



Building Inspection Report

Inspection Date: Mon, 16 Feb 2026

Property Address: 2/38 Oakes Ave, Clayton South VIC 3169,
Australia



Contents

	The Parties
Section A	Results of inspection - summary
Section B	General
Section C	Accessibility
Section D	Significant Items
Section E	Additional comments
Section F	Annexures to this report

Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 16 Feb 2026

Modified Date: Wed, 11 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 2/38 Oakes Ave, Clayton South VIC 3169, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Mark Thorpe Ph: 0456 295 434
Email: Croydon@jimsbuildinginspections.com.au

DBU-13373

Company Name: Jim's Building Inspections (Croydon)

Company Address and Postcode: Lilydale 3140

Company Email: Croydon@jimsbuildinginspections.com.au

Company Contact Numbers: 0456 295 434

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: N/A

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	

Overall Condition

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Section B General

General description of the property

Building Type

Unit

Company or Strata title

Unknown

Floor

Suspended Timber Frame

Furnished

Furnished

No. of bedrooms

2

Occupied

Occupied

Orientation

South West

Other Building Elements

Garage

Other Timber Bldg Elements

Fascias, Architraves, Skirting Boards, Door
Frames, Doors, Window Frames

Roof

Tiled

Storeys

Single

Walls

Brick Veneer

Weather

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity.
- Subfloor due to lack of access.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Evidence of recently painted walls or ceilings
- Ceiling linings
- Evidence of recent renovation may obscure, temporarily lower or reduce the overall levels of contaminant detected.
- Subfloor was not able to be inspected - there was no access to this area.
- Unsafe to Access Roof - No Fall Protection System

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Defects 2.01

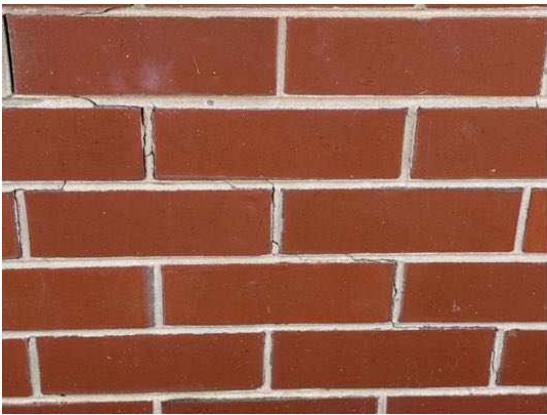
Building:	Building 1
Location:	All Areas > All Areas
Finding:	Brickwork - cracks and excessive movement
Information:	At the time of the inspection numerous cracks throughout the front brickwork were observed. Due to the number of areas of brickwork cracks, damage and the expected further movement over time and the amount of remedial repair involved to rectify, they are considered to be a major defect. The front brickwork showed excessive movement which is suspected to require repair at some time in the future, which will necessitate in major remedial works and or replacement of the brickwork. A Structural Engineer is recommended to further inspect these areas.

Structural issues are generally the underlying cause of these types of brickwork cracking and movement. Brickwork cracks are a common occurrence and are a likely result of excessive movement, subsidence, and expansion and contraction of building materials in different weather conditions. Cracks in brickwork such as these are suspected to further develop over time. And if left unattended with potential for necessitating major remedial works or replacement of the brickwork.

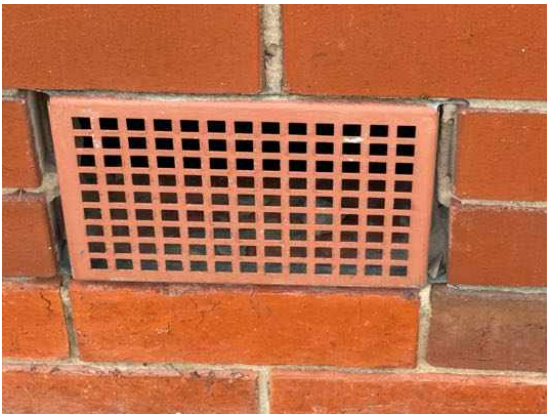
The client should elect to appoint a structural engineer and a builder to inspect the structural integrity of these areas of affected brickwork, to assess the safety of the associated structures. The engineer can also nominate a scope of works required for the rectification. Always contact a Registered builder or engineer should cracks widen lengthen or become more numerous, even after repair works have been completed.

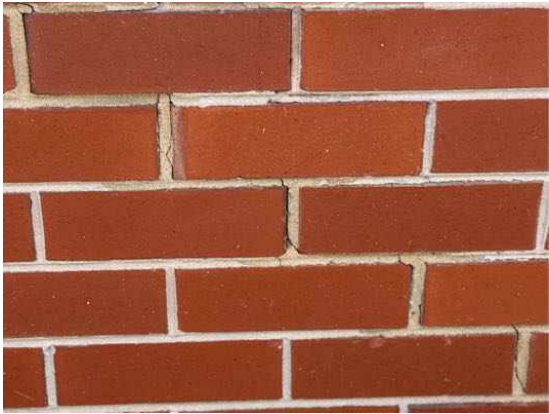












Minor Defect

Defects 3.01

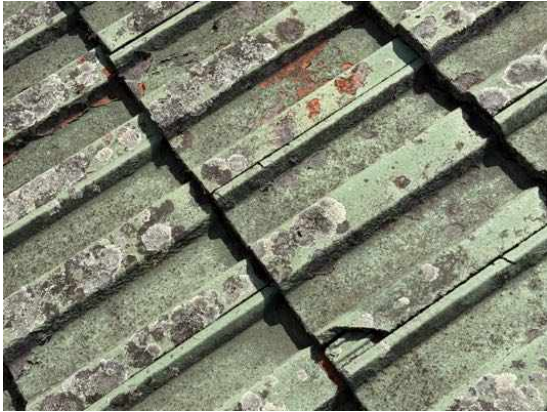
Building:	Building 1
Location:	All Areas > All Areas
Finding:	Roof tiles - aged and weathered
Information:	Upon inspection of the exterior roofing, the roof tiles were considered to be showing weathering, ageing and deterioration. The roof tiles are essentially a concrete porous material and when the roof tiles get aged and deteriorated the top finish of the roof tiles is diminished, the roof tile will eventually begin to absorb moisture into the concrete porous material and secondary defects can result. Over time the roof tiles top protective surfaces will further deteriorate which can lead to water penetration via the roof into the ceiling space, causing secondary damage to roof structure, ceiling linings, insulation. They are suspected to require re-sealing and maintenance to keep the roof tiles watertight in the future.

Replacement of some areas of the roof pointing and any broken or chipped roof tiles is required and should be performed by a roofing contractor as soon as possible. As time goes on the concrete tiles will become more porous during outside wet conditions and therefore the possibility of secondary defects in the future. While weathering of the tiles is consistent with the age of the property, maintenance works are and will be required in the future to maintain a weather and waterproof roof.

Where left unmanaged, deteriorating roof tiles are likely to lead to a number of secondary defects, including minor water leaks and weather exposure to internal roofing structures. Consultation with a roof sealing company or a roofing contractor is recommended to gain advice on cost of future works that may be required. Remedial works and maintenance of the roof tiles will increase the longevity of the roof tiles and the roofing structure.









Defects 3.02

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Downpipes weeping from joins
Information:	It was observed at the time of inspection that some down-pipes were weeping from joins. This will therefore make these areas susceptible to moisture, wood rot, rust, corrosion, termite and pest. If left unmanaged, moisture, wood rot, rust and corrosion is likely to lead to damage to adjoining areas, building structures and building elements, this also makes these areas more susceptible to termite or timber pest activity.

It is recommended that client appoint and seek advice and consultation with a licensed plumber to rectify these downpipes.





Defects 3.03

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Roof gutters - Rusted or corroded
Information:	The roof guttering in some areas around the perimeter of the home were observed to be rusted and deteriorated, It is suspected that this has been caused by blockages within the gutters over time, resulting in water pooling or standing water, this type of defect may have prematurely rusted guttering and other elements of the roof plumbing.

Rusted roof plumbing will generally develop holes and leaks that can affect other building elements with poor drainage of storm water. Poorly drained roof areas will also lead to damp conditions surrounding the base perimeter of the building which, if left unmanaged, can lead to a range of secondary building defects. Client may consider to repair or replacement of rusted roof plumbing in order to reinstate the roof drainage system to a good operational level. To further maintain these areas, gutters should be cleaned frequently, allowing the avoidance of any partial blockages.

A licensed plumber should be appointed to undertake these works. It is recommended that such works be completed as soon as possible to prevent any further damage and deterioration.





Defects 3.04

Building: Building 1
Location: All Areas > All Areas
Finding: Eaves damage- deterioration
Information: Due to excessive movement in the brickwork, moisture damage and staining from roof leaks, numerous areas throughout the roof exterior eaves linings, some remedial work is suspected to be required. Most of the damage is suspected to have come from the excessive movement however some has also come from either as a result of old and deteriorated roof flashing, dislodged roof tiles or overwhelmed roof gutters above. Where the eaves shows signs of moisture and stains the primary requirement is to identify and rectify any source of excessive moisture and or roof leaks.

The damage to the eave sheeting in these areas detracts from the appearance of the structure, as well as potentially compromising the adjoining roof structures and integrity of the adjoining roof structure. Where eaves show moderate to severe damage, remedial works are suspected to be required immediately to prevent further and secondary damage and defects. Where water damage is suspected as being the underlying cause, appointment of a roofing contractor and licensed plumber is recommended to find a solution and identify the source of the damage and or water leak in the short term future.





Defects 3.05

Building:	Building 1
Location:	Entry > Front Left
Finding:	Beads - quads to the exterior eaves have dislodged and missing
Information:	It was observed at the time of inspection that the front entry eaves beads have been dislodged and missing, it is suspected that this defect has resulted from the excessive movement in these areas over time. Beads - quads to the eaves acts like cornice or skirtings to cover the intersections or joins of building materials. These types of defects will allow water, moisture, insects and other pests to gain access and occupy these areas to the internal areas between the brickwork and wall framing.

Quads and beading is also important in weatherproofing the surrounding building elements and preventing water, moisture, insects termite and other pest ingress. Quads and beading works to protect the joins of building materials, which are more susceptible to deterioration and decay. Remedial work to re-fit some of the beading or quads or fill these areas with the appropriate building sealant is recommended to ensure the protection and longevity of any associated building elements. Such works may be performed by a qualified carpenter or relevant capable tradespersons.



Defects 3.06

Building:	Building 1
Location:	All Areas > All Areas
Finding:	HWS Overflow - Not Connected
Information:	The Hot Water System (HWS) overflow was found to be disconnected from storm water drainage and may be or in the future create excessive moisture in the surrounding area.

These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area.

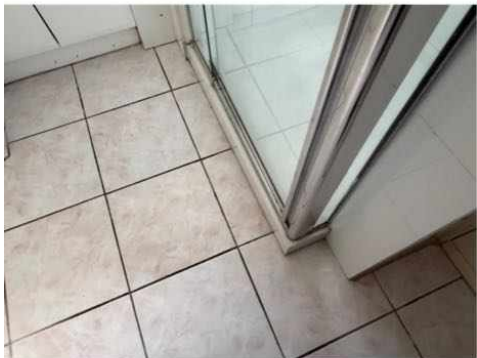
It is highly recommended that a licensed plumber be appointed to connect the HWS overflow in order to prevent such an environment from being created. These minor works should be carried out as soon as possible.



Defects 3.07

Building:	Building 1
Location:	Bathroom > All Areas
Finding:	Cracked floor and wall tiles
Information:	Cracks in the floor and wall tiles was observed at the time of inspection. It is suspected that this cracking has occurred as a result of either some movement or impact damage. These tile crack edges are suspected to be razor sharp which will represent a safety hazard to occupants using this bathroom. Cracked tiles in this type of area will create or lead to secondary defects, due to the vicinity of moisture and wet areas, all damaged tiling should be rectified or repaired as a priority.

Broken tiles also detract from the overall appearance of the affected areas, cracked tiles in this area may create or lead to secondary defects, replacement of cracked tiles is recommended in the short term future. A tiling contractor may be appointed to perform these works. Where cracks become more numerous, contact a licensed Registered builder for further investigation.



Defects 3.08

Building: Building 1
Location: Bathroom > All Areas
Finding: Cabinet doors
Information: Cabinet doors were observed to be out of misalignment, some with chips to cabinet doors and drawers, more damage may occur to cabinets, cabinet doors and drawers if left unmanaged, these defects detract from the appearance of the cabinetry. Numerous doors may require adjustment to make good, mostly they are in an operational state and appear to be working correctly. To improve operation of the affected cupboard doors and or drawers, a qualified cabinet maker or carpenter may be appointed. Such works should be completed at discretion of the client.





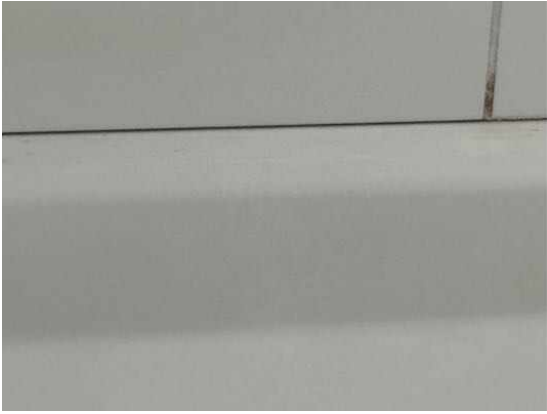
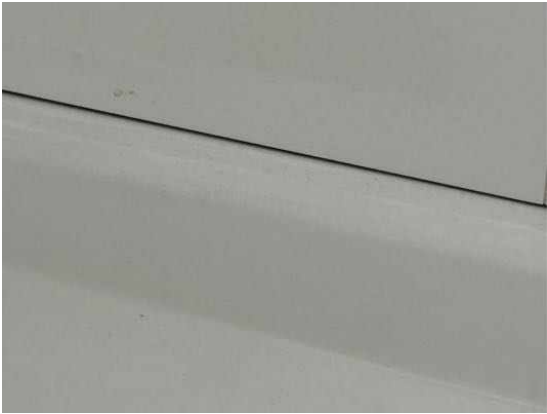


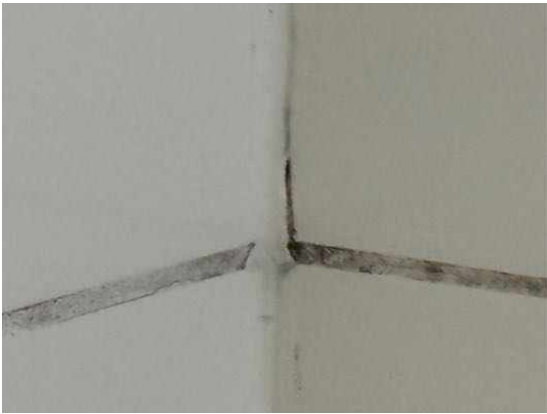
Defects 3.09

Building:	Building 1
Location:	Bathroom > All Areas
Finding:	Grout and sealant missing
Information:	Grout and sealant was observed to be missing in numerous areas of the bottom laundry floor, . Grout and sealants are used to protect gaps and crevices between the wall and floor tiles and other building materials to ensure that they are water-tight and prevent water penetration to the associated structures. These wet areas are frequently exposed to water and excessive moisture, allowing the potential for water penetration into substrate and subsequently damaging the surrounding building elements. Further deterioration is expected if left unmanaged, water penetration to these areas may lead to subsequent water damage, which is likely necessitate repair work to affected building elements.

Where grout is missing, a tiling contractor should be appointed immediately to apply grout and re-apply any silicone where necessary. Failure to do so is likely to lead to water damage to the surrounding area. A tiling contractor should be appointed to ensure that these types of defects are rectified adequately and quickly. The re-application of grout and sealants throughout these wall and floor tile areas is highly recommended, to protect these areas against water penetration getting into and below the substrate.









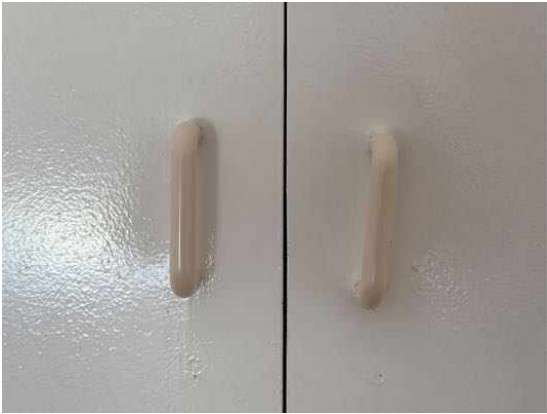
Defects 3.10

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Doors adjustments and maintenance
Information:	Some doors throughout the home were observed to require only minor maintenance and adjustments to make good during standard operation. Doors should get some adjustment and maintenance to ensure doors operate correctly during standard operation. These types of defects can inhibit the functionality of the affected doors as well as creating potential for secondary defects to associated building elements, such as the door jamb and floor. Generally, factors such as a lack of maintenance or general deterioration are the usual causes for these types of defects.

It is suspected that back garage door is damaged and deteriorated beyond repair. Replacement of some door hardware may be required where deemed to be necessary, as well as minor repairs and cleaning. A qualified carpenter should be appointed to perform minor rectification works in the future.





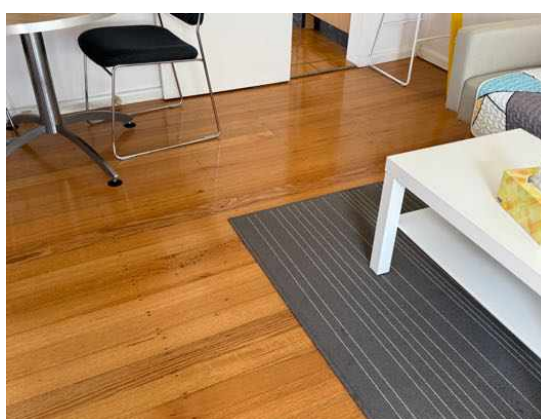
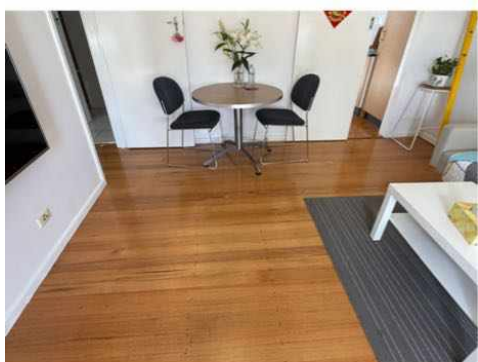




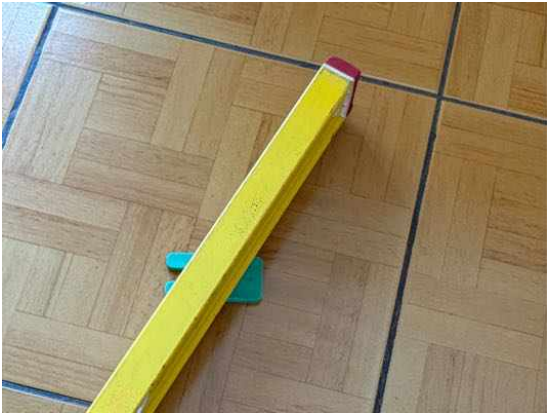
Defects 3.11

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Floor levels
Information:	The numerous internal flooring areas throughout the home were observed to be showing signs of being out of level and uneven. The uneven and out of level floors were considered excessive in a couple of areas. The uneven and out of level floors throughout the home is suspected to indicate some subsidence and or movement. No access to the subfloor at the time of the inspection.

Floor levels can have complex and varying causes, which will influence the required remedial works. It is recommended that any remedial works required should be in conjunction with other works at the same time as addressing other underlying causes. A Registered Builder would generally carry out these types of works or can be guided and advised by a structural engineer where deemed to be required. It is advised that the floors be closely monitored to identify any further movement even after floor have been rectified.







Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Asbestos Inspector
- Licensed Plumber specialising in Roof Plumbing
- Geo-technical Engineer
- Registered Roofing Contractor
- Structural Engineer

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- In summary the home compared to others of a similar age the home appeared to be in an poor to average condition throughout the exterior and in a reasonable condition on the interior with numerous defects and numerous maintenance items for the client to consider.

At the time of the inspection numerous brickwork movement and cracks were observed throughout the exterior brickwork of the home. These cracks may have developed over time, however they will potentially require some remedial works in the future, such as, in extreme cases some underpinning.

Structural issues are generally the underlying cause of exterior brick walls showing movement and cracks. It is suspected that this damage has been created due to movement and general subsidence, age, general expansion, and/or contraction of building materials in different weather conditions. The client is recommended to appoint a structural engineer to inspect the structural integrity of the numerous affected areas throughout the exterior areas, to assess all of the associated structures. Where remedial work is deemed to necessary or required by the engineer, the engineer can also nominate a scope of works required for rectification or even the prevention of further damage and deterioration. Always contact a Registed builder and or structural engineer should cracks widen lengthen or become more numerous, even after any repair works have been completed.

For the full summary of defects please refer to defects and pictures held within this Building Inspection report.

For further information, advice and clarification please contact Mark Thorpe on: 0456 295 434

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Building 1
Location: All Areas > All Areas
Finding: Additional Photos
Information: Additional photos are provided for either future maintenance items for clients attention and or general reference. Arrows may have been included to highlight areas of importance. Please discuss these photos with your building consultant for clarification.











Noted Item

Building: Building 1
Location: All Areas > All Areas
Finding: Smoke detectors and alarms
Information: Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report. Please note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that smoke detectors are sometimes get over looked, or they may be in a poor condition, so we recommend that they always should be addressed prior to occupation to improve occupant safety.

Always ensure sufficient working and suitable smoke detectors are installed prior and

during to occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.



Noted Item

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Recently painted
Information:	At the time of the inspection, numerous areas throughout the home, were suspected to have been recently painted. Whilst areas appear complete and appear free of defects, defects could be covered by recent painting and any defects could potentially be missed.

Noted Item

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Termite Management System - no evidence of a chemical installation or durable notice
Information:	At the time of the inspection no application of a chemical termite barrier or durable notice was observed. Such barriers are highly effective and highly recommended for all properties in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit or in the another accessible area to indicate current termite barriers. At the time of inspection, no evidence to suggest preventative works taking place. The client may consider gaining further advice from builders or a pest controller and as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.

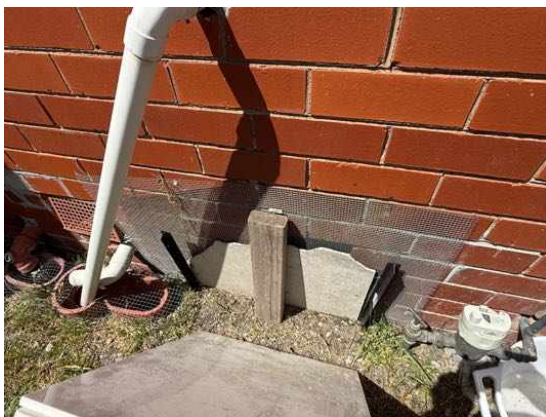
Noted Item

Building:	Building 1
-----------	------------

Location: All Areas > All Areas
Finding: Asbestos - Suspected ACM Identified on Site
Information: Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos. Asbestos sampling can only be taken upon ownership of the property only, due to being an invasive procedure.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not a pest report. As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.