



Building and Timber Pest Inspection Report VR

Inspection Date: Thu, 20 Nov 2025

Property Address: 19 Hill St, Bundanoon NSW 2578,
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 20 Nov 2025

Modified Date: Fri, 6 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

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Client's Email Address:

Client's Phone Number:

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Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report must be read in conjunction with D5 Conclusion - Assessment of the overall condition of the property. The report must be read in full to clearly understand all items identified as defects in the report.

- This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects. The report is only valid for 90 days, were after a re-inspection must take place.

- Where any elevated Structure (deck, balcony, verandah etc) is present, and this elevated structure is

designed to accommodate people, you MUST have this structure checked by an engineer or other suitably qualified person.

- You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance, that may become necessary, is identified. Care must be taken not to overload the structure.

- Nothing contained in this report should be taken as an indicator that an assessment has been made, on any elevated structure, as suitable for any specific number of people or purpose. This can only be done by a qualified engineer. For the purpose of this report, the Structure includes elevated decks, verandah, pergolas, balconies, handrails, stairs and children's play areas

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage	✓	
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with safety hazards identified. Major and minor defects were also found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. Live activity and/or damage from timber pest activity was found at the time. A termite treatment is required.

Section B General

General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Brick Stumps or Piers
Furnished	Furnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	West
Other Building Elements	Driveway, Fence - Post and Rail Construction, Garage, Pergola, Porch, Retaining Walls, Water Tanks
Other Timber Bldg Elements	Architraves, Deck, Door Frames, Doors, Eaves, Fascias, Internal Joinery, Patio, Porch / Patio, Skirting Boards, Stair Railing, Floating Floor, Staircase, Stumps, Timber Wall Panelling, Veranda Posts, Weatherboards, Window Frames
Roof	Timber Framed, Tiled, Pitched
Storeys	Single
Walls	Weatherboards
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Outbuildings
- Posts
- Roof Exterior - Part
- Roof Void - Part
- Stumps
- Subfloor
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Exterior Roof Surface - Second Storey.
- Garage due to lack of access.
- Locked Sheds or Outbuildings.
- Roof Exterior - Part
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible

areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Decking
- Chimney vents and flues
- Ceiling linings
- Evidence of recently painted walls or ceilings
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Lack of natural or acceptable lighting
- Landscaping
- Mould - Health Hazard
- No safe point from which to access roof exterior
- Patio
- Pipework
- Porch
- Rugs
- Sarking

- Unsafe to Access Roof - No Fall Protection System
- Vegetation
- Wall linings
- Wallpaper or Wall Coverings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

Building:	Main Building
Location:	Rear Verandah
Finding:	Electrical wires exposed
Information:	Exposed electrical wiring was identified. Exposed electrical wiring represents a potential safety hazard including for fire and personal contact. Contact a licensed electrician urgently for further inspection investigation and rectification.



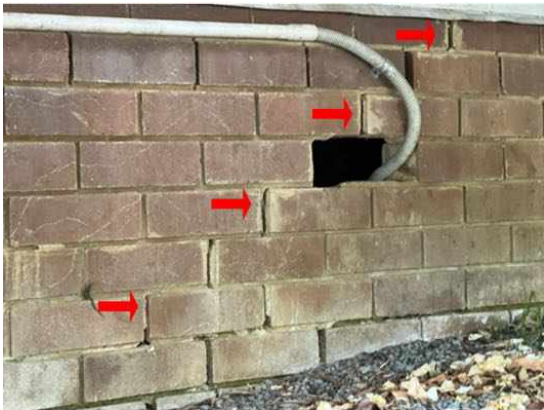
Major Defect

Finding 2.01

Building:	Main Building
Location:	Front Verandah
Finding:	Brickwork - Step cracking
Information:	Step cracking was identified to the brickwork in this area at the time of inspection. Step cracking, which is similar to other forms of cracking, has a variety of possible causes. However, the most common is the subsidence of adjacent footings.

Step cracking is a relatively common defect, and is most likely to occur adjacent to windows, doors and other openings. Mortar failure in the gaps between affected bricks indicates the stresses and tensions affecting the wall.

Where step cracking is extensive or severe, the client is advised to consult a structural engineer. Minor step cracking can be used as a warning sign to address factors causing stress to the wall, which can include the effect of surrounding trees, water leaks, soil erosion, or even the presence of reactive soils in the surrounding area.



Minor Defect

Finding 3.01

Building: Main Building
Location: All Internal Areas
Finding: Flooring Trim - Missing or Unfinished
Information: Sections of flooring were observed without transition or edging trims where the floor meets adjoining surfaces such as sliding doors, walls, tiles, or carpeted areas. Missing or unfinished trims detract from the overall appearance and leave exposed edges susceptible to lifting, moisture ingress, or damage.

A carpenter or flooring installer should be engaged to fit suitable trims or edging to protect exposed areas and provide a neat, durable finish.





Finding 3.02

Building: Main Building

Location: Hallway, Kitchen

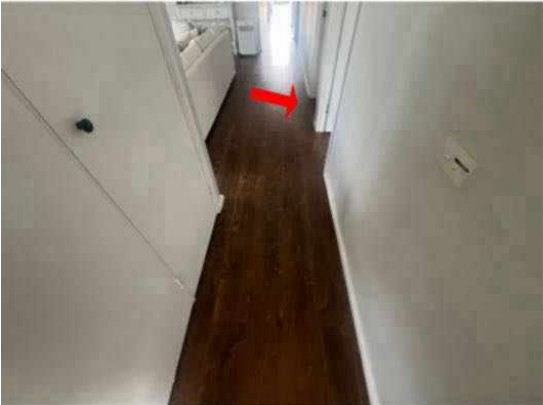
Finding: Flooring - Uneven

Information: The internal flooring in this area is out of level and uneven. Uneven flooring is likely to indicate minor defects such as expected movement of the foundations of the property, but may also indicate subsidence of the associated subfloor stumps.

It is advised that the flooring be closely monitored to identify any further movement. Where flooring remains relatively unchanged for an extended period of time (i.e. several months), it is likely that this defect has been caused by expected movement of the foundations of the property.

However, where flooring is uneven further, potentially invasive inspection of the subfloor structures and stumps in this area is required. In this case, works to repair are likely to be required, and would be carried out by a registered builder specialising in re-stumping.

Note: 600mm level used , deviations in levels for ne install of floors is 4mm over 2metres.





Finding 3.03

Building: Main Building
Location: Entry (linen), Sitting Room, Bedroom 3 (robe), verandah
Finding: Doors - Binding/Jamming
Information: Binding and/or jamming of several doors throughout the property were evident during standard operation. This defect inhibits the functionality of affected doors as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

Where door binding/jamming appears to indicate major structural issues, a registered builder specialising in re-stumping should be appointed to provide an estimate on the cost of rectification.

For minor causes, a qualified carpenter or general handyperson should be appointed to perform minor rectification works at client discretion.





Finding 3.04

Building:	Main Building
Location:	All Internal Areas
Finding:	Painting deteriorated - Window frames throughout
Information:	The paint work in these areas of the property require attention to prepare and re paint. Whilst incomplete or missing paint finish is generally an appearance defect, it can also lead to the development of secondary building defects over time. Incomplete areas of paint finish exposes the area to moisture, potentially accelerating the deterioration of underlying building materials.

Degraded paint finishes should be sanded back, filled, leveled and painted, as applicable. Where inadequate or missing paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

A painting contractor should be appointed at the clients discretion to perform necessary works to aid the appearance of the affected area and to ensure the area is protected against further deterioration. Alternatively, the homeowner following manufacturer instructions may perform these works



Finding 3.05

Building:	Main Building
Location:	Bedroom 3
Finding:	Building element - Damaged
Information:	Breakage occurs generally when the building materials have either aged and decayed, or as a result of damage (accidental or deliberate).

Repair and/or replacement of broken elements is advised to ensure that additional secondary defects do not arise as a consequence. Such works are necessary, as all building elements play a key role in the operation and function of the overall structure and its performance.

A handy person or carpenter should be appointed to repair or replace the affected building element prior to any subsequent damage being caused.



Finding 3.06

Building:	Main Building
Location:	Living Room
Finding:	Ceiling Paint - Flaking
Information:	Flaking paint was identified on the ceiling at the time of inspection. This defect is commonly caused by moisture ingress, poor surface preparation, or the natural ageing and deterioration of paint over time.

Flaking paint not only detracts from the aesthetic appeal of the ceiling but may also expose the underlying surface to further deterioration, including moisture absorption and potential damage.

It is recommended that a qualified painter be engaged to prepare and repaint the affected area to ensure proper adhesion and a durable finish. Investigation into potential underlying causes, such as moisture issues, should also be considered to prevent recurrence.



Finding 3.07

Building:	Main Building
Location:	Bedroom 2
Finding:	Incomplete or substandard works - flooring
Information:	The works to this area appear to be incomplete or have been completed to a substandard level.

Works that have not been completed to a satisfactory level create potential for the development of building defects and may impede on the safety and integrity of the overall structure.

It is highly recommended that a carpenter or flooring specialist be appointed to complete these works and ensure the safety of the area and the longevity of all associated building elements.

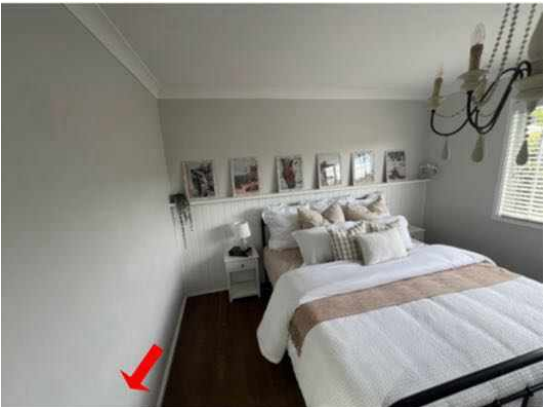


Finding 3.08

Building:	Main Building
Location:	Entry, Hallway, Bedroom - Master, Kitchen
Finding:	Plasterboard - substandard or incomplete
Information:	The installation and finish of this plasterboard appear to be substandard or incomplete. Substandard work is typically the result of poor workmanship, the use of

inappropriate materials, or a failure to complete the installation to an acceptable standard.

Where installation is substandard or incomplete, the client should engage a plasterer or registered builder to undertake rectification. Unfinished and poorly executed building work is more likely to deteriorate prematurely, potentially leading to secondary defects in associated building elements and affecting the overall aesthetic quality.





Finding 3.09

Building: Main Building

Location: Living Room

Finding: Ceiling - Sagging, Cracking, and Substandard Finishes

Information: The inspection identified several ceiling defects, including localised sagging, cracking, and inconsistent flushing of joint lines. Minor sagging across the ceiling surface suggests that back-blocking may have been omitted or inadequately installed. Cracking and uneven joint treatment were also noted, along with areas of substandard patching where prior repairs have not been completed to an acceptable finish.

These conditions are not considered structural but indicate surface movement and workmanship deficiencies that may worsen if deterioration continues. The affected areas should be assessed by a qualified plasterer to confirm the extent of movement and ensure appropriate repairs are undertaken to restore a uniform ceiling finish.







Finding 3.10

Building:	Main Building
Location:	Bathroom
Finding:	Ceiling - Incomplete or substandard works
Information:	The works to this area appear to be incomplete or have been completed to a substandard level.

Works that have not been completed to a satisfactory level create potential for the development of building defects and may impede on the safety and integrity of the overall structure.

It is highly recommended that a licensed plasterboard contractor should be appointed to repair the ceiling. To ensure the safety of the area and the longevity of all associated building elements.



Finding 3.11

Building:	Main Building
Location:	Bathroom
Finding:	Toilet - Not flushing
Information:	Non-operational items should be addressed to ensure that the full function of the building structure is available. Where some building elements are not operating as intended, it is possible that secondary building defects could arise due to their non-operation.

Repair and/or replacement of the faulty building element is recommended. It is highly recommended that a licensed plumber be engaged to perform any necessary works.



Finding 3.12

Building:	Main Building
Location:	Bathroom
Finding:	Moisture in Shower (BV1)
Information:	Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp. Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.

Consultation with a qualified plumber or bathroom specialist is advised to identify the cause of damp and to perform remedial works as required.

Please note, the moisture meter used operates on the principle of electrical impedance, generating a low-frequency alternating electric field between its electrodes. The instrument measures moisture content within the material at a maximum depth of 19mm below the surface, rather than on the surface itself.

As a result, surface moisture such as residual water on shower tiles does not influence the reading, ensuring that the measurement reflects subsurface moisture levels within the building material, not superficial wetness.





Finding 3.13

Building:	Main Building
Location:	Bathroom
Finding:	Misaligned Vanity Doors/Drawers
Information:	The Joinery doors and doors are identified as not closing properly at the time of inspection. These defects may result from wear and tear, movement of materials, or substandard installation.

It is recommended that a qualified cabinet maker, joiner or handyman to be engaged to realign the door to ensure proper functionality and a tidy appearance.



Finding 3.14

Building:	Main Building
Location:	Bathroom
Finding:	Mould - ceiling
Information:	Mould spotting was observed on the ceiling at the time of inspection. This condition is typically indicative of prolonged moisture exposure, which may be caused by water ingress, inadequate ventilation, or condensation buildup.

If left unmanaged, persistent moisture can lead to further mould growth, deterioration of building materials, and potential health concerns.

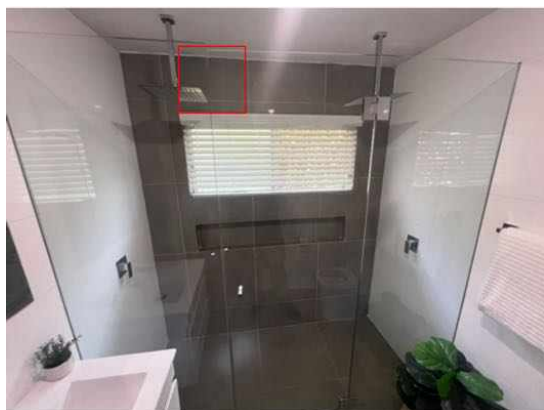
It is recommended that a licensed plumber or building professional be engaged to investigate the source of moisture and undertake any necessary remedial works. Remediation of the mould-affected areas should also be carried out to prevent further deterioration.



Finding 3.15

Building:	Main Building
Location:	Bathroom
Finding:	Shower Screen - Door Contacting Fixed Panel
Information:	The frameless shower screen door was observed to contact the adjoining fixed glass panel when opened or closed. This condition indicates poor alignment or insufficient clearance between panels. Repeated impact may lead to chipping of the glass edges, stress fractures, or loosening of fittings over time.

A licensed glazier should be engaged to inspect the shower screen assembly, realign the door, and ensure all fittings are secure and operating smoothly to prevent further damage.



Finding 3.16

Building:	Main Building
Location:	Bathroom
Finding:	Shower damp - Sealant and grout
Information:	Damp is evident to the lower 400mm of wall to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating or leaching through the grouting and sealant in this area, which shows evidence of deterioration. Leaking pipes within the wall is also a possible cause however this seems unlikely in this instance as there is no moisture build up around the taps or transferring to the other side of the wall. There appears to be no sealant around the tap spindles which may be a small contributing factor.

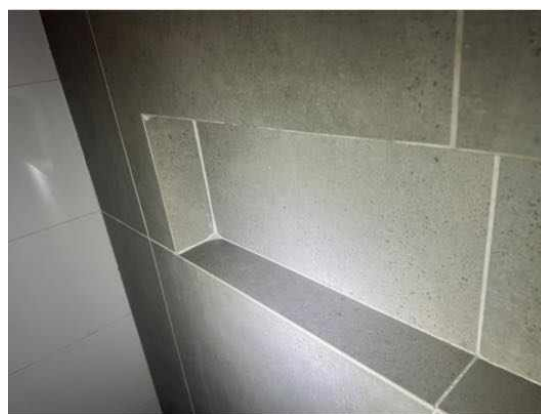
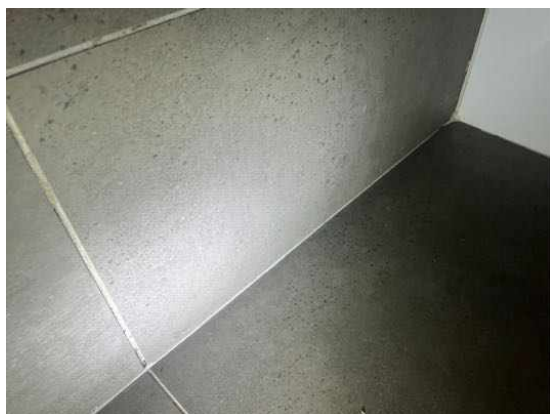
Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks, degraded materials or other sources of excessive moisture are generally the cause of damp.

Unmanaged damp in the shower recess is likely to facilitate the formation and development of mould and fungi growth, decaying associated building materials and compromising their structural integrity of associated elements. It is important to address damp conditions, as the World Health Organisation notes that excess moisture leads - on almost all indoor materials - to growth of microbes such as moulds, fungi and bacteria, which subsequently emit spores and other matter into the indoor air. Exposure to these contaminants is associated with a wide range of respiratory and other health-related problems. Damp conditions also create a conducive environment for termite infestation.

Consultation with a bathroom sealant specialist is advised immediately to identify the cause of damp and to perform remedial works as required.

Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.





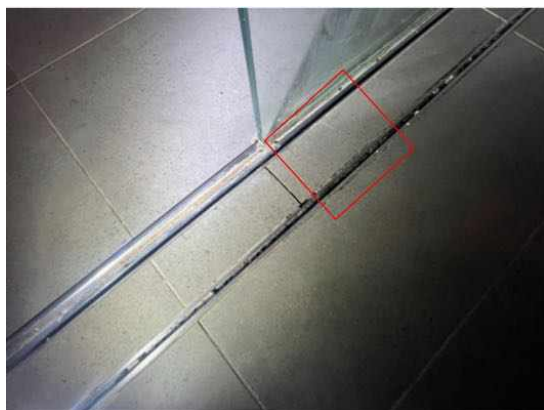
Finding 3.17

Building:	Main Building
Location:	Bathroom
Finding:	Tiles - Cracked or damaged
Information:	Cracking was evident to the tiling in this area at the time of inspection. While the cracking appears to be minor, this area is frequently exposed to water, allowing potential for water penetration into adjoining sections of walls or flooring.

If left unmanaged, water penetration to these areas may lead to subsequent water damage, which is likely necessitate repair work to affected building elements.

A tiling contractor should be appointed to ensure that no further water damage occurs. The re-application of silicone and grouting throughout remaining tile work is also advised, to further protect the area against water penetration.

Where water penetration has led to water damage, appointment of a relevant tradesperson may be required to repair damaged building elements.

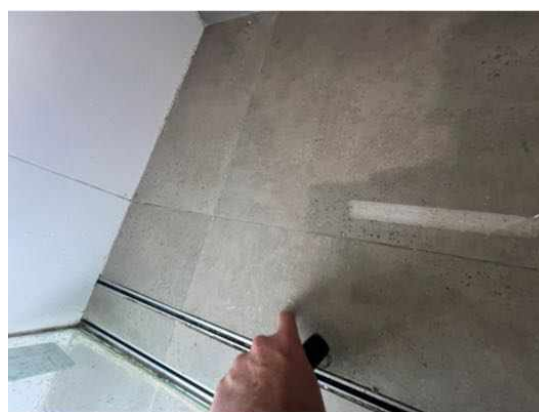


Finding 3.18

Building:	Main Building
Location:	Bathroom
Finding:	Shower base - Water pooling
Information:	Evidence of water pooling around the floor waste in the shower recess was noticed at the time of inspection. It is suspected that this excessive moisture is attributed to insufficient fall in the shower floor tiles.

This pooling is minor overall but is still considered unsatisfactory, as standard tiling practices would not permit this situation to occur. Pooling water around floor wastes can create a slip hazard in extreme cases and create conditions that are conducive to mould growth over time. Where left unmanaged, the degradation of sealant and grouting is also likely to occur, possibly necessitating further repair works.

Remedial works may involve some sections of tiling and flooring repair and replacement. A tiling contractor or bathroom specialist should be appointed to provide further advice on reparation options and to perform works as necessary.

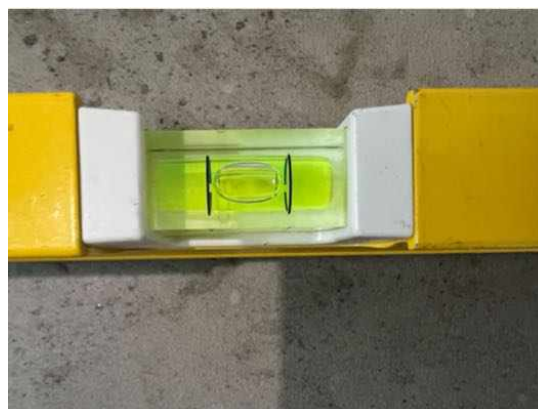


Finding 3.19

Building:	Main Building
Location:	Bathroom

Finding: Incorrect fall
Information: Water in the wet area was observed to be tracking toward the doorway instead of draining completely to the floor grate. This indicates inadequate fall, which may lead to pooling, water damage to surrounding areas, and potential slip hazards.

A registered builder or a licensed floor and wall tiler should be appointed to assess and rectify the floor gradient to ensure effective drainage and prevent moisture-related defects.



Finding 3.20

Building: Main Building
Location: Bathroom. Laundry, Kitchen
Finding: Tap - Water hammer
Information: This tap shows evidence of water hammer being present. Water hammer, a pressure surge resulting when a fluid is forced to suddenly change direction, is a common defect in plumbing fittings, particularly those that are aged and not frequently maintained. Water hammer is generally caused by factors that create high water pressure in the affected plumbing fixture, usually evidenced by a faint banging noise during operation of the affected tap.

Although water hammer is generally considered to be a minor defect, subsequent damage such as erosion of tap hardware and/or water damage to associated building elements is likely to occur if left unmanaged.

A licensed plumber should be appointed as soon as possible to replace any affected tap hardware and perform any remedial works as necessary. Please be advised that the appointment of a cabinet maker or qualified carpenter may be necessary if water damage to associated building elements has occurred.



Finding 3.21

Building: Main Building
 Location: Bathroom, Laundry
 Finding: Window Lock - Obstructed by Tiled Reveal
 Information: The window lock was found to be non-functional due to interference from newly installed tiles within the window reveal. The additional tile thickness prevents the locking mechanism from fully engaging.

While this defect does not affect structural performance, it restricts proper operation and security of the window. A qualified handyman or carpenter should be engaged to adjust the lock mechanism or modify the reveal to allow full function of the lock.





Finding 3.22

Building: Main Building

Location: Laundry

Finding: Tap - Loose

Information: The tap in this area has not been installed correctly, or has deteriorated with age, and is consequently loose. This tap being loose creates potential for water leaks and subsequent water damage to the surrounding area.

Where taps or spouts are loose, a qualified plumber should be appointed to re-fix the plumbing fitting.



Finding 3.23

Building: Main Building

Location: Laundry

Finding: Ceiling – hairline crack

Information: Hairline linear cracking was observed at butt joints between ceiling sheets. This type of cracking is commonly caused by minor settlement movement, material shrinkage, or general aging flexing along joint lines over time.

While these issues are largely cosmetic at this stage, they indicate a history of movement. If left unmanaged, further deterioration or more noticeable ceiling

deformation may occur.

It is recommended that a qualified plasterer or painter be engaged to assess and undertake remedial works to ensure the ceiling is properly prepared and refinished to an acceptable standard.

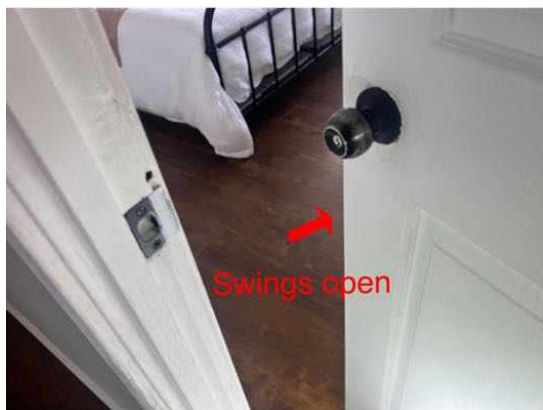


Finding 3.24

Building:	Main Building
Location:	Laundry, Bedroom - Master
Finding:	Door - swings drifts open not stationary
Information:	The door was observed to swing or drift open and closed on its own, failing to remain stationary when positioned. A properly installed door should stay in place unless intentionally moved, and this condition is typically caused by a substandard door or jamb installation, or slight unevenness in the floor surface.

While not structural, this defect is inconvenient and detracts from normal use. A carpenter or general handyperson should be engaged to inspect the installation and make necessary adjustments to ensure the door remains stable when open or closed.





Finding 3.25

Building:	Main Building
Location:	Laundry, Kitchen
Finding:	Sink - Slow Drainage
Information:	The sink was noted to be draining slowly at the time of inspection. This condition is commonly caused by a partial blockage within the waste pipe or inadequate fall in the plumbing line.

If left unresolved, slow drainage may worsen over time and lead to further blockages or overflows. A licensed plumber should be engaged to investigate the cause and carry out any necessary cleaning or rectification to restore proper function.



Finding 3.26

Building:	Main Building
Location:	Dining Room
Finding:	Ceiling - Incomplete or substandard works
Information:	The works to this area appear to be incomplete or have been completed to a substandard level.

Works that have not been completed to a satisfactory level create potential for the development of building defects and may impede on the safety and integrity of the

overall structure.

It is highly recommended that a licensed plasterboard contractor should be appointed to repair the ceiling. To ensure the safety of the area and the longevity of all associated building elements.



Finding 3.27

Building:	Main Building
Location:	Kitchen
Finding:	Ceiling - Incomplete or substandard works
Information:	The works to this area appear to be incomplete or have been completed to a

substandard level.

Works that have not been completed to a satisfactory level create potential for the development of building defects and may impede on the safety and integrity of the overall structure.

It is highly recommended that a licensed plasterboard contractor should be appointed to repair the ceiling. To ensure the safety of the area and the longevity of all associated building elements.



Finding 3.28

Building:	Main Building
Location:	Kitchen
Finding:	Sealant and grouting - Missing or damaged
Information:	It was noted on inspection that sealant or grout is degraded to the Kitchen area

Different materials and floor areas move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

There appears to be excessive mould to the sealant and grout which will likely require scraping out and replacement.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible



Finding 3.29

Building:	Main Building
Location:	Kitchen
Finding:	Surface - Requires cleaning
Information:	Regular cleaning and maintenance improves the longevity of all building elements. A build up of dirt and debris can reduce the useful life of building materials and may result in earlier replacement of items being required.

Excessive dirt is also likely to lead to secondary hazards, including potential health hazards, as the building elements begin to harbour bacteria and/or mould.

Remedial cleaning is recommended in order to improve the appearance of this area as well as to counteract the development of bacteria. Such works can be performed by a cleaning contractor and should be completed at the discretion of the client.



Finding 3.30

Building: Main Building

Location: Kitchen

Finding: Tap - Leaking

Information: The tap in this area was found to be leaking at the time of inspection. This is a common defect that is consistent with general ageing of the building element. However, it may be indicative of substandard plumbing workmanship if the tap is relatively new.

While this defect only seems minor, if left unmanaged, it is likely to result in the development of rust, water damage and/or extensive water usage.

It is advised that a handyman or licensed plumber be appointed to perform remedial works on the affected tap. Such works should be performed prior to the development of secondary defects to ensure adequate functionality of all associated building elements.



Finding 3.31

Building: Main Building

Location: Kitchen

Finding: Water leak - Active

Information: Generally, water leaks occur when a particular area of the property is not weather or water tight. As the surrounding area was found to be damp at the time of inspection, the leak is considered ongoing and hence requires urgent action.

Regardless of the location, even minor leaks that are left unmanaged can lead to serious damage of associated building elements and result in the need for replacement of building materials. Mould and other hazards such as electrical hazards may also arise if the leak is left to develop.

It is highly advised that the cause of the leak be identified and resolved immediately by a licensed plumber to prevent any further damage. Depending on the extent of the damage previously sustained, repair and/or replacement of any affected building materials may be required.

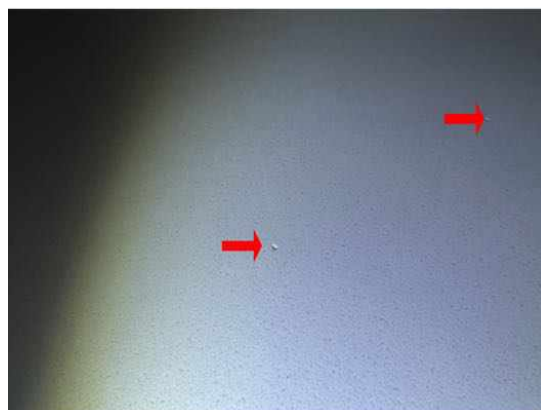
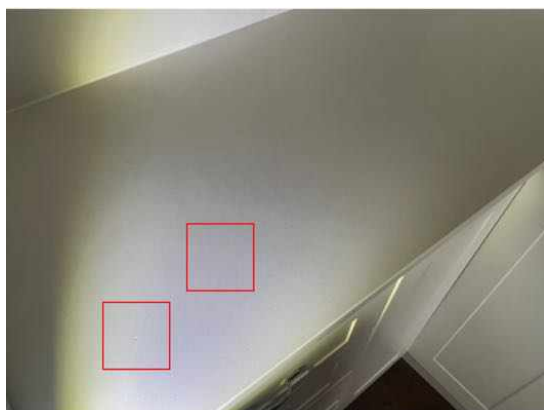


Finding 3.32

Building: Main Building
 Location: Kitchen
 Finding: Stone Benchtop – Chip to Surface
 Information: A visible chip was identified to the surface of the stone benchtop. This type of damage is typically the result of excessive impact, point loading, or internal stress within the material.

Chipping may compromise both the appearance and integrity of the benchtop and could worsen over time with ongoing use or exposure to temperature fluctuations.

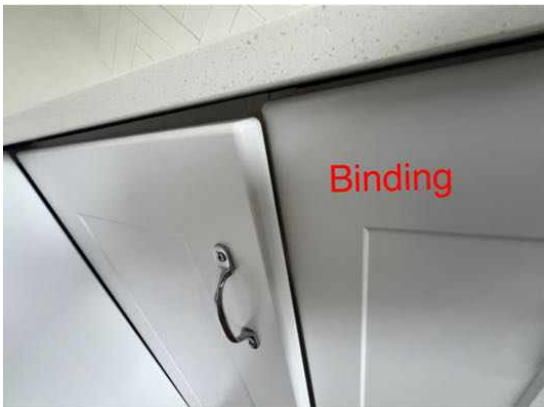
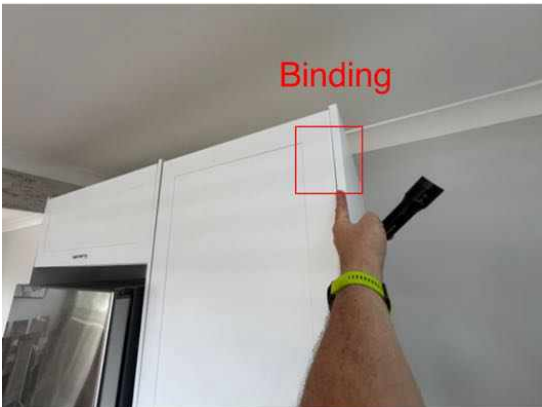
Assessment by a qualified stone or cabinetry specialist is recommended to determine whether repair or replacement is necessary.



Finding 3.33

Building:	Main Building
Location:	Kitchen
Finding:	Misaligned Joinery Doors/Drawers
Information:	The Joinery doors and drawers are identified as not closing properly at the time of inspection. These defects may result from wear and tear, movement of materials, or substandard installation.

It is recommended that a qualified cabinet maker, joiner or handyman to be engaged to realign the door to ensure proper functionality and a tidy appearance.





Finding 3.34

Building: Main Building
 Location: Kitchen
 Finding: Joinery - Loose Drawer Face
 Information: The drawer face was observed to be loose at the time of inspection. This may be due to inadequate fixings, general wear and tear, or poor initial installation.

If left unmanaged, further loosening may occur, potentially leading to detachment or damage to the associated cabinetry.

It is recommended that a qualified cabinetmaker or carpenter be engaged to assess and secure the drawer face to restore its functionality and ensure longevity.



Finding 3.35

Building: Main Building

Location: Roof Void

Finding: Exhaust Fan - Flue Not Installed

Information: The exhaust fan in this area has not been fitted with a flue to adequately vent extracted air to the exterior of the property. This defect has resulted in extracted air being discharged directly into the ceiling void. Such conditions may lead to the accumulation of moisture-laden air, which can cause deterioration to building elements, promote mould growth, and reduce the effectiveness of insulation in the roof space.

Additionally, the presence of insulation fibres around the fan presents a potential health hazard, as the disturbed fibres may circulate into the internal living spaces.

It is recommended that a licensed plumber be appointed to install an appropriate flue system that vents directly to the exterior, ensuring the area is adequately ventilated and compliant with best building practices.



Finding 3.36

Building: Main Building

Location: Roof Void
 Finding: Insulation - Missing in areas
 Information: Upon inspection of the roof void it was noted that insulation is not present in some areas

Insufficient insulation will result in a comparatively higher cost to heat and cool a property as there is a lack of Insulation (or uneven coverage of insulation) which works as a barrier to heat transfer. This helps to keep out unwanted heat in summer and preserves warmth inside your home in winter. It can also help soundproof your home from unwanted airborne noise transfer.

Where insulation is absent, the area does not meet current Australian Standards. Installation of adequate insulation is required and should be conducted as soon as possible.



Finding 3.37

Building: Main Building
 Location: Rear Verandah, Side Gate (right)
 Finding: Gate - Binding/jamming (minor)
 Information: Binding and/or jamming of this gate is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements.

A gate that binds to paving or to the associated gate frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges.

For minor causes, a qualified carpenter or general handyperson should be appointed to perform minor rectification works at client discretion.



Finding 3.38

Building:	Main Building
Location:	Exterior walls - right side
Finding:	Stormwater drain - Not connected
Information:	The roof plumbing is not adequately connected to stormwater drainage on the site. This disconnection negatively impacts the functional capacity of the roof plumbing.

Where roof plumbing doesn't drain adequately, the area at the base perimeter can become excessively damp, potentially creating an environment that is susceptible to rust and corrosion of surrounding building elements, as well as attracting termites and other pests.

It is highly recommended that a plumber be appointed to further inspect the area and to install adequate drainage equipment where necessary.



Finding 3.39

Building:	Main Building
Location:	Exterior walls - right side, Front
Finding:	Guttering - Not Installed.
Information:	The absence of guttering at this property increases the risk of water pooling around the foundation, which creates conditions highly conducive to termite activity. Without

adequate guttering, rainwater is not effectively directed away from the building, potentially causing prolonged moisture retention, soil erosion, or water ingress into lower areas. These conditions can attract termites and facilitate their movement into the structure.

It is recommended that a licensed roof plumber install guttering to ensure proper water drainage and minimise the risk of moisture-related issues and termite infestations. This work should be prioritised to protect the building's structural integrity.



Finding 3.40

Building:	Main Building
Location:	Exterior walls - right side (laundry)
Finding:	Paint finish - Incomplete
Information:	The paint finish in this area was identified as being incomplete at the time of inspection.

Whilst incomplete or missing paint finish is generally an appearance defect, it can also lead to the development of secondary building defects over time. Incomplete areas of paint finish expose the area to moisture, potentially accelerating the deterioration of underlying building materials.

Incomplete paint finishes should be sanded back, filled, leveled and painted, as applicable. Where inadequate or missing paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

A painting contractor should be appointed as soon as possible to perform necessary works to aid the appearance of the affected area and to ensure the area is protected against further deterioration. Alternatively, the homeowner following manufacturer instructions may perform these works.



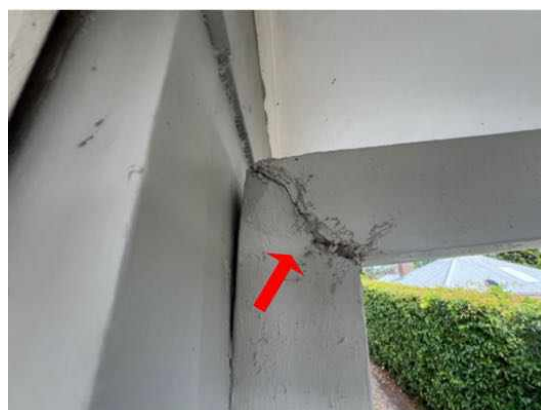
Finding 3.41

Building:	Main Building
Location:	Exterior walls - left side
Finding:	Downpipe - Water staining
Information:	Water staining was evident in this area at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by other building elements.

Where water staining is active, a licensed roof plumber must be consulted to identify the cause of the staining and to provide advice on any repairation works that may be required. Replacement of any broken or damaged structures is advised.

Conversely, where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion. A qualified carpenter or registered builder may be appointed to perform these works.





Finding 3.42

Building: Yard
 Location: Yard - Side
 Finding: Site drainage - Inadequate
 Information:

The site drainage in this area was found to be inadequate at the time of inspection, creating potential for subsequent water damage to associated building elements.

It is important that water does not lie against the base of walls; surrounding paths and ground levels should be sloped to drain water away from walls. Downpipes should not discharge stormwater onto lower walls or plinths. Stormwater should be carried away by large, regularly cleaned drains. Ground levels may need to be lowered to expose a buried DPC.

Where site drainage is inadequate, installation of an Agricultural (Aggie) Drain may be required. A qualified plumber should be appointed to further inspect the property and perform any remedial works as necessary. Water damage and secondary defects are likely to occur if left unmanaged.

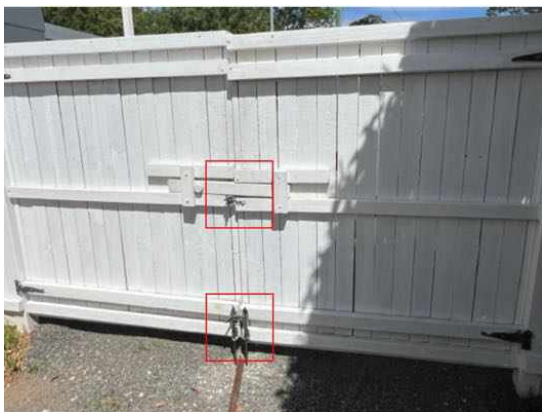




Finding 3.43

Building: Yard
 Location: Yard - Side (left), Front gate
 Finding: Gate Lock - Not working
 Information: The lock in this area was not operational at the time of inspection. Where locks have deteriorated to a point where they are no longer usable, the gates have sagged due to the weight of the timber panelling, or lock installed incorrectly and not functioning, the security of the property is immediately compromised.

Adjustment of gate or of the lock is highly recommended. Consultation with a carpenter or general handyman is required to gain further advice on any added security that may be available for the area and remedial works.





Finding 3.44

Building:	Garage
Location:	Pergola (Garage)
Finding:	Wood rot - pergola
Information:	This pergola shows evidence of wood rot. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials. Contributing factors also include poor air ventilation in the area.

Wood rot is often associated with general damp problems and is evidenced by a 'musty' smell or mould and mildew occurring on surfaces. If left unmanaged, damp conditions can lead to further health problems and the decay of timbers will continue.

Early intervention and regular maintenance, particularly of exterior timbers, will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner. Replacement of affected timbers may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.



Finding 3.45

Building: Garage
 Location: Garage
 Finding: Wood rot
 Information:

This building element shows evidence of wood rot. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials. Contributing factors also include poor air ventilation in the area.

Wood rot is often associated with general damp problems and is evidenced by a

'musty' smell or mould and mildew occurring on surfaces. If left unmanaged, damp conditions can lead to further health problems and the decay of timbers will continue.

Early intervention and regular maintenance, particularly of exterior timbers, will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner. Replacement of affected timbers may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.



Finding 3.46

Building:	Garage
Location:	Garage
Finding:	Door - Binding/jamming
Information:	Binding and/or jamming of this door is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

Where door binding/jamming appears to indicate major structural issues, a registered builder specialising in re-stumping should be appointed to provide an estimate on the cost of rectification.

For minor causes, a qualified carpenter or general handyperson should be appointed to perform minor rectification works at client discretion.



Finding 3.47

Building:	Garage
Location:	Garage
Finding:	Garage external sheeting - Damaged
Information:	Breakage occurs generally when the building materials have either aged and decayed, or as a result of damage (accidental or deliberate).

Repair and/or replacement of broken elements is advised to ensure that additional secondary defects do not arise as a consequence. Such works are necessary, as all building elements play a key role in the operation and function of the overall structure and its performance.

A licensed carpenter should be appointed to repair or replace the affected building element prior to any subsequent damage being caused.



Finding 3.48

Building:	Garage
Location:	Garage
Finding:	Guttering - Not Installed.
Information:	The absence of guttering at this property increases the risk of water pooling around the foundation, which creates conditions highly conducive to termite activity. Without adequate guttering, rainwater is not effectively directed away from the building, potentially causing prolonged moisture retention, soil erosion, or water ingress into lower areas. These conditions can attract termites and facilitate their movement into the structure.

It is recommended that a licensed roof plumber install guttering to ensure proper water drainage and minimise the risk of moisture-related issues and termite infestations. This work should be prioritised to protect the building's structural integrity.



Finding 3.49

Building:	Garage
Location:	Garage
Finding:	Plasterboard - substandard or incomplete
Information:	The installation and finish of this plasterboard appear to be substandard or incomplete. Substandard work is typically the result of poor workmanship, the use of inappropriate materials, or a failure to complete the installation to an acceptable standard.

Where installation is substandard or incomplete, the client should engage a plasterer or registered builder to undertake rectification. Unfinished and poorly executed building work is more likely to deteriorate prematurely, potentially leading to secondary defects in associated building elements and affecting the overall aesthetic quality.





Finding 3.50

Building:	Main Building
Location:	Roof Exterior
Finding:	Mortar - Deterioration (minor)
Information:	Mortar, or 'bedding', is the material which fills joints and intersections between tiles and other building elements on the exterior roof covering, such as gable ends, hip capping and valleys. Upon inspection of the exterior roof, it was noted that sections of the mortar show varying levels of deterioration.

Mortar generally deteriorates as a result of frequent exposure to weather conditions over a prolonged period of time. Mortar that is deteriorating may allow water ingress into the roof void, putting associated building elements and roofing structures at risk of water damage. Deteriorated mortar also detracts from the functionality of roof tiles and other roofing elements, potentially decreasing weather tightness and roof drainage.

Mortar deterioration can be attended to by a handyperson where areas of deterioration are localised and easily accessible. Otherwise, consultation with a roofing contractor is advised where greater works are required.



Finding 3.51

Building:	Main Building
Location:	Roof Exterior

Finding: Roof plumbing - Rusted or corroded
Information: The roof plumbing has areas of rust and corrosion. It is suspected that this has been caused by blockages, resulting in pooling or standing water, that have prematurely rusted elements of the roof plumbing.

Rusted roof plumbing will generally develop holes and leaks that can affect other building elements with poor drainage of storm water. Poorly drained roof areas will also lead to damp conditions surrounding the base perimeter of the building which, if left unmanaged, can lead to a range of secondary building defects.

Repair and/or replacement of rusted roof plumbing is highly required in order to reinstate the roof drainage system to a fully operational level. To further maintain these areas, gutters should be cleaned frequently, allowing the avoidance of any partial blockages.

A licensed plumber or specialist roof restoration company should be appointed to undertake these works. It is advised that such works be completed as soon as possible to prevent any further damage and deterioration.



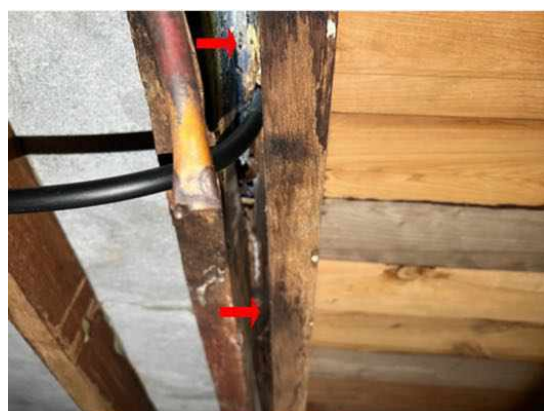
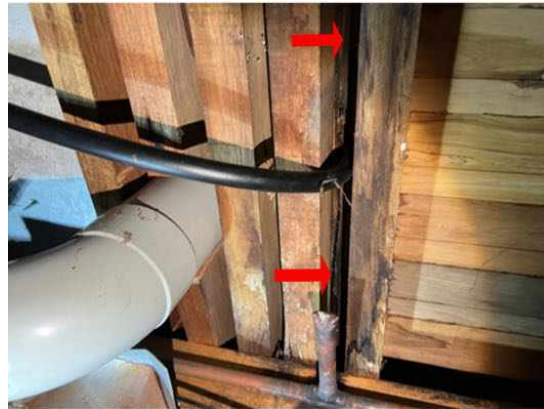
Finding 3.52

Building: Main Building
Location: Subfloor
Finding: Wood rot
Information: This building element shows evidence of wood rot. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials. Contributing factors also include poor air ventilation in the area.

Wood rot is often associated with general damp problems and is evidenced by a 'musty' smell or mould and mildew occurring on surfaces. If left unmanaged, damp conditions can lead to further health problems and the decay of timbers will continue.

Early intervention and regular maintenance, particularly of exterior timbers, will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner. Replacement of affected timbers may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Main Building
Location:	Meter Box
Finding:	Termite Management System - no Durable Notice
Information:	If a property has a history of termite activity, records or details related to previous treatments are essential in determining whether the applied measures were appropriate. A Durable Notice or Notice of Application serves as a record of past termite management and is typically located in the meter box, subfloor joist, or kitchen cupboard. These notices provide important information for determining future pest management strategies.

At the time of inspection, no Durable Notice was identified, and there was no evidence to suggest that a termite management system had been installed or that preventative treatments had taken place. In the absence of a recorded termite barrier, the property remains susceptible to potential termite attack on timber building elements.

It is recommended that the purchaser make further inquiries with the vendor regarding any past termite treatments or history of termite activity at the property, including any treatments applied to trees on-site. Additionally, consultation with a licensed pest controller is advised to assess the feasibility and cost of installing a post-construction chemical termite barrier. If a termite management system is installed, a Durable Notice should be placed in the switchboard unit or another accessible location to indicate the type of barrier in place and its maintenance requirements.



Finding 6.02

Building:	Main Building
Location:	Bathroom
Finding:	Moisture in Shower (Photos shown in previous defect section)
Information:	Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp. Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.

Consultation with a qualified plumber or bathroom specialist is advised to identify the cause of damp and to perform remedial works as required.

Please note, the moisture meter used operates on the principle of electrical impedance, generating a low-frequency alternating electric field between its electrodes. The instrument measures moisture content within the material at a maximum depth of 19mm below the surface, rather than on the surface itself.

As a result, surface moisture such as residual water on shower tiles does not influence the reading, ensuring that the measurement reflects subsurface moisture levels within the building material, not superficial wetness.

Finding 6.03

Building:	Main Building
Location:	Exterior walls - right side
Finding:	Stormwater drain - Not connected (Photos shown in previous defect section)
Information:	The roof plumbing is not adequately connected to stormwater drainage on the site. This disconnection negatively impacts the functional capacity of the roof plumbing.

Where roof plumbing doesn't drain adequately, the area at the base perimeter can become excessively damp, potentially creating an environment that is susceptible to rust and corrosion of surrounding building elements, as well as attracting termites and other pests.

It is highly recommended that a plumber be appointed to further inspect the area and to install adequate drainage equipment where necessary.

Finding 6.04

Building:	Main Building
Location:	Exterior walls - front

Finding: Air conditioner - Disconnected overflow
 Information: The Air Conditioner (A/C) overflow was found to be disconnected from storm water drainage and is creating excessive moisture in the surrounding area.

Such leaking creates an environment which is conducive to an array of defects, including water damage to associated building elements and the attraction of termite or timber pest infestation.

It is highly recommended that a licensed plumber be appointed to connect the A/C overflow in order to prevent such an environment from being created. These minor works should be carried out as soon as possible.



Finding 6.05

Building: Main Building
 Location: Deck
 Finding: Bridging (decking)- Attachments to Buildings.
 Information: Decking to the front porch and side patio about dwelling causing bridging and concealment. Bridging occurs when items against a building provide a concealed entry point for termites into the building or by passing around a termite management system.

Where any part of an attachment to a building is not isolated and is not provided with a clear gap of not less than 25mm from the building, bridging occurs. Attachments to buildings such as hot water services, downpipes, verandahs, decks, steps, fences, service conduits and the like provide the opportunity for concealed entry.

Building attachments of this nature need to be frequently inspected for termite activity by a qualified inspector.



Finding 6.06

Building:	Main Building
Location:	Deck, Subfloor
Finding:	Bridging of termite barrier - Posts.
Information:	Posts that are attached to home from ground to structure without a 75mm inspection zone (metal stirrup) causes a bridging point. Bridging of termite barriers occurs when termites bridge (usually by building a mud tunnel) a termite barrier or inspection zone or where termites have a passage allowing them to bridge the barrier.

Generally this takes the form of finished ground levels external paving or concrete being retrospectively installed above the damp course level the adjacent internal floor level or weep and ventilation holes.

Where bridging has occurred full inspection is prevented and termites may enter a property in a concealed or undetectable manner.



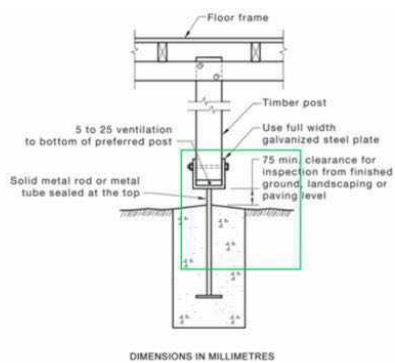


FIGURE 3.1(D) METAL STIRRUP AS ALTERNATIVE TO SHEETING FOR POSTS



Finding 6.07

Building: Main Building

Location: Subfloor

Finding: Subfloor - Wet Ground.

Information: An area of the subfloor was observed to have wet ground. Wet conditions in the subfloor are often indicative of inadequate drainage or water ingress, which can create an environment conducive to rising damp, timber rot, or pest activity.

It is recommended that a drainer/registered plumber or registered builder be engaged to assess the subfloor and provide advice on improving drainage to prevent further moisture-related issues. Regular monitoring of this area is also advised to ensure conditions remain stable.





Finding 6.08

Building:	Yard
Location:	The Site
Finding:	In ground contact
Information:	Any timbers in direct ground contact provide opportunity for concealed termite entry and are likely to be subject to premature rot and decay as the soil retains moisture or damp conditions against the timbers.

Remove untreated timber that is in direct contact with external grounds. Consider replacement with more durable materials i.e. treated timber or non timber elements. Frequent pest inspections are advised to readily identify any termite activity in these areas.



Finding 6.09

Building: Yard
 Location: The Site
 Finding: Garden Beds - Conditions Conducive to Termites
 Information: Garden beds were observed around the perimeter of the building, obstructing visual inspection of lower wall areas and providing potential concealed termite entry points.

Raised soil levels and retained moisture from watering can allow termites to access wall cavities or weep holes undetected, while timber edging materials may further encourage activity.

It is recommended that garden beds be reduced or cleared from the building

perimeter, or that regular timber pest inspections be carried out in accordance with AS 4349.3 or AS 3660.2 to monitor risk.



Finding 6.10

Building: Garage
 Location: Garage
 Finding: Firewood Stored Directly on Ground – Conducive to Timber Pest Activity
 Information: Firewood was observed to be stored directly on the ground within the property. Timber stored in direct contact with soil creates conditions highly conducive to termite activity and timber decay, as the ground retains moisture and provides shelter for timber pests.

It is recommended that firewood be stored off the ground on a raised platform or in a dedicated storage rack to minimise the risk of timber pest attack. Regular inspections of the stored timber and the surrounding ground area are also advised. The client should consult a licensed pest controller for further advice on timber pest management and preventative measures.



Evidence of fungal decay activity and/or damage

Finding 7.01

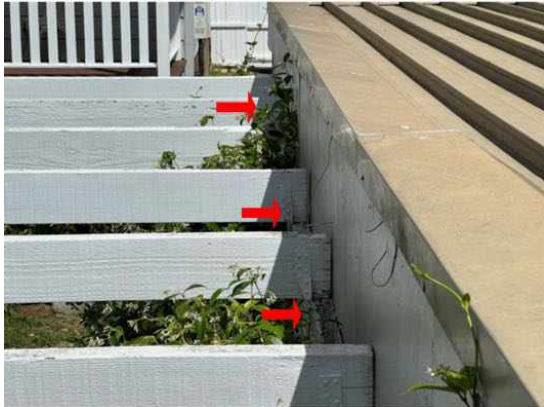
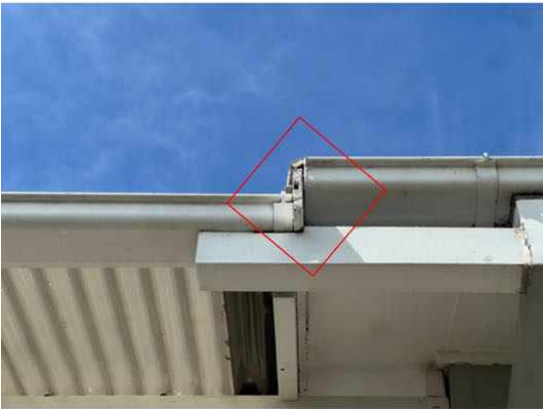
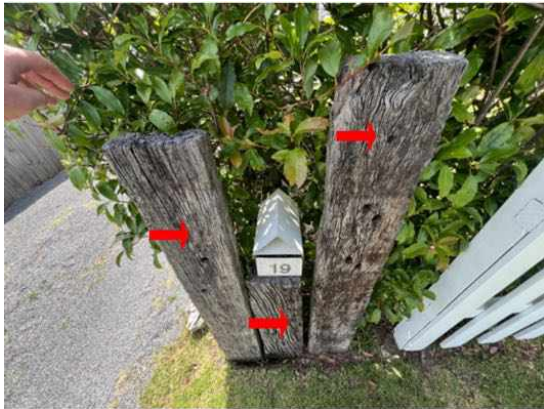
Building:	
Location:	All Areas
Finding:	Fungal decay - present (localised)
Information:	Fungal decay also known as wood decay or wood rot generally refers to the deterioration of timber elements when in contact with excessive levels of moisture for a prolonged period of time.

The development of fungal decay is accelerated by temperatures in the range of 5degreeC to 40degreeC as well as the presence of oxygen. Generally fungal decay develops on timber elements that are in use in an external environment which are exposed to rain penetration.

In this case although the affected timber element is in a decaying state the extent of any visible damage appears to be localised to a specific area and is yet to spread to other parts of the building element or affect adjoining structures. The fungal decay is therefore likely to be of a relatively superficial nature with minimal impact on the structural integrity or tensile strength of the timber element.











Evidence of wood borer activity and/or damage

Finding 8.01

Building: Garage

Location: Garage

Finding: Evidence of wood borer activity identified

Information: Wood borers small beetles that colonise in exposed timber elements are a common timber pest that are regularly mistaken for termites. Although wood borer activity is generally not detrimental to the affected timber they may lead to serious damage and necessitate replacement of certain building elements if left unattended.

The Lyctid borer which generally attacks hardwoods such as subfloor and roofing structures is generally identified by fine dust, surrounding the affected timbers.

The other commonly known borer the Anobium borer is more likely to attack floorboards and may cause severe structural damage to flooring areas.

As no live wood borer activity was identified treatment is not required at this time. Replacement of affected timbers may be considered by the client for superficial reasons.





Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- BUILDING

The building when compared to others of similar age and construction at the time of inspection, is in the condition stated in Section A - Overall Condition (Building) and risk rating of unidentifiable defects is stated in Section C Accessibility - Undetected defect risk (Building).

Obstructions were present as stated in Section C Accessibility - Obstructions and Limitations.

All room numbers are labeled from left to right as walking through the property from the front door through each level.

Please be aware that limitation's did affect the inspection and areas like low clearance, insulation, mechanical ventilation, ducting, stored items, garden vegetation, meant that some areas was obstructed.

No access was available to the garage at the time of inspection. A visual inspection was not carried out. It is recommend to open up garage for a re-inspection.

NOTE: Unless the subfloor has a full inspection it is never possible to inspect for timber pest, termite activity, structural damage, subfloor drainage issues, subfloor mould or water leaks will not be visible.

It is recommended that all minor defects along with any maintenance advise provided are actioned to prevent theses defects from escalating into major defects or safety hazards.

The building compared to others of a similar built of age of construction appears to be mostly in fair condition. It does however have maintenance issues that will require attention and remedial maintenance.

Please note the following key items;

- Exposed electrical wiring to rear verandah
- step cracking to brickwork to front wall under front verandah
- timber temporary prop to sub floor, recommend a licensed carpenter or builder to assess

Left unmanaged some of these defects may become costly in the future and develop into more major defects over time.

Note that if the baths, showers, toilets, vanities, kitchens etc. are not used, or have not been used for some time, moisture readings would not vary significantly and this can lead to erroneous results. It is not possible under the visual inspection criteria (under which a prepurchase inspection is carried out) to categorically determine if there are leaks. If a more accurate assessment is required, a special purpose inspection should be requested. Alternatively, the assumption should be made that the shower may leak.

AS ALL DEFECT ARE NOT LISTED IN THE SUMMARY, IT IS IMPORTANT TO READ EVERY DEFECT IN THE REPORT INDIVIDUALLY AND ASK FOR ANY CLARIFICATION THAT YOU MAY REQUIRE.

-TIMBER PEST

The building when compared to others of similar age is in the condition stated in Section A - Overall Condition (Timber Pest) and risk rating of unidentifiable defects is stated in Section C Accessibility - Undetected defect risk (Timber Pest).

Obstructions were present as stated in Section C Accessibility - Obstructions and Limitations.

There are areas that are conducive to timber pest attack and should be monitored on regular basis.

A Timber Pest Management Plan should be implemented and maintained for this property by engaging a Pest Management Technician. Due to the degree of risk of subterranean termite infestation, we strongly recommend that a full chemical termite management system be installed to the property and inspections in accordance with AS 4349.3 or AS 3660.2:2017 is conducted at this property not exceeding 12 months (or as otherwise recommended by the pest control company installing the system).

Note: Regular inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, a moisture meter reading of susceptible areas, sounding of timber elements using a tapping device, visual assessment of materials affected by moisture or signs of deformity, mud trails and bridging constructed by termites, irregular and regular shaped holes in timber elements indicating pest destruction. Termite activity generates high temperatures and moisture and if this irregularity is found it can be grounds for further investigation.

Please be aware evidence of termites, including damage, may be present to concealed and inaccessible timbers, and would only be found if exposed by invasive means. Wall paneling, wall paper, carpet and fixed cabinetry can obscure termite activity.

ADDITIONAL INVASIVE AND NON INVASIVE TESTS

These tests involve the use of limited invasive techniques or additional specialist equipment intended to allow assessment of building components or areas not accessible or not covered by a Standard Timber Pest Inspection. Recommendations for additional tests are often as the result of a Standard Timber Pest Inspection and for this reason, additional tests would usually be carried out following a Standard Timber Pest Inspection. Additional specialist tests (special purpose reports) include but are not limited to: thermal imaging; movement detectors (Termatrac™); viewing devices (borescope); termite detection dogs; removal or drilling of building components.

Trees and stumps, where present, have been visually inspected up to a 2 meter height where possible and practicable, for evidence of termite activity.

It is very difficult, and generally not possible to locate termite nests when they are underground and if within trees they are usually well concealed. We therefore strongly recommend trees and stumps be test drilled for evidence of termite nests.

AS ALL DEFECT ARE NOT LISTED IN THE SUMMARY, IT IS IMPORTANT TO READ EVERY DEFECT IN THE REPORT INDIVIDUALLY AND ASK FOR ANY CLARIFICATION THAT YOU MAY REQUIRE.

For further information, advice and clarification please contact Richie Reinikka on: 0438 465 646

Section D Significant Items

Undefined Defects

Noted Item

Building:	Main Building
Location:	
Finding:	FYI - Obstructions and Limitations
Information:	Obstructions can hide an array of defects and should be removed where possible to allow full inspection to be carried out. List of obstructions can be found in section C Accessibility - Obstructions and Limitations.

These are typically like ceiling and wall linings, Built-in-Cabinetry, Floor covering, Furniture, Insulation etc. Photos can be seen in additional photos section.

It is noted that the presence of obstructions can never be fully removed. While we are able to remove some of these obstructions in vacant properties, there are others such as the lining of walls, low pitch roofs, insulation, and flooring that can never be fully removed, as it is not financially viable.

As a result, there will always be some risk present due to these types of obstructions.

It is important to be aware of this when considering the purchase of the property.

Noted Item

Building:	Main Building
Location:	
Finding:	Plumbing and Electrical - Outside of the scope of this inspection
Information:	Plumbing and electrical inspections are outside the scope of the building inspection and must be conducted by a Licensed and registered Trades person.

It is highly recommended that the client makes immediate arrangements to have the gas appliances checked by a licensed gas plumber to ensure that the appliances are working safely and efficiently.

Whilst we note and comment of visually apparent defects that present during the building inspection, legislation requires the checking and documenting of compliance for plumbing and electrical requirements be done by licensed electrician and plumbers respectively to ensure they are functioning correctly.

Noted Item

Building:	Main Building
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Location:

Finding: FYI - Taps, drainage and toilets tested

Information: Taps, drainage and toilets were checked for water flow and drainage was checked for leakage.

Unless identified in a separate defect, no remedial work appears to be required on these items at the time of the inspection.

Photos may be shown in additional photos section.

NOTE: Please be aware that although cupboards have had a thorough inspection, obstructions in cupboards may conceal potential water damage, prevent a full inspection and conditions can change after the initial inspection was carried out, therefore damage may be found after obstructions are removed.

Noted Item

Building: Main Building

Location:

Finding: FYI - Windows and doors were tested for operations

Information: Windows and doors were tested during the inspection. Some windows and doors were locked and/or affected by obstructions. Those that could be tested appeared to operate as intended at the time of the inspection.

Unless identified in a separate items, no remedial work is required on these items.

Photos may be shown in additional photos section.

Noted Item

Building: Main Building

Location:

Finding: FYI - Additional Photos

Information: Additional photos are provided for your general reference and may include obstructions, testing of water & windows, moisture readings or minor maintenance items.



















Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.