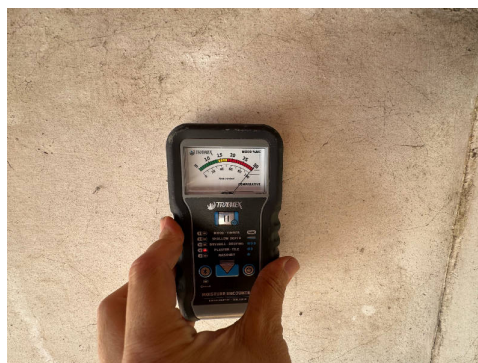
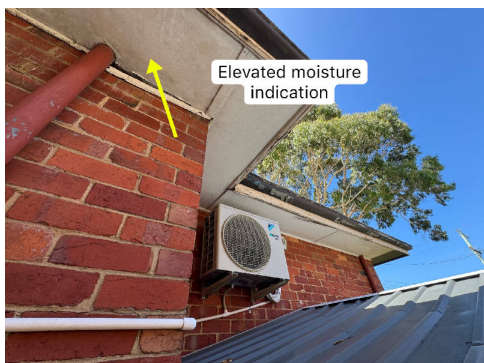
Finding 3.04

Building: Main Building

Location: eave lining

Finding: Eave lining - elevated moisture indication and water staining

Information: At the time of inspection, water staining was visible to the eave lining in this area. Moisture meter testing returned elevated readings to the affected section compared to surrounding areas. The condition is consistent with moisture ingress from the roof drainage system. This is likely associated with blocked or overflowing gutters allowing stormwater to back up and track into the eave cavity. Continued moisture exposure may lead to deterioration of the eave lining, decay to concealed timber framing, and potential mould development. It is recommended that the roof drainage system be thoroughly cleaned and assessed to ensure correct discharge.



Finding 3.05

Building: Main Building
Location: windows
Finding: Some windows – non-functional

Information:

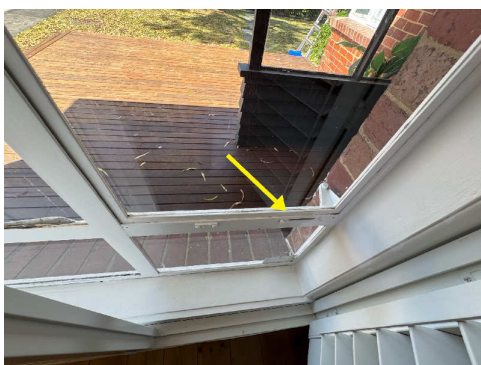
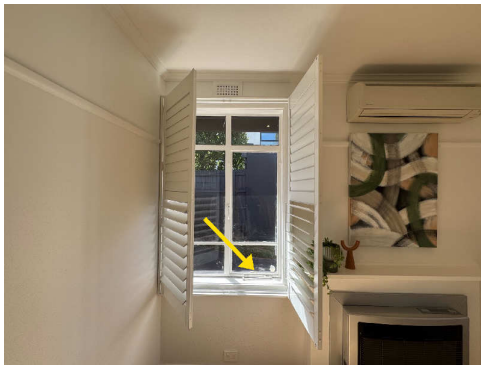
At the time of inspection, it was noted that several windows were not operating as intended and were difficult or unable to be opened and closed properly. The condition impacts natural ventilation and may restrict emergency egress where applicable.

Some window winder mechanisms were found to be defective and not functioning correctly, preventing smooth operation of the window sashes. In addition, certain window sashes were bonded to the window frames due to paint build-up at the junction between the sash and frame, restricting movement and preventing opening.

It is recommended that defective winder mechanisms be repaired or replaced as required and that paint build-up between the sash and frame be carefully removed to restore operation. A qualified handyman or window technician should be engaged to carry out the necessary rectification works.







Finding 3.06

Building: Main Building

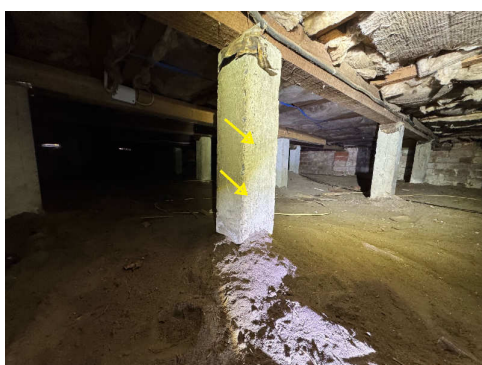
Location: Subfloor

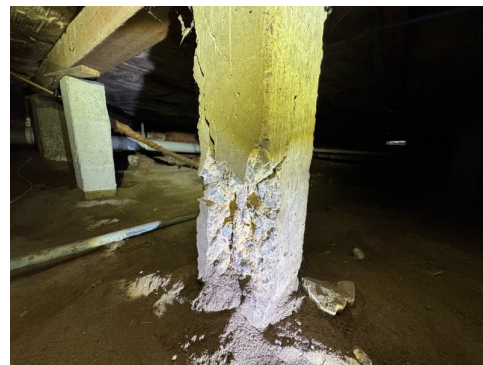
Finding: concrete stumps - localised cracking

Information: During the subfloor inspection, some concrete stumps were found to have developed visible cracks along their body. These cracks vary in width and length, indicating potential stress or age-related degradation. While some hairline cracking can occur due to natural shrinkage or suggest that the internal reinforcement may be compromised or the stumps are under uneven loading conditions.

cracks they can allow moisture to penetrate the concrete and reach the internal steel reinforcement. Once moisture enters, the steel can begin to rust and expand—a process known as concrete spalling or "concrete cancer." This expansion exerts internal pressure on the concrete, leading to further cracking and, eventually, a total loss of the stump's structural integrity, which could result in floor subsidence or unlevel surfaces.

It is recommended that this area should be monitored at if cracks width is increasing and more sump has been effected the client should engage a structural engineer to comprehensive assessment a Depending on the severity, these stumps may require remediation or complete replacement to ensure the long-term stability of the building's foundation. In the meantime, the area should be monitored for any increase ing in width of crack and number of stumps has been effected any signs of movement, such as sticking doors or windows in the rooms directly above.







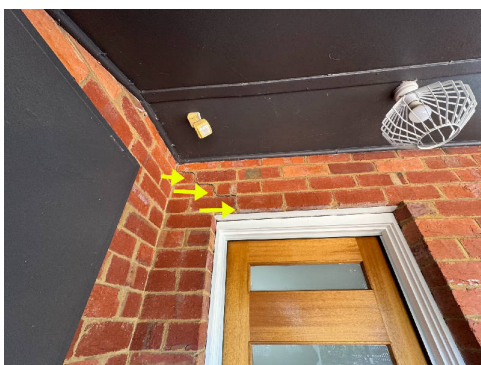
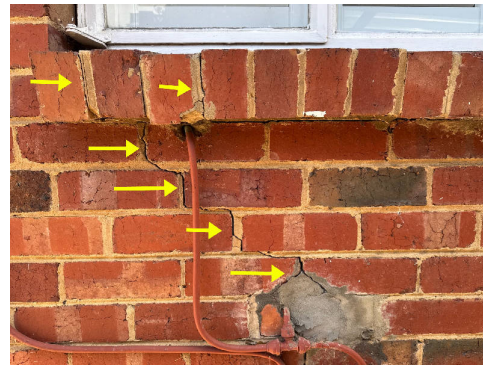
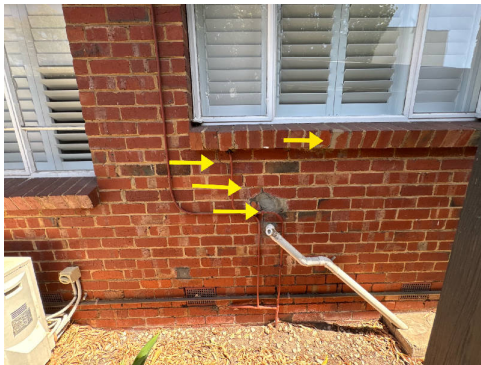
Finding 3.07

Building: Main Building

Location: Exterior walls

Finding: Brickwork - Step cracking(category 3 - noticeable cracking <5 mm)

Information: Step cracking was identified in the exterior walls at the time of inspection. This type of cracking, like other forms, can have various causes, with the most common being the subsidence of adjacent footings. Step cracking is relatively common, particularly near windows, doors, and other openings. The failure of mortar between affected bricks highlights the stresses and tensions impacting the wall. If the step cracking is extensive or severe, it is recommended that a structural engineer be consulted. Minor step cracking, however, can serve as an early warning to address underlying issues such as nearby trees, water leaks, soil erosion, or reactive soils, which may be contributing to the stress on the wall.





Finding 3.08

Building: Main Building

Location: Kitchen

Finding: Active leakage beneath kitchen sink

Information: At the time of inspection, active water leakage was identified beneath the kitchen sink from waste connection, with moisture evident to the base of the cabinet.

The leakage is likely associated with the plumbing connections and may lead to deterioration of the vanity unit and surrounding materials if not rectified. Rectification by a licensed plumber is recommended.



Finding 3.09

Building: Main Building

Location: windows

Finding: Window seals - deteriorated

Information: The window seals have deteriorated and are in a generally poor condition. Due to frequent exposure to weather conditions and subsequent moisture, deterioration of window seals is expected in a property of this condition and age.

Where window seals have deteriorated, the window is no longer weather-tight; rain penetration and subsequent water damage is therefore likely to ensue. Insulation of the area against external weather conditions will also be compromised.

It is recommended that all deteriorated window seals be replaced by a general handyman or sealant expert to prevent any further damage and to restore the window to a fully functional level.



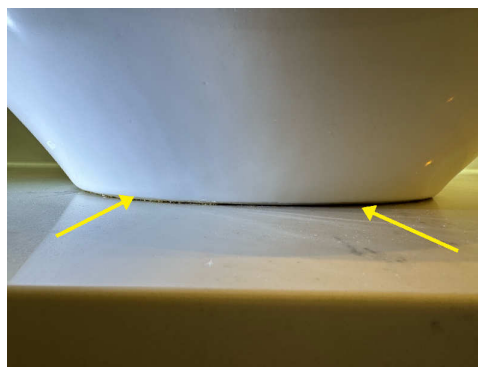
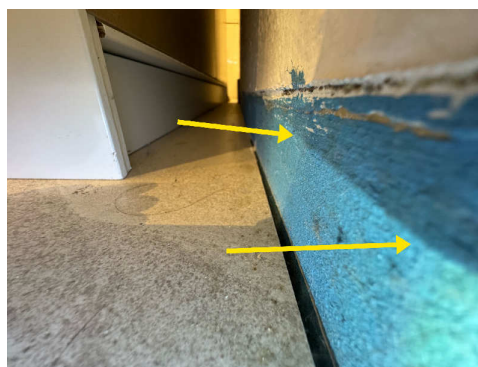
Finding 3.10

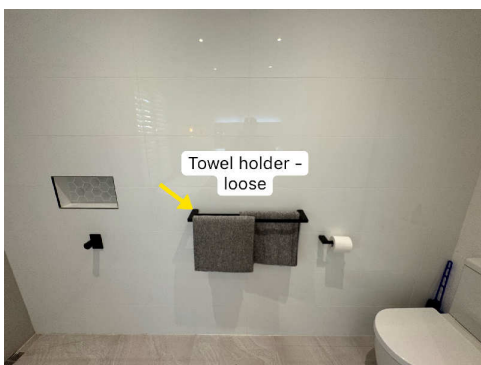
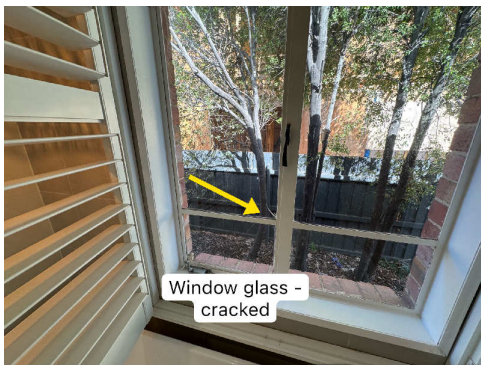
Building: Main Building

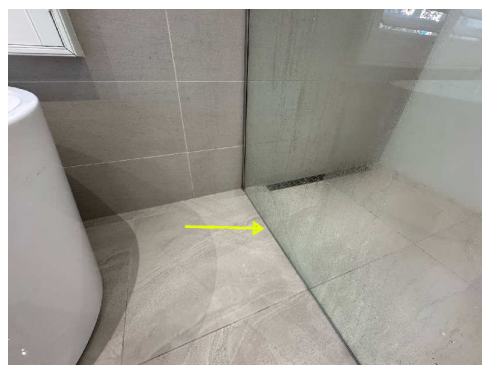
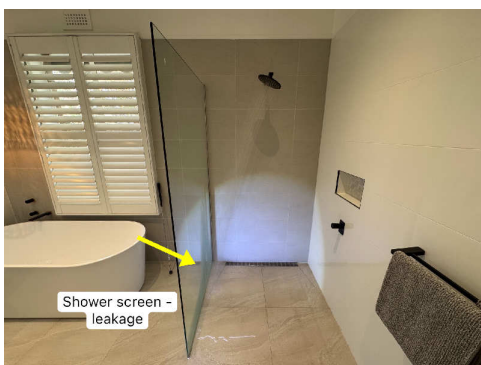
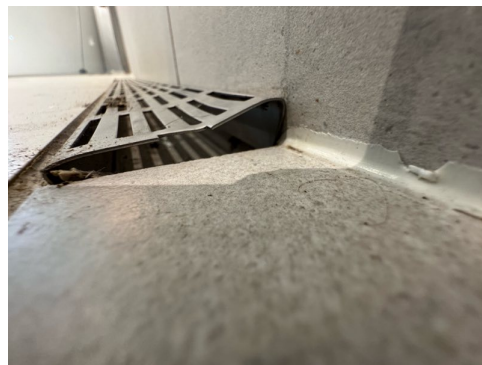
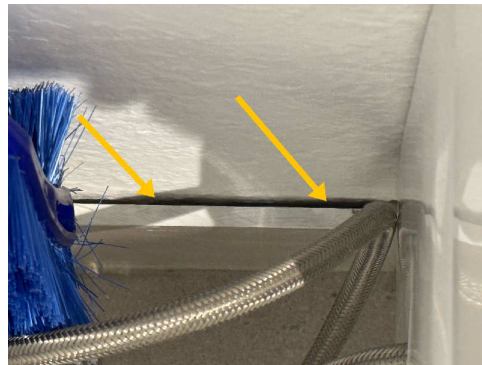
Location: All Areas

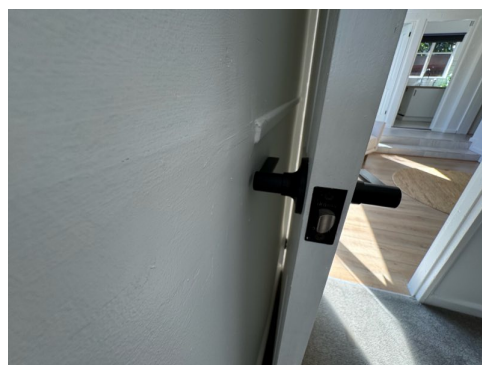
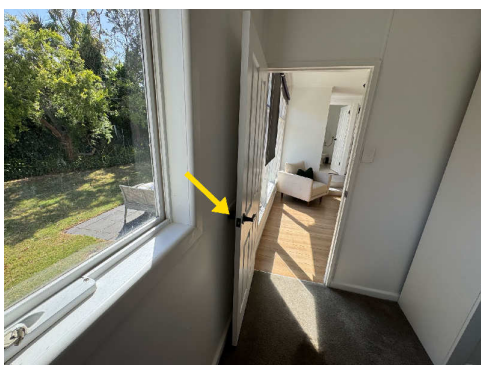
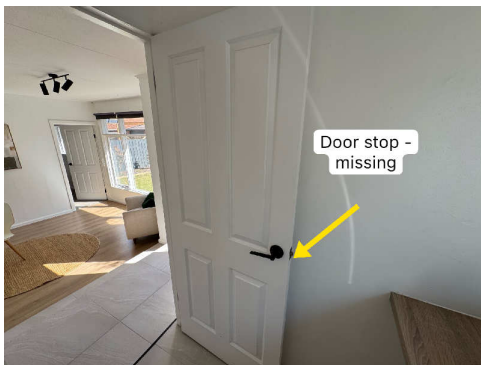
Finding: Common Maintenance Defects (Wear and Tear)

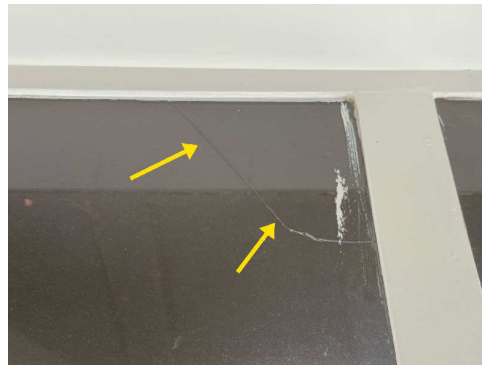
Information: In every home, regardless of age, there are maintenance defects or normal wear and tear that occur over time. These issues are completely normal and can be grouped under a broad category of expected wear, which can either be overlooked as part of the home's character or addressed through repairs. Examples of these defects might include hairline cracks in concrete or walls, loose door or window handles, patched sections on walls, and dents or deformities in fences or other building elements. These are all typical issues that arise from the natural aging of a house.











Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building: Main Building

Location: Subfloor

Finding: Ant caps- Not installed

Information: Ant caps have not been installed to the subfloor structure at the time of inspection. Generally, ant caps are installed to the intersection between the top of the stumps (or piers) and the subfloor structures. Installed during the construction process, ant caps are designed to easily identify termite or pest ingress from stumps to the adjoining bearers. Where ant caps have not been installed, frequent monitoring of these areas should be carried out in order to identify any signs of termite or timber pest workings.





Finding 6.02

Building: Main Building

Location: yard

Finding: Ground level deck - conducive to moisture and timber decay

Information: The ground level deck can be conducive to timber pest infestations due to its close proximity to the soil. Without proper precautions, the moisture in the soil can create an ideal environment for timber decay and other termites to thrive. Regular inspection and treatments can help prevent infestations and protect the decks structural integrity. An invasive inspection of the area is recommended to determine further actions .



Finding 6.03

Building: Main Building

Location: Yard - Side

Finding: HWS - Drip tray missing

Information: The drip tray for the Hot Water System unit is missing, allowing leaks from the unit to affect the surrounding building elements. Generally, a drip tray will be installed to catch expected leaks from the unit, and allow them to evaporate without creating excessive moisture in the area.

Without a drip tray, the leaks from the HWS unit are creating conditions in the area that is likely to develop in the rust, corrosion, or wood rot of associated building elements. Additionally, excessive moisture creates an environment that is conducive to termite and timber pest activity, creating potential for further secondary damage.

It is highly advised that a licensed plumber be appointed to install the necessary drip tray in order to prevent any secondary damage.



Finding 6.04

Building: Main Building

Location: All External Areas

Finding: Air conditioner discharge - Not plumbed or drainage

Information: The Air conditioner discharge is not plumbed or connected to suitable drainage, which has resulted in the surrounding area becoming excessively damp. These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a qualified plumber be appointed to install adequate drainage to the overflow. These works will ensure that the area remains dry and free of any secondary defects.



Finding 6.05

Building: Main Building

Location: Subfloor

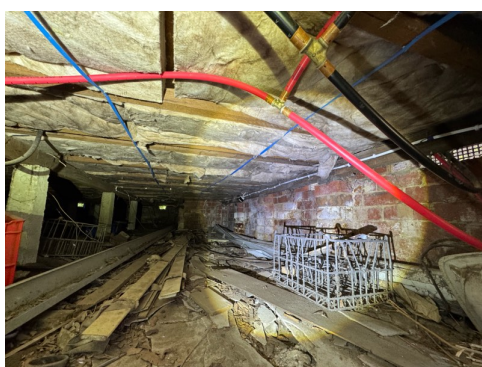
Finding: Subfloor - Debris

Information:

An array of debris was found in the subfloor area at the time of inspection. Debris in this area restricts subfloor ventilation and creates potential for concealed pest entry. Stored timbers and other materials may also make the area susceptible to termite activity and wood rot.

A clear and empty subfloor will be better ventilated and easier to maintain in a dry condition. The removal of any timber debris is vital in minimising the risk of termite or wood borer activity.

Debris in the subfloor should be removed as soon as possible. Depending on the location and amount of debris and stored items, the homeowner may elect to undertake this task. Alternatively there are a large number of rubbish removal subcontractors that could undertake these works.



Evidence of fungal decay activity and/or damage

Finding 7.01

Building:

Main Building

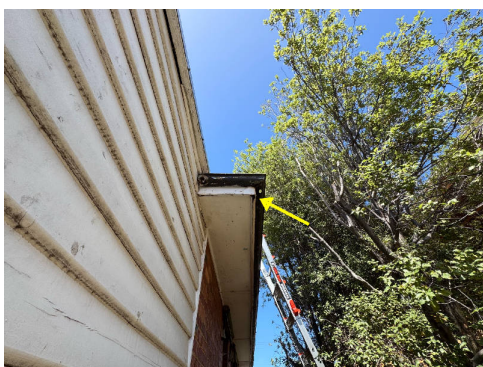
Location: All External Areas

Finding: Fascias - Wood rot

Information: Wood rot was found to be affecting fascias in these areas. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

It is likely that this wood rot has developed as a result of faults in the roof plumbing, creating excessive moisture in this areas. Frequent exposure to rain and other weather conditions also make fascias and barges susceptible to accelerated deterioration.

It is advised that a roof plumber be appointed to inspect all roof plumbing and subsequently identify the cause of the wood rot. Replacement of affected fascias and barges may then be a necessary step in protecting surrounding building elements from such deterioration.





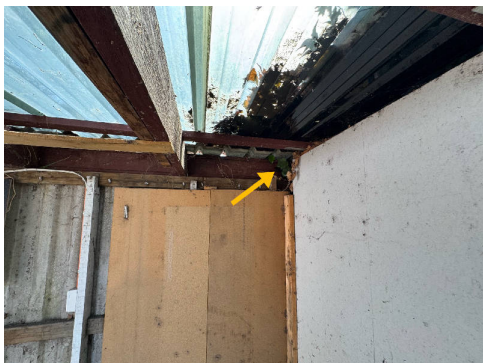
Finding 7.02

Building: Main Building

Location: All External Areas

Finding: Wood rot

Information: This building element shows evidence of wood rot, also known as fungal decay, which occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could result from prolonged weather exposure or excessive moisture from adjacent building materials. It's important to note that untreated wood rot can potentially lead to termite infestation or attack, as both termites and fungi in moist environments and compromised wood structures. To mitigate these risks, it is recommended to promptly address the underlying moisture issue causing the wood rot. Solutions may include improving drainage around the affected area, repairing leaks, ensuring proper ventilation to reduce humidity levels, and treating the affected wood with appropriate fungicides or preservatives. Regular inspections and maintenance are also crucial to identify and address wood rot early, preventing further damage and potential pest issues



Evidence of wood borer activity and/or damage

Finding 8.01

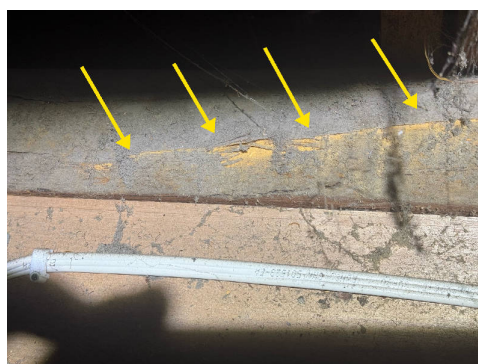
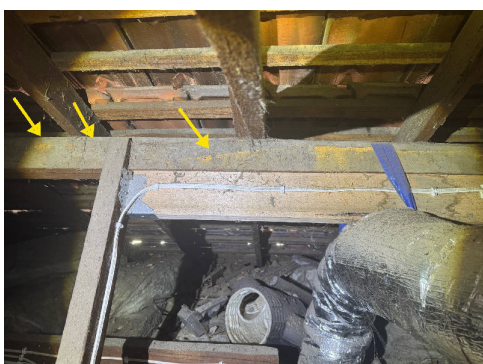
Building:	Main Building
Location:	Roof Void and subfloor
Finding:	Evidence of live wood borer activity identified

Information:

Wood borers are small beetles that colonise exposed timber elements and are a common timber pest frequently mistaken for termites. Although wood borer activity is often not immediately detrimental to the affected timber, prolonged or untreated infestation may result in significant structural damage and necessitate replacement of affected building components.

The Lyctid borer, which typically attacks seasoned hardwoods such as subfloor and roof framing timbers, is generally identified by the presence of fine, powdery frass (dust) surrounding the affected timber. The Anobium borer, another commonly encountered species, is more likely to infest softwoods such as floorboards and may cause severe structural damage to flooring elements over time.

It is recommended that a licensed timber pest management professional be engaged to further investigate the extent of damage, determine whether the borer activity is current and live, and carry out appropriate treatment if required.





Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

BUILDING SUMMARY

In summary this building is in fair condition when compared to other buildings of similar age and type of construction. Safety hazards, major defects and minor defects which have been identified will be described in this report.

Urgent action is required to address all the following safety hazards identified to avoid personal injury from occurring.

- Nil

The following defects have been observed as Major Building Defects.

- Rising damp

Items identified as minor defects should be repaired by qualified trades at the client's discretion.

Areas identified as inaccessible or having obstructions and limitations impeding full inspection as per AS 4349 should be considered a high priority and all areas made accessible as soon as practicable possible to allow further inspection by your building consultant or registered building practitioner.



- TIMBER PEST SUMMARY

There was no termite activity identified at the time of inspection (Visual inspection only), however there was several areas of conducive conditions observed.

All areas of the dwelling were checked with attention paid to wet areas which were closely assessed to check for excessive levels of moisture and temperature anomalies. Inspections are limited by the access available at the time of inspection. Inspections are limited when damage from Timber Pests is concealed by works carried out prior to the inspection.

There are a few factors limiting the ability of a Timber Pest Inspector to gain an accurate representation of Timber Pest activity. Timber Pests by their very nature are secretive and difficult to locate. They are often completely concealed by the linings and claddings of buildings and cannot be detected without intrusive and destructive inspection techniques that are not possible without written permission from the property owner.

The presence of Timber Pests can often only be determined by repeated inspections carried out over a period of time. Furthermore, it is never possible to conclusively determine that a property is free of Timber Pests.

If no evidence of termites was found at this inspection be aware that at the initial stages of a termite attack, there is often no evidence that an attack has commenced such evidence may only become apparent sometime after the attack has commenced.

The client must be aware that any renovations or further invasive inspections may highlight damage which was not immediately accessible or seen by either immediate or implied damage. This could include mould, rot, corrosion, or various pest activities including termites.

The Timber Pest inspection is looking at the subject property at a moment in time. This inspection does not have the benefit of knowing the property history.

Timber Pests are not static but dynamic and can often infest properties in a remarkably short space of time. Therefore, a Timber Pest inspection is not a guarantee that a property does not have or will not sustain Timber Pest attack or damage. Pests other than those defined as "Timber Pests" are not included and are not reported upon.

Many buildings have areas where termites can gain concealed entry to the structure and cannot be detected by the inspection. This is important for the purchaser to consider in the ongoing management of Timber Pests at the property.

As the inspection can only report details of what was found on the day of the inspection, we strongly recommend that should you find evidence of new termite workings or damage prior to the next recommended inspection you should contact a pest controller immediately.

Inspections may not stop timber pest infestations, however the damage which may be caused will be reduced if found at an early stage.

The Client must acknowledge that Timber Pest infestation risk is never zero. Even buildings and properties that have low risk of Timber Pest infestation can still be attacked and damaged by Timber Pests. Attack of buildings by Timber Pests is normal and not uncommon.

The application of a subterranean termite treatment in accordance with Australian Standard AS3660.3 is highly recommended for all properties. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

Termite management systems are intended to force termites into all zones where their presence can be seen. Termite management systems are important and beneficial in the early detection of termites during regular maintenance inspections.

Owners must be proactive in the decision-making process. And most importantly, they must ensure they arrange for appropriately licensed and qualified operators to carry out regula

For further information, advice and clarification please contact Babak Mahdizadeh on 0467701713

The following items were noted as -For your information

Noted Item

Building: Main Building
Location: Meter Box
Finding: Termite Management System - no evidence of a chemical installation

Information: The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.





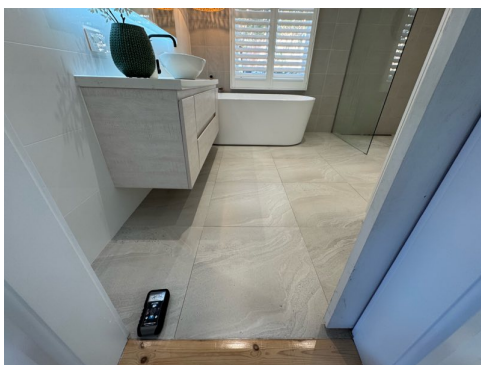
Noted Item

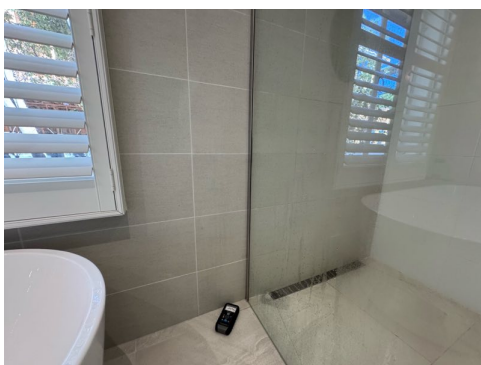
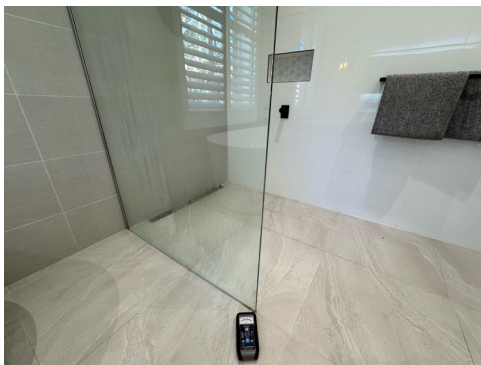
Building: Main Building

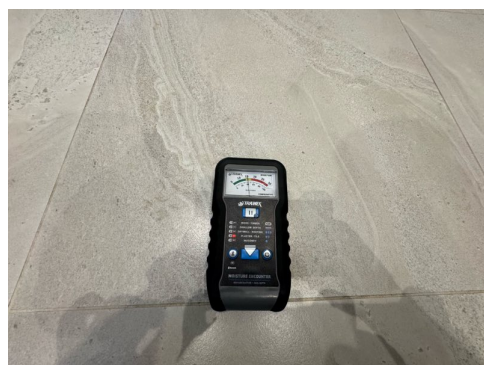
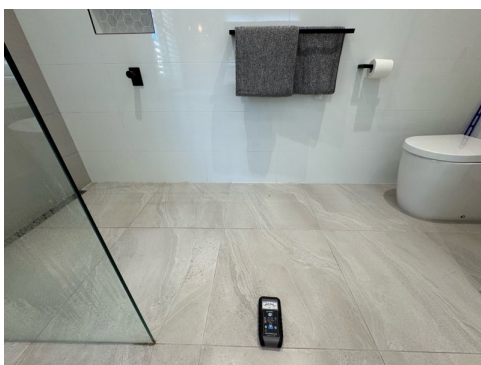
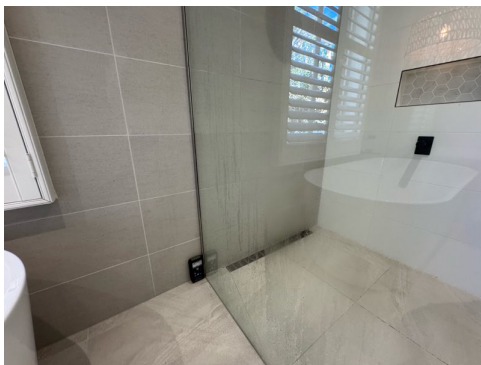
Location: All External Areas

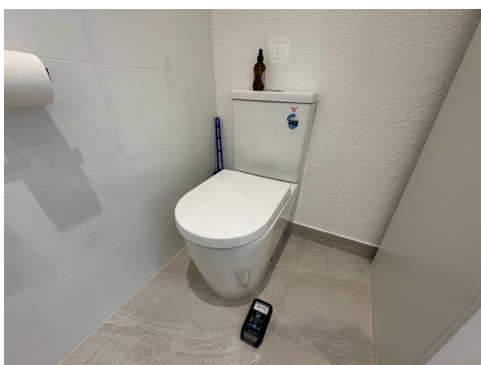
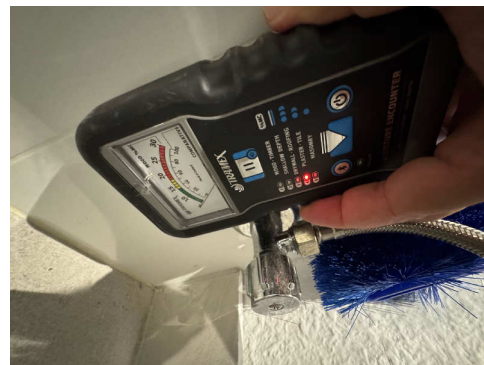
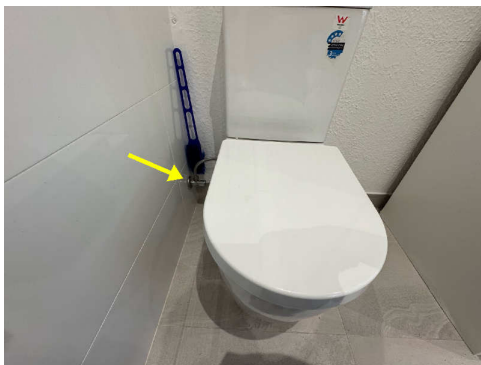
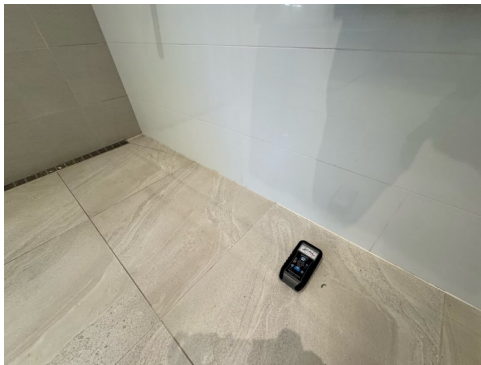
Finding: No moisture was present at the time of inspection - Good condition

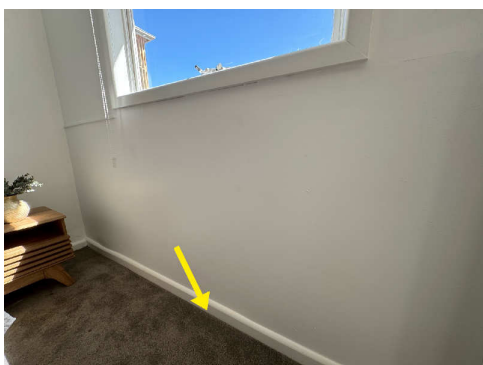
Information: During the inspection, a moisture meter and thermal camera were used to check for the possible existence of excessive moisture, particularly in wet areas, walls adjacent to wet areas, and around all openings. As can be seen in the attached pictures, no high moisture readings were present at the time of inspection except area indicated in the report

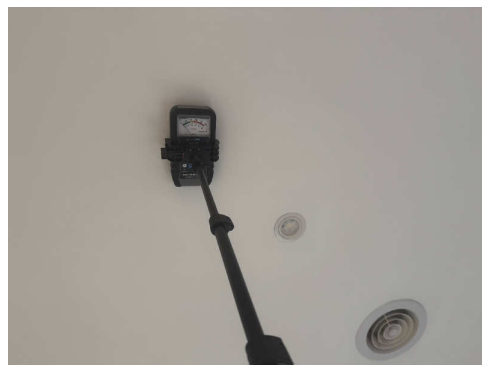
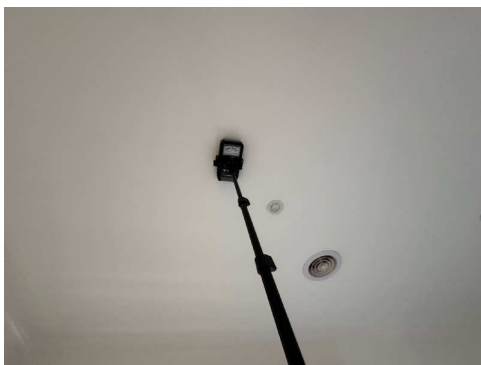
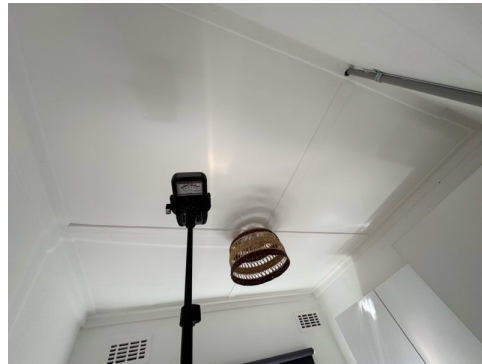
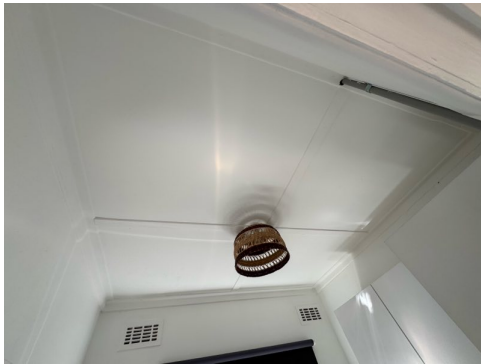






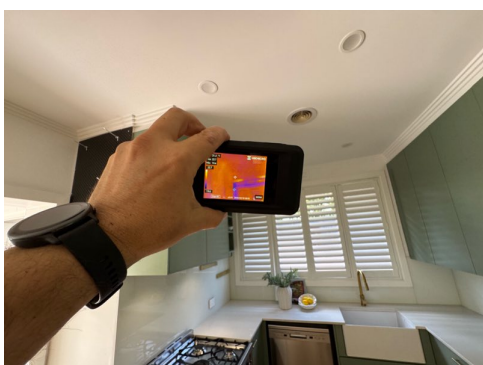
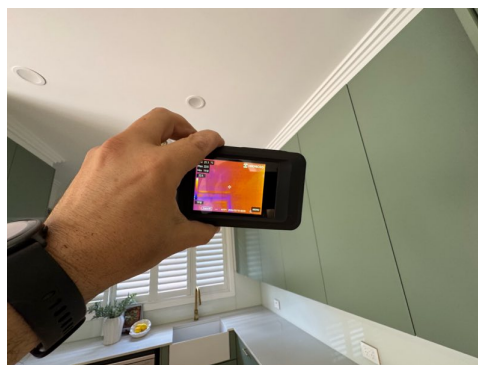












Noted Item

Building: Main Building

Location: All Areas

Finding: Asbestos - Suspected ACM Identified on Site

Information: Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos. As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos. In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



Noted Item

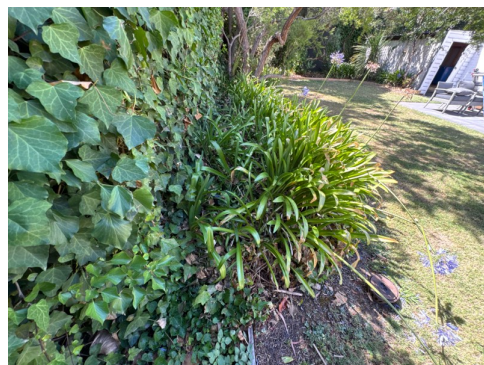
Building: Main Building

Location: All External Areas

Finding: Obstructions and Limitations - External Areas

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the external areas at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Noted Item

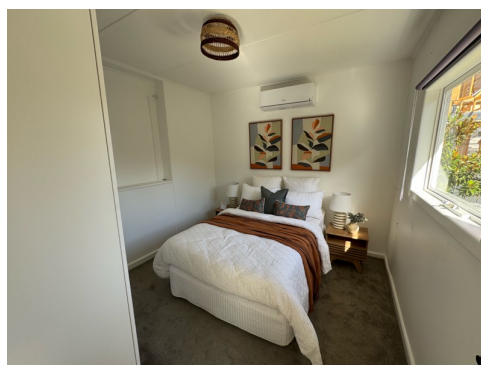
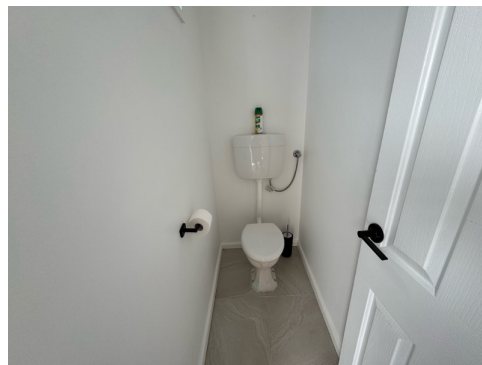
Building: Main Building

Location: All Internal Areas

Finding: Obstructions and Limitations - Internal Areas

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the internal areas at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





Noted Item

Building: Main Building

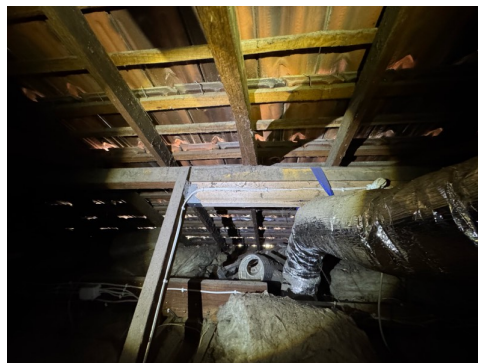
Location: Roof Void

Finding: Obstructions and Limitations - Roof Cavity

Information: These photographs are an indication of the obstructions and limitations that impeded the full inspection of the roof cavity at the time of inspection. Note that the insulation covered nearly all the ceiling joists, which are a major structural element of the ceiling structure; the inspection was also limited to areas with an allowable crawl space of 600mm x 600mm, in particular towards the external walls where the roof line diminishes, it was not accessible. These obstructions and limitations can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







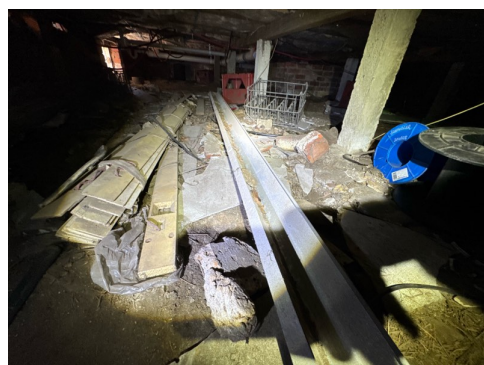
Noted Item

Building: Main Building

Location: Subfloor

Finding: Obstructions and Limitations – Subfloor

Information: These photographs are an indication of the obstructions and limitations which impeded the full inspection of the subfloor area, including major structural flooring elements, at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber

Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Termites Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.
Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the Civil Law (Sale of Residential Property) Act 2003. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.

b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.