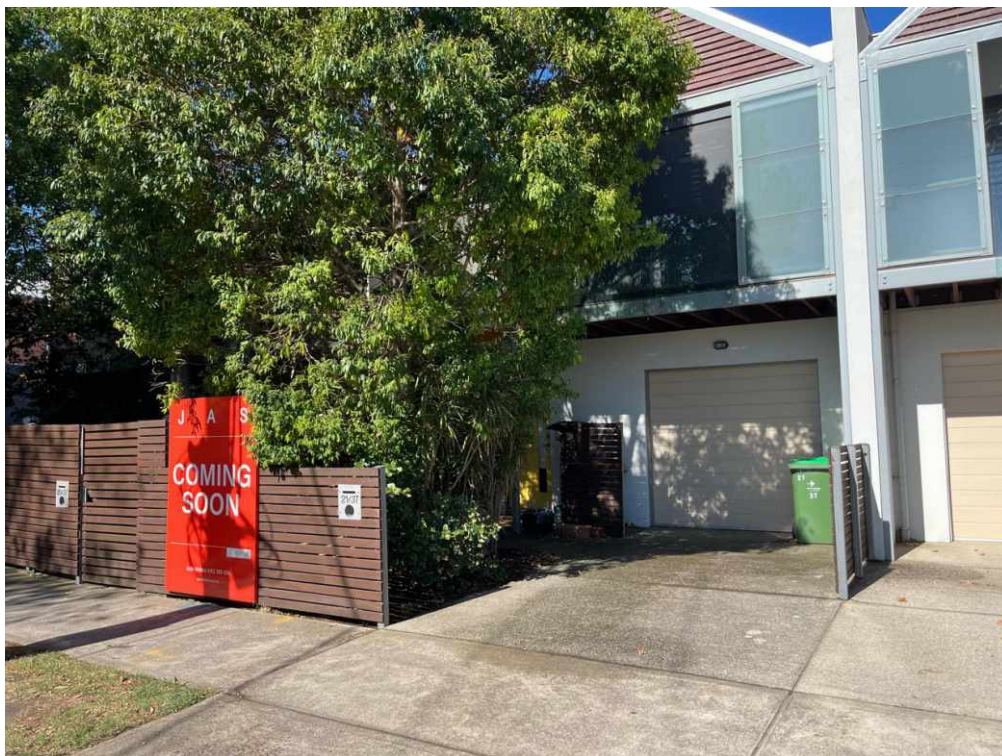




Building and Timber Pest Inspection Report

Inspection Date: Thu, 19 Feb 2026

Property Address: 21/37 Stephen's Street Yarraville



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 19 Feb 2026

Modified Date: Mon, 23 Feb 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 21/37 Stephen's Street Yarraville

Client's Email Address:

Client's Phone Number:

Consultant: Phil Smallman Ph: 0400 198 993
Email: Phil.smallman@jimbuildinginspections.com.au

Diploma & Advance Diploma of Building Surveying

Company Name: Jim's Building Inspections (West Melbourne)

Company Address and Postcode: PO Box 2256 Moorabbin 3189

Company Email: Phil.smallman@jimbuildinginspections.com.au

Company Contact Numbers: 0400 198 993

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply:

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect		✓
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity		✓
Evidence of fungal decay activity and/or damage		✓
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition for its age generally with safety hazards, minor defects and recommendations.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. A termite treatment is recommended.

Section B General

General description of the property

Building Type	Residential, Duplex
Company or Strata title	Yes
Floor	Slab on ground, Suspended Timber Frame
Furnished	Unfurnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	West
Other Building Elements	Fence - Post and Rail Construction
Other Timber Bldg Elements	Floorboards, Landscaping Timbers and Construction, Veranda Posts, Window Frames, Eaves, Skirting Boards, Door Frames, Deck, Architraves, External Joinery
Roof	Pitched, Corrugated Iron (e.g. Colourbond)
Storeys	Double
Walls	Light Weight Wall Clad, Rendered
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior
- Gardens
- Fencing
- Exterior
- Roof Exterior - Part
- The Site
- Wall Exterior
- Roof Exterior - First Floor Only
- Trees

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Outside of the fencing.
- Exterior Roof Surface - Second Storey.
- Garage due to lack of access.
- Roof Exterior.
- Roof Void due to lack of access.
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Ceiling linings
- Debris or rubbish
- Degree of roof incline too steep for safe access
- Evidence of recent renovation may obscure, temporarily lower or reduce the overall levels of contaminant detected.
- Floor coverings
- Lack of suitable access or entry point
- Overhanging vegetation
- Roof framing - not trafficable
- Stored items
- Unsafe to Access Roof - No Fall Protection System
- Vegetation covered approximately 25% of the area for inspection.

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

Building:	Main Building
Location:	Front Elevation
Finding:	Gas Appliances - Need to be serviced / Electrical trio switches, unprotected
Information:	All gas appliances need to be serviced.

It is unlikely that these gas appliances have ever been serviced and there may be in in poor condition

A licensed gas plumber needs to be engaged to service lol the gas ppliances as soon as possible.

The electrical sub panel should have a cover to protect the trip switches.

This item should be rectified to meet the electrical comments safe and in good working order.



Major Defect

No evidence was found

Minor Defect

Finding 3.01

Building:	Main Building
Location:	Front Elevation
Finding:	Trees - Overhanging and filling gutters

Information: Overhanging trees often result in excessive amounts of leaf debris accumulating in gutters.

Gutters are a critical part of the building's management of storm water and rain. It is therefore important that they be kept clear to prevent secondary damage to associated building elements, including exterior and interior walls, ceiling linings and any adjoining building elements. Where gutters are blocked, pooling of rainwater is likely to occur, fast-tracking rust and corrosion of the roof plumbing elements.

It is highly advised that all overhanging tree branches be removed as soon as possible to prevent any further damage.

Such works should be performed by the homeowner; however, appointment of a landscape contractor or an arborist may be required. Consultation with a licensed roof plumber is required where guttering has been damaged or alternative methods of litter management are required.

We noted that most of the guttering was actually clean but the gutter nearest the entry door was heavily filled with leaf litter.





Finding 3.02

Building:	Main Building
Location:	Upstairs front bedroom
Finding:	Evidence of historical moisture - identified
Information:	There is staining and minor moisture damage on the surface of the plaster, skirting board, carpet and door frame in the front bedroom.

An invasive inspection may reveal further moisture damage behind the surface layer.

At the time of the inspection there was no elevated moisture readings when the surfaces were checked with a moisture meter.

This maybe due to a lack of recent rain or it may be that moisture is only an issue under certain conditions, such as blocked and overflowing gutters, the impact,of rain only coming from a certain direction or repairs that have been carried out have addressed the entry of moisture.

Where moisture is present it can also help attract termites and produce conditions that promote fungal growth and wood decay.

Excessive moisture is generally caused by cracks or openings in the building exterior, deteriorated or inadequate or missing roof drainage, leaking plumbing pipes or fixtures, poorly plumbed HWS overflows or leaking air conditioner condenser units and poor site drainage.

Where elevated moisture levels are ongoing it is also likely mould growth will develop and then there may be environmental biological or health issues involved. In these cases an appropriately qualified mould inspector should also be contacted.

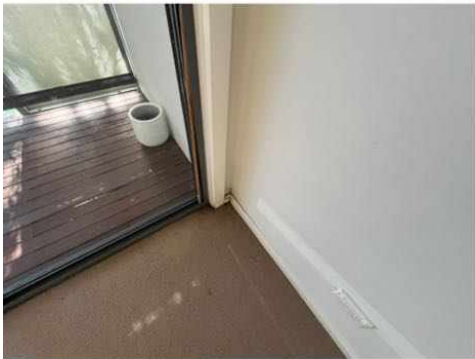
Prior to any remedial works being performed an invasive inspection should be considered to gain a better understanding of any damage behind the surface layers.

Works to remove affected building elements may then be necessary and should be performed by an appropriate tradesperson.

It may be necessary to engage a qualified plumber should to help identify the cause of the excessive moisture if dampness returns or becomes an issue after rain.

There is some minor cracking around the exterior wall - glass patio doors that could be sealed which might also assist.





Cracks should be sealed



No high moisture reading



Finding 3.03

Building: Main Building
 Location: Bathroom door
 Finding: Doors - Binding/Jamming
 Information: Binding and/or jamming of the bathroom door was evident during standard operation.

This defect inhibits the functionality of affected doors as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, or it could be from moisture seeping through the tiled grout floor causing the substrate to swell - the substrate is likely to be particle board flooring.

Where door binding/jamming, a qualified carpenter or general handyperson should be appointed to perform minor rectification works at client discretion.

If the problem worsens it is likely the waterproof membrane beneath the tiled surface has been compromised - if it was installed correctly.



Finding 3.04

Building: Main Building
 Location: Kitchen
 Finding: Water stain - minor - other (Kitchen)
 Information: Evidence of a water stain can be seen inside the kitchen sink cupboard - on the shelf and also the wall at the back inside the cupboard.

The satins seen under the bench along the inside back wall of the cupboard are typically from water being able to penetrate under the sink if it is not properly sealed to the bench-top. A plumber may need to be consulted to reseal the sink.

The stains on the shelf appears to be a surface stain, rather than an active leakage may be the result of to poor housekeeping.

This item should be fixed to prevent any potential damage.



Finding 3.05

Building: Main Building
Location: Rear patio
Finding: Open waste / drain pipe
Information: There is an uncapped pipe in the patio area at the rear of the property.

A cover should be installed to prevent foreign material entering the drain.

Consultation with a licensed plumber is recommended.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

No evidence was found

Evidence of fungal decay activity and/or damage

No evidence was found

Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Licensed Electrician
- Registered/Licensed Builder
- Structural Engineer

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- The dwelling is considered to be in good for its age and type of construction when compared to similar structures in the immediate area.

There is a history of poor waterproofing and moisture damage to not only this dwelling but many of the properties in the development. Whilst outside the scope of this inspection, a check of the Body Corporation AGM minutes should reveal more details (a job for a Conveyancer to follow up)

There is some minor moisture related defects included in the inspection report.

There was no termite or timber pest activity detected at the time of the inspection.

There was no access to the roof void - one should be installed to allow an inspection of the timber components in the is area.

For further information, advice and clarification please contact Phil Smallman on: 0400 198 993

Section E Attachments and Further Comments

- Definitions
- Terms and Conditions

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
 Location: Bathroom
 Finding: Tiled shower base - Water pooling
 Information: The tiled floor is allowing water to pool and not drain away freely due to inconsistent fall across the surface.

The shower is an open design, with no door to prevent water escape.

There is no additional floor drain to accommodate escaping waste water and the water stop is inadequate.

The shower design would not possess current waterproofing requirements.

Water pooling occurs when there is inadequate fall in the way the screed bed below the tiles was set up.

Where water is pooling, deterioration of the tiled surface is a risk if left unattended, which may necessitate major repair works.

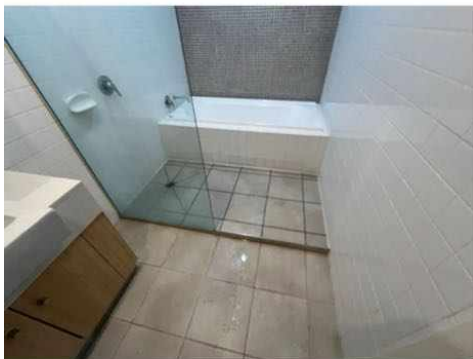
Consultation with a tiler is recommended. Rework is required to ensure adequate fall to the drain.

These properties have a history of waterproofing failures and it appears the Ensuite Has been reworked in the next room.

It is likely the current occupants rarely used the bathroom as no elevated moisture readings were detected at the time of the inspection.

The moisture check also included a close inspection and moisture metre check of the plaster ceiling immediately below the bathroom and the ensuite, including the ceiling and walls.(no concerns at the time of the inspection were identified)

Consideration should be given to renovating the bathroom as well particularly if regular usage is anticipated.



Noted Item

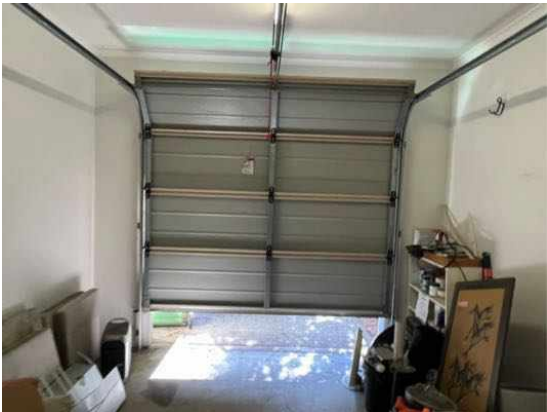
Building: Main Building
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection.

Some of the former occupants personal belongings were still present at the time of the inspection.

The garage was largely obstructed and the kitchen family room was also limited.

These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out.

A re-inspection is recommended once the areas are made accessible.





Noted Item

Building: Main Building
Location: Kitchen appliances, laundry, bathrooms bedrooms and living areas.
Finding: Additional Photos
Information: Additional photos are provided for your general reference.

A series of checks were carried out to confirm functionality and operation of appliances, plumbing and fixtures.

No additional defects were identified at the time of the inspection.

Note window openings were not possible where the windows were locked and no key was available.

One of the AC units had a part missing - see photo







Noted Item

Building: Main Building
Location: All Areas
Finding: Termite Techniques
Information: All areas of the dwelling are checked with particular attention paid to wet areas which were closely assessed to check for excessive levels of moisture and temperature anomalies.

No evidence of termite activity was found inside the house at the time of the inspection.

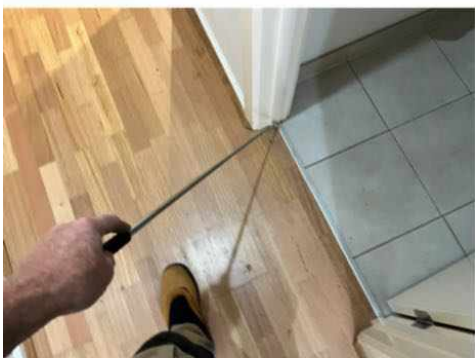
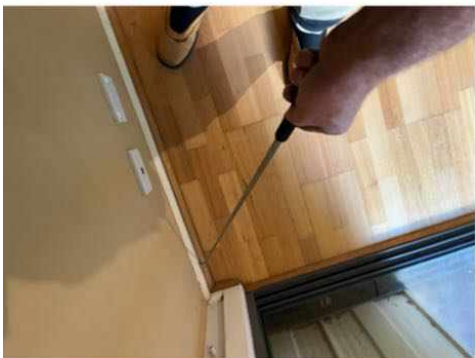
In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, a moisture meter reading of susceptible areas, sounding of timber elements using a device called a "tapa" visual assessment of materials affected by moisture or signs of deformity, trails and bridging constructed by termites, irregular and regular shaped holes in timber elements indicating pest destruction.

Termite activity generates high temperatures and moisture and if this irregularity is found it can be grounds for further investigation.

Wall paneling, wallpaper, floating flooring, carpet and fixed cabinetry are some of the obstructions that can obscure termite activity.







Noted Item

Building: Main Building
Location: All Areas
Finding: External - Termite Techniques
Information: All areas around the perimeter of the dwelling were inspected where access was possible.

The property and surrounds were checked with particular attention paid to timbered and damp areas, which were closely assessed to check for any termite activity or timber pest damage.

No evidence of termite activity was found outside the dwelling or the environs at the time of the inspection.

In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, visual inspection around the base of the structure, behind appliances such as the water tank, attached fences and structures, down pipes and conduits carrying services, weep-holes and where access permits.

All garden beds, trees and shrubs are checked and external timbers examined closely for evidence of timber decay and timber pests and termite activity.

No termite or timber pest activity was detected at the time of the inspection.

Limitations do exist where access is blocked or restricted, therefore we strongly recommend a termite treatment.





Noted Item

Building: Main Building
 Location: Roof Exterior
 Finding: Additional Photos
 Information: Additional photos are provided for your general reference



Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.