



## Building Inspection Report

Inspection Date: Thu, 12 Mar 2026

Property Address: 16 Cyprus St, Lalor VIC 3075, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 12 Mar 2026

## The Parties

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Name of the Client:

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Name of the Principal(If Applicable):

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Job Address: 16 Cyprus St, Lalor VIC 3075, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Mark Thorpe Ph: 0456 295 434  
Email: Croydon@jimsbuildinginspections.com.au

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DBU-13373

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Company Name: Jim's Building Inspections (Croydon)

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Company Address and Postcode: Lilydale 3140

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Company Email: Croydon@jimsbuildinginspections.com.au

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Company Contact Numbers: 0456 295 434

### Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: N/A

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in the condition documented in this report.

## Section B General

### General description of the property

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Building Type	Residential
Company or Strata title	No
Floor	Slab - Pier and Beam, Suspended Timber Frame
Furnished	Furnished
No. of bedrooms	3
Occupied	Occupied
Orientation	South
Other Building Elements	Fence - Post and Rail Construction, Pergola, Pool, Carport, Shed
Other Timber Bldg Elements	Door Frames, Doors, Fascias, Floorboards, Architraves, Skirting Boards
Roof	Tiled
Storeys	Single
Walls	Brick Veneer
Weather	Overcast

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## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Subfloor due to lack of access.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

### Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Evidence of recently painted walls or ceilings
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Debris in gutters
- Duct work
- Furniture

- Lack of clearance - subfloor
- Insulation
- Stored items
- Subfloor was not able to be inspected - there was no access to this area.
- Solar Panels
- Unsafe to Access Roof - No Fall Protection System

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

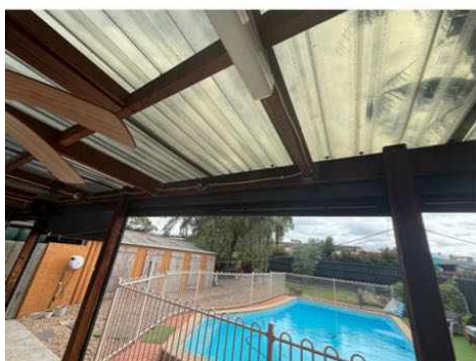
When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

#### Defects 1.01

Building:	Building 1
Location:	Pergola area > All Areas
Finding:	Electrical wires not adequately terminated
Information:	At the time of the inspection in the rear pergola area, electrical cables were exposed and easily reached. These are converted to be not adequately terminated or protected with a junction box around it. Exposed electrical cabling represents a potential safety hazard including for fire and personal contact to inspectors, tradespersons and occupants that enter these areas. Contact a licensed electrician to ensure these areas are safe to enter. Electrician is required for a further inspection and investigation and rectification of any potential safety hazards.



### Major Defect

#### Defects 2.01

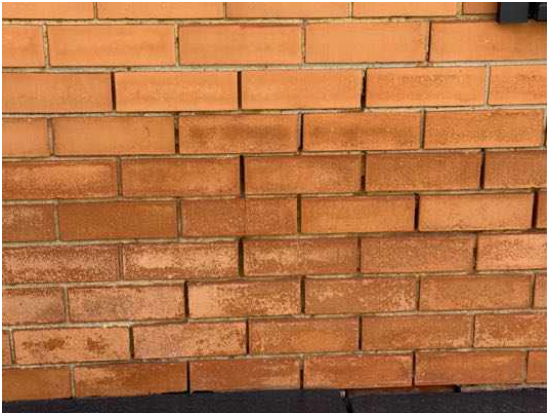
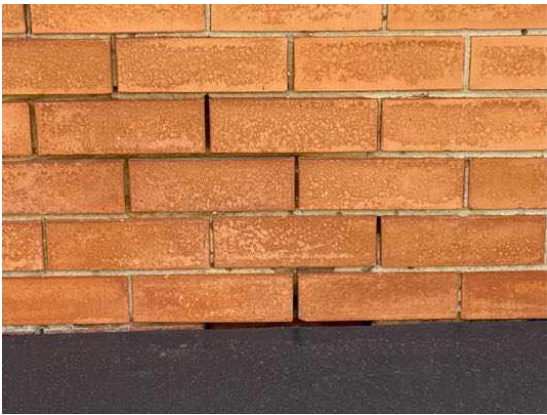
Building:	Building 1
Location:	All Areas > All Areas
Finding:	Brickwork mortar missing - gaps, holes and voids
Information:	At the time of the inspection the exterior brickwork showed numerous / a lot of areas where mortar has been dislodged or missing. The numerous gaps, holes or voids that have been left in the exterior brickwork are considered to be excessive. All exterior brickwork walls will require extensive repair to rectify these areas, they are required to be fully filled in and patched to prevent the further damage and deterioration from exposure and exterior weather conditions.

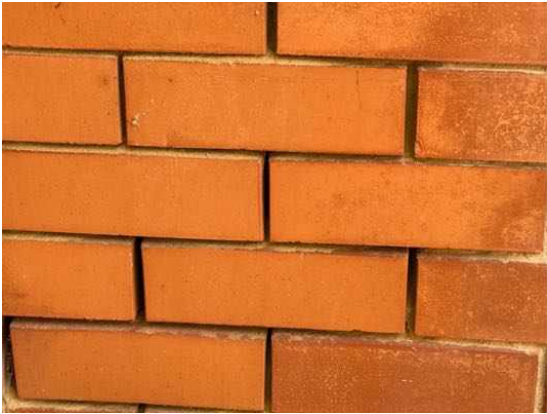
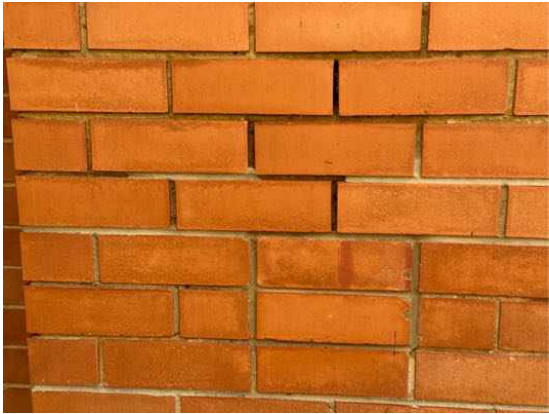
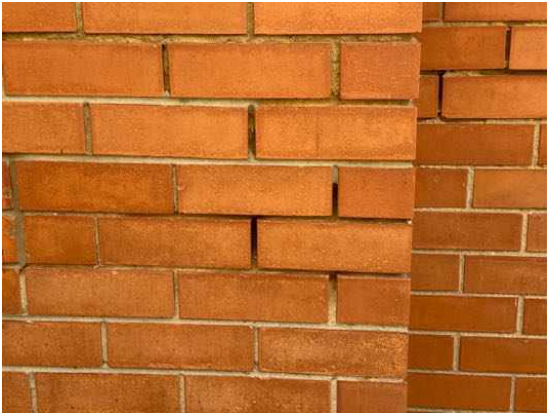
These types of defects should be rectified before any further weathering can occur and will prevent gaps, holes and voids from enlarging or deteriorating further. These

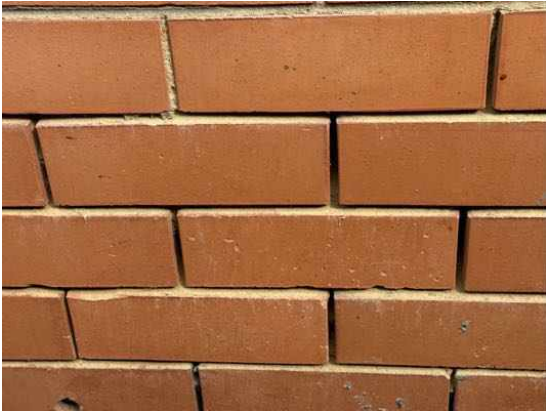
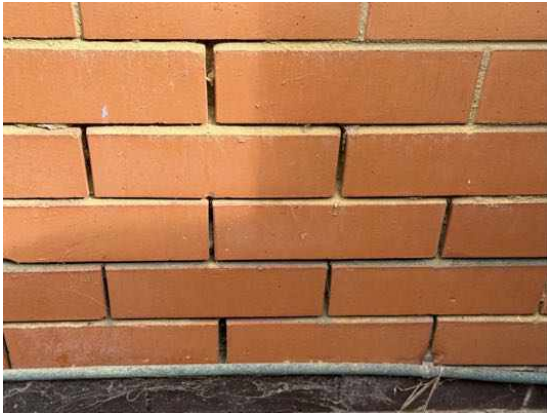
type of defects would allow water and moisture, insect, pests, vermin to ingress into wall cavities that will overtime create secondary defects and damage as a result.

The damage and deterioration in brickwork is suspected to be a result of poor filling of the mortar beds and perpendes during the brickwork installation and construction or poor trade practices. When gaps, holes and voids are filled or patched the tradespersons must ensure mortar colour and consistency are as near as possible to match the existing mortar and remains the same as the original installation of brickwork mortar.











## Minor Defect

### Defects 3.01

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Floor levels
Information:	The internal flooring in some areas throughout the home were observed to be showing signs of being out of level and uneven. Uneven and out of level floors with a property of this age is considered in most cases to be mostly normal however some areas were considered to be excessive. The uneven and out of level floors in a home is

highly likely to indicate, subsidence and movement in the stumps and associated subfloor structures.

Floor levels can have complex and varying causes, which will influence the required remedial works. Remedial may be necessary and the client should begin by consulting a registered builder who has expertise in re-stumping to determine the required scope of works that may be deemed necessary. This may include some form of underpinning to some areas, at the same time as addressing the underlying cause of the uneven and out of level floors. Client may also consider consultation with a geotechnical engineer to understand what and how the surrounding soil is reacting to surrounding moisture.

A Registered Builder would generally carry out these types of works or can be guided and advised by an geotechnical or structural engineer where deemed to be required. It is advised that the floors be closely monitored to identify any further movement even after floor have been rectified. Where flooring is uneven further, a potentially invasive inspection of the subfloor stumps and floor structures is required. Remedial works may require floors to be removed where subfloor are tight and or to close a proximity to the ground.







**Defects 3.02**

Building: Building 1  
Location: Bathroom > All Areas  
Finding: Bathroom towel rail loose  
Information: Bathroom towel rail was observed to be loose and may require maintenance to make good, this occurs generally due to substandard installation and or poor workmanship. A qualified carpenter should be appointed to repair or replace the affected towel rail, this type of defect is at the clients discretion.





### Defects 3.03

Building:	Building 1
Location:	Rear toilet > All Areas
Finding:	Toilet roll holder - missing
Information:	The toilet roll holder was found to be missing to the lower bathroom at the time of inspection. While not a major operational defect, function can deteriorate if the problem is left unmanaged. It is recommended that the client appoint a qualified carpenter to reattach or renew the toilet roll holder to its original position. A qualified carpenter may be required to perform these works.



### Defects 3.04

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Flyscreens
Information:	Numerous flyscreens were found to be missing to the windows throughout the home at the time of inspection. Whether the flyscreens have not been installed or have been removed for maintenance and or painting purposes, this missing building element detracts from the operational state of the window.

Where not replaced, missing flyscreens allow pest and insect ingress into the adjoining room/s. It is advised that all missing building elements be installed or

replaced in order to ensure the full function of all building structures.

A qualified carpenter may be appointed to replace flyscreens at the discretion of the client.

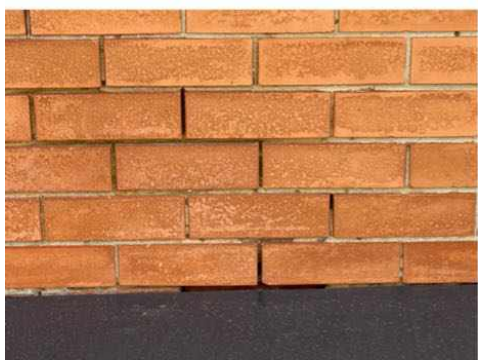


### Defects 3.05

Building: Building 1  
Location: All Areas > All Areas  
Finding: Brickwork - cracks and movement  
Information: At the time of the inspection numerous cracks and movement were observed throughout the exterior brickwork of the home. There was some areas of unevenness

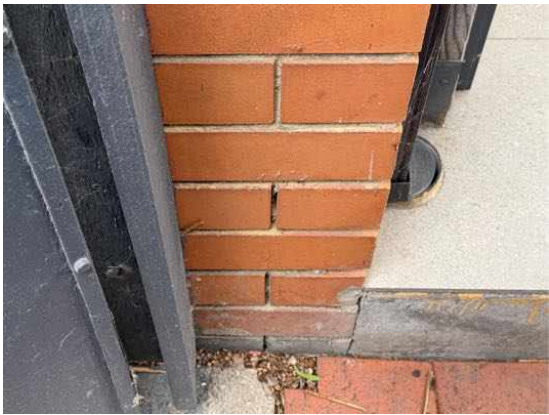
and out of level floor areas in the home and this is likely to indicate some subsidence and movement in the foundations and the associated building structures in the property. Structural issues are generally the underlying cause of such brickwork movement and cracking. It is suspected that this damage has been created due to movement and general subsidence of associated foundations as well as normal age and deterioration. The brickwork cracks and movement may develop further over time with the potential for necessitating some remedial works or even in extreme cases replacement of the brickwork.

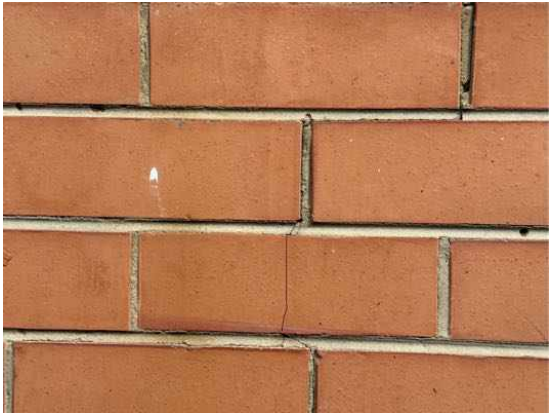
Noticeable brickwork cracks and movement are a common occurrence in external brickwork and are a likely result of some building movement, general expansion, and/or contraction in some building elements in different weather conditions. The client is recommended to appoint a structural engineer to inspect the structural integrity of these areas and affected brickwork, to assess the safety of the associated structures. Where remedial work is deemed to necessary or required the engineer can also nominate a scope of works required for rectification or even the prevention of further damage and deterioration. Always contact a Registered builder and or Structural engineer should cracks widen lengthen or become more numerous, even after any repair works have been completed.



















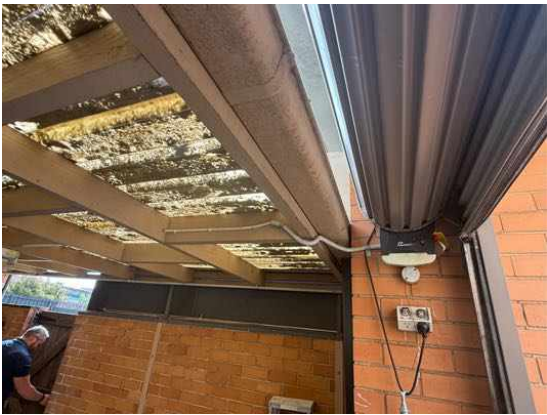


### Defects 3.06

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Building element - Rusted or corroded
Information:	Some exterior building elements and materials that show evidence of rusting and corrosion, has likely developed as a result of excessive exposure to moisture, harsh weather conditions and or inadequate coatings. A surface that is found to be rusted provides no protection to the underlying iron, the deteriorating condition is likely to worsen if not addressed and left unmanaged, it is therefore recommended that the relevant tradespersons remove as much rust as possible, clean and re-paint these areas.

Where possible, the use of galvanized (treated) metals or aluminium coated metals aid in rust prevention, as does regular general maintenance. Rust formation can be controlled with coatings, such as paint, that isolate the iron from the environment. Rusting and corrosion should be managed by ideally removing or limiting the affected surface from exposure to moisture and harsh weather conditions. A qualified painter or other relevant tradespersons may be appointed to paint affected areas and a qualified carpenter to replace any building elements that have been severely affected by rust or water damage.













### Defects 3.07

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Subfloor door and other holes in the exterior walls  
 Information: The subfloor door was observed to be missing and no subfloor door installed. Other holes in the exterior walls or open areas like the subfloor door should be rectified and adequately filled or trimmed to prevent the ingress of unwanted pests and vermin. A window around on the back right hand side of the home has not been finished with a trim of flashing.

Gaps and holes around the home makes the area susceptible to spiders, insect and vermin ingress to the internal areas bringing disease and unhealthy environments As

such, associated internal building elements are likely to deteriorate without the adequate protection a home needs. Further secondary defects are suspected to occur if these areas are left unmanaged. All holes, gaps or cracks should be adequately covered, filled, flashed by a suitable building material, sealant or trimmings as soon as possible to prevent any inevitable future deterioration and secondary damage. Such works should be completed in the short term future by the relevant tradespersons.





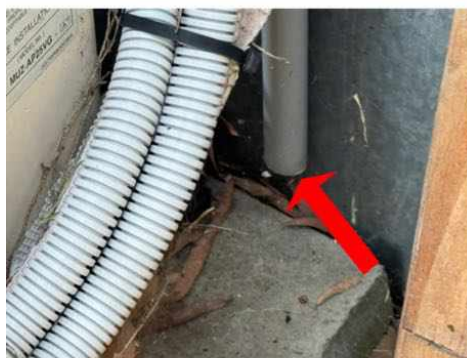


### Defects 3.08

Building:	Building 1
Location:	Teen retreat > All Areas
Finding:	Air-conditioning overflow not connected
Information:	The air-conditioning overflow were found not to be connected to any form of storm water drainage system and may in the future create excessive moisture in the surrounding area, as these units get aged and deteriorated.

These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area.

It is recommended that all air-conditioning unit overflow be connected to drainage system in order to prevent such an environment from being created.



### Defects 3.09

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Gutters - minor blockages
Information:	Roof plumbing structures, such as guttering and downpipes, should be free of all

debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls and entering internal areas.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

It is recommended that blocked gutters be cleaned and leaf matter and debris be removed by a relevant tradespersons as a priority.







### Defects 3.10

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Roof tiles - broken, chipped, dislodged or show some slippage
Information:	Upon inspection of the roof tiles, it was observed that numerous roof tiles slipped down or have been dislodged from their original positions and have not been repositioned before the roof restoration was completed. Numerous roof tiles may slip over time due to a number of minor causes, including not placed correctly upon installation, not stuck down on the top of valley irons, flashings, roof tile chips and breakages, failings in the adjoining battens, or fixings that may have failed.

In this case I suspect that tiles have just slipped or dislodged from they original positions overtime, these roof tiles when readjusted should receive some form of fixing to fix them down. Either by a good adhesive or a good quality silicon sealant. Roof tiles that have moved from their original position may allow water penetration into the roof void, exposing roofing structures to excessive moisture. This creates an environment that is conducive to water damage and accelerated deterioration of all associated building elements below these areas.

Replacement of broken, loose or missing roofing tiles is also highly recommended immediately or in the short term future to prevent the development of any secondary defects overtime if left unmanaged. A roofing plumber or roof tiler should be appointed to complete such works as deemed to be necessary.









### Defects 3.11

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Down-pipe on the rear pergola is not properly connected to stormwater
Information:	It was observed at the time of inspection that the rear pergola down-pipe was observed to be emptying onto the rear paved area. The down-pipe was situated over the top of a stormwater - sump or pit, it should be either connected properly to the stormwater drainage system or fully inserted down into stormwater sump or pit so as to prevent any splashes. Where down-pipes sit above the pit, these surrounding areas are always susceptible to excessive splashing and moisture, rust, corrosion, termite and pest.

The down-pipe on the outside of the teen retreat was observed to be rusted and corroded showing a small rusted hole. If these down-pipes are not rectified or left unmanaged, moisture, wood rot, rust and corrosion is likely to lead to further damage and deterioration to the adjoining building elements and surrounding areas. This also makes these areas more susceptible to termite and pest activity. It is recommended that client appoint and seek advice and consultation with a licensed plumber to gain advice and rectify affected areas in the short term future.





### Defects 3.12

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Teen retreat roofing iron - rusted and corroding
Information:	Garage / teen retreat roofing iron and flashings were observed to be showing signs of excessive rust and corrosion from exposure to exterior weather conditions, inadequate coatings. As these types of surfaces rust they provide no protection to the underlying iron, the deteriorating condition is likely to worsen if not addressed in the short-term future.

Where possible, the use of galvanized (treated) metals or aluminium coated metals aid in rust prevention, as does regular general maintenance. Rust formation can be usually controlled with coatings, such as paint, that isolate the iron from the environment however these areas appeared to be past repair or painting. Rusting and corrosion should be managed by ideally removing the affected areas or limiting the affected surface from exposure weather conditions or to excessive moisture. A qualified roof plumber should be appointed to provide remedial work to the affected areas of rust, corrosion or water damage.



**Defects 3.13**

Building: Building 1  
Location: All Areas > All Areas  
Finding: Roof flashing - non-standard  
Information: The roof flashing that has been installed to this roof skylight is not the correct flashing that should be used and not considered to be adequate and fit for purpose as a skylight flashing. This type of flashing is normally used as a bottom timber window flashing. However the flashing does appear to be working at the time of the inspection and may be ok for a short time, however if left as is and unmanaged this type of flashing is suspected not excepted to keep the roof water-tight or weatherproof.





**Defects 3.14**

Building: Building 1  
Location: All Areas > All Areas  
Finding: Evidence of Vermin in the roof space  
Information: Evidence of pests or rodents were present in the roof space at time of inspection. Pests such as possums, insects, spiders and rodents can cause issues ranging from smells and stains through to physical damage to wiring and other important building elements in the roof void. A licensed pest controller should be appointed to free the roof void of any pests and to install deterrents or seal access points to ensure that rodents can not enter the roof space as easily.



## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- As identified in summary and defect statements
- Registered Roofing Contractor
- Licensed Plumber specialising in Roof Plumbing
- Structural Engineer
- Swimming Pool Fence Inspector

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- In summary the home compared to others of a similar age the home appeared to be in a good condition with numerous minor defects and numerous maintenance items for the client to consider.

For the client's attention, At the time of the inspection the exterior brickwork showed numerous / a lot of areas where mortar has been dislodged or missing. The numerous gaps, holes or voids that have been left in the exterior brickwork are considered to be excessive. All exterior brickwork walls will require extensive repair to rectify these areas, they are required to be fully filled in and patched to prevent the further damage and deterioration from exposure and exterior weather conditions. These types of defects should be rectified before any further weathering can occur and will prevent gaps, holes and voids from enlarging or deteriorating further. These type of defects would allow water and moisture, insect, pests, vermin to ingress into wall cavities that will overtime create secondary defects and damage as a result. The damage and deterioration in brickwork is suspected to be a result of poor filling of the mortar beds and perpends during the brickwork installation and construction or poor trade practices. When gaps, holes and voids are filled or patched the tradespersons must ensure mortar colour and consistency are as near as possible to match the existing mortar and remains the same as the original installation of brickwork mortar.

Brickwork cracks and movement:- At the time of the inspection numerous cracks and movement were observed throughout the exterior brickwork of the home. There was some areas of unevenness and out of level floor areas in the home and this is likely to indicate some subsidence and movement in the foundations and the associated building structures in the property. Structural issues are generally the underlying cause of such brickwork movement and cracking. It is suspected that this damage has been created due to movement and general subsidence of associated foundations as well as normal

age and deterioration. The brickwork cracks and movement may develop further over time with the potential for necessitating some remedial works or even in extreme cases replacement of the brickwork. Noticeable brickwork cracks and movement are a common occurrence in external brickwork and are a likely result of some building movement, general expansion, and/or contraction in some building elements in different weather conditions. The client is recommended to appoint a structural engineer to inspect the structural integrity of these areas and affected brickwork, to assess the safety of the associated structures. Where remedial work is deemed to necessary or required the engineer can also nominate a scope of works required for rectification or even the prevention of further damage and deterioration. Always contact a Registered builder and or Structural engineer should cracks widen lengthen or become more numerous, even after any repair works have been completed.

Floor level:- The internal flooring in some areas throughout the home were observed to be showing signs of being out of level and uneven. Uneven and out of level floors with a property of this age is considered in most cases to be mostly normal however some areas were considered to be excessive. The uneven and out of level floors in a home is highly likely to indicate, subsidence and movement in the stumps and associated subfloor structures. Floor levels can have complex and varying causes, which will influence the required remedial works. Remedial may be necessary and the client should begin by consulting a registered builder who has expertise in re-stumping to determine the required scope of works that may be deemed necessary. This may include some form of underpinning to some areas, at the same time as addressing the underlying cause of the uneven and out of level floors. Client may also consider consultation with a geotechnical engineer to understand what and how the surrounding soil is reacting to surrounding moisture. A Registered Builder would generally carry out these types of works or can be guided and advised by an geotechnical or structural engineer where deemed to be required. It is advised that the floors be closely monitored to identify any further movement even after floor have been rectified. Where flooring is uneven further, a potentially invasive inspection of the subfloor stumps and floor structures is required. Remedial works may require floors to be removed where subfloor are tight and or to close a proximity to the ground.

For the full summary of defects please refer to defects and pictures held within this Building Inspection report.

For further information, advice and clarification please contact Mark Thorpe on: 0456 295 434

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building: Building 1  
Location: Teen retreat > All Areas  
Finding: Trees - Overhanging and filling gutters  
Information: Overhanging trees often result in excessive amounts of leaf debris accumulating in gutters. Gutters are a critical part of the building's management of storm water and rain. It is therefore important that they be kept clear to prevent secondary damage to associated building elements, including exterior and interior walls, ceiling linings and any adjoining building elements. Where gutters get blocked from excessive leaf matter, water pooling is highly likely to occur more frequently, fast-tracking, rust and corrosion of the roof plumbing elements and making these areas even more susceptible to secondary defects

It is highly recommended that if at all possible, all overhanging tree branches be removed to prevent further damage. Such works can be performed by the homeowner; however, appointment of a landscape contractor or an arborist may be required. Consultation with a licensed roof plumber is required where guttering has been damaged.





**Noted Item**

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Evaporative air conditioner  
 Information: Reporting on the Evaporative air conditioning unit, including as to whether they are working, is outside the Scope of this Report. Please note that this is highlighted as a recommendation only. It is recommended that the Evaporative air conditioning unit to receive maintenance and servicing. Servicing of this unit will improve occupants well being and ensure good functionality and prolonged serviceability. if left unmaintained, Evaporative air conditioning unit may be or become a health hazard.

We suspect, based on our experience in the building industry, that Evaporative air conditioning unit get over looked and do not get any maintenance for long periods of time. The Evaporative air conditioning unit may therefore be in a, less than perfect condition, so we recommend that they always ensure that these areas be addressed prior to their use, this is to ensure home and occupant health and safety.

A air-conditioner serviceman should be appointed to assess the condition of the unit and to service and clean as deemed necessary, this is at the discretion of the client.



### Noted Item

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Termite Management System - no evidence of a chemical installation or durable notice
Information:	At the time of the inspection no application of a chemical termite barrier or durable notice was observed. Such barriers are highly effective and highly recommended for all properties in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit or in the another accessible area to indicate current termite barriers. At the time of inspection, no evidence to suggest preventative works taking place. The client may consider gaining further advice from builders or a pest controller and as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



### Noted Item

Building:	Building 1
Location:	Rear areas > All Areas
Finding:	Swimming pool and spa regulations.
Information:	Reporting on pools, pool areas, pool fencing, fixtures and fittings is outside the scope of this report due to new regulations with inspections of these areas. However we like to highlight these areas to ensure occupant safety. This a recommendation only and for the clients consideration and at the clients discretion. With swimming pools and spas on average, four young children die in Victoria in home swimming pools or spas each year, and many more are taken to hospital for near-drownings. We highly encourage the active supervision of young children in and around swimming pools and

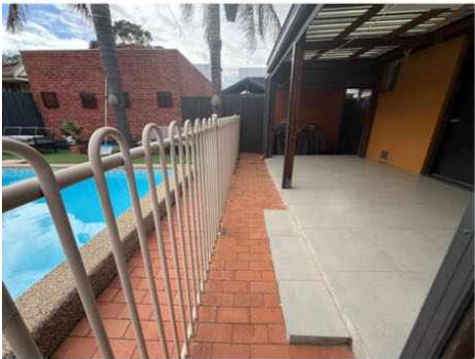
spas at all times. In Victoria, the construction and installation of swimming pools, spas and safety barriers, fences, exterior doors and barrier maintenance are all subject to the new requirements of the Building Regulations 2018 (the Regulations).

Swimming pool and spa owners have a legal obligation to ensure that they maintain the effective operation of swimming pool and spa safety barriers. Gates and doors must remain closed, except when entering the pool or spa. Pool and spa registration and inspection and new laws are imposed to improve swimming pool and spa safety in Victoria, please adhere to them for our children and occupant safety..

The introduction of new registration, inspection and certification requirements for pool property owners are part of the changes, owners are required to register their pool and spa with their local council/ authorities and have their safety barrier inspected and once every four years after that. This information is provided to improve and help swimming pool and spa owners better understand their legal obligations for the installation of swimming pools, spas and safety barriers, as well as the new registration, inspection and certification requirements.

Due to new regulations on pool and spa areas we highly recommend that a pool inspection specialist be appointed to inspect the pool and surrounding areas and provide advice on what may be required to improve safety and the implementation of the new regulations. It is highly recommended the client to implement any current requirements to ensure that the pool area is safe for all occupants.





**Noted Item**

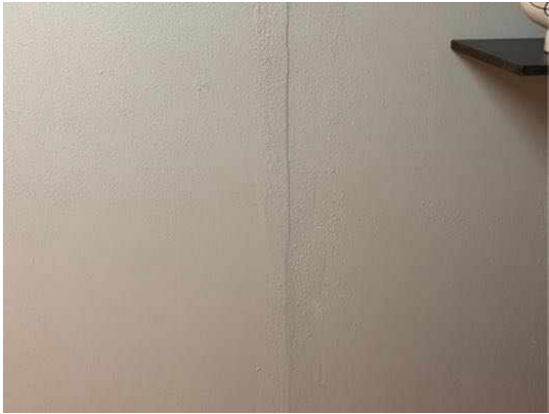
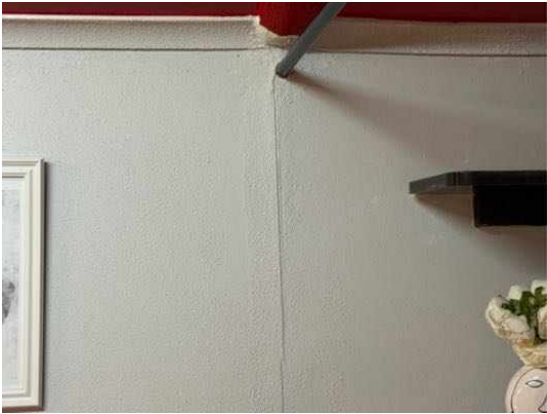
Building: Building 1  
Location: All Areas > All Areas  
Finding: Additional Photos  
Information: Additional photos are provided for either future maintenance items for clients attention and or general reference. Arrows may have been included to highlight areas of importance. Please discuss these photos with your building consultant for clarification.

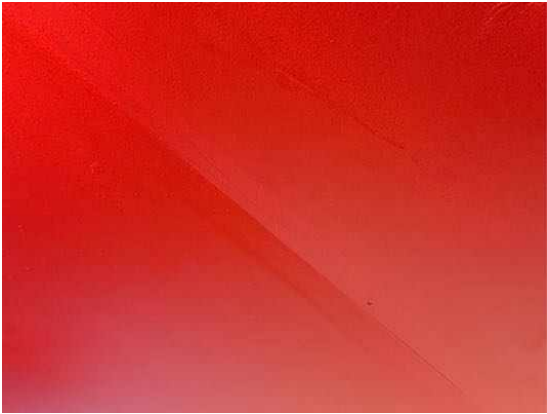












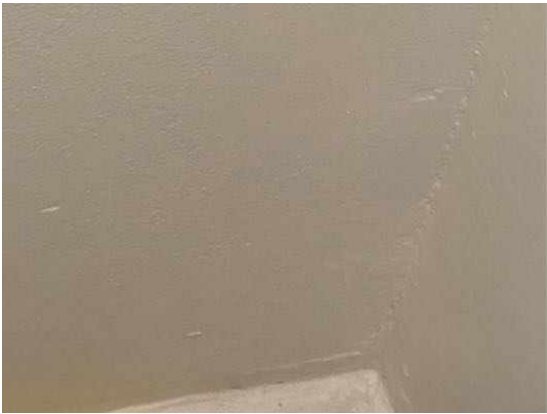




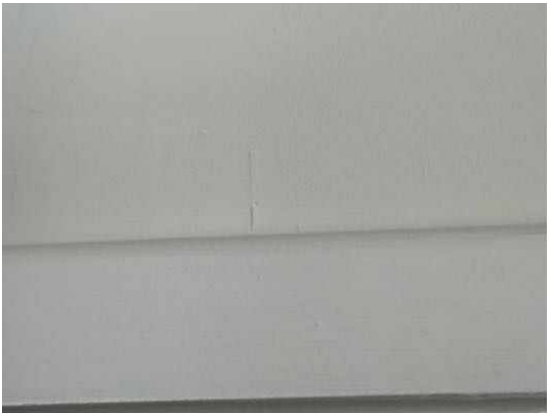
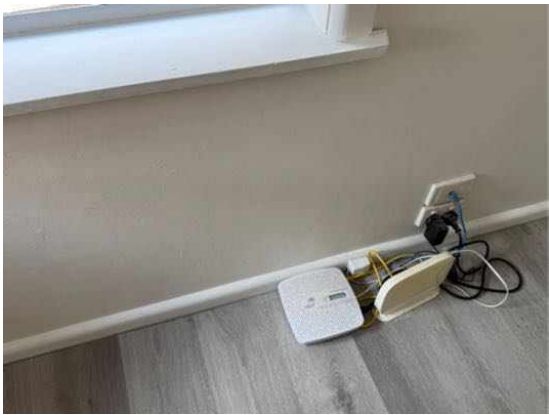














### Noted Item

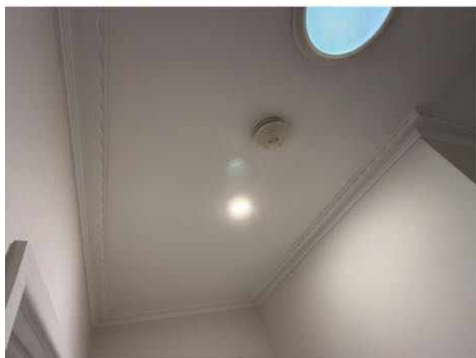
Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Recently painted  
 Information: At the time of the inspection the external and internal areas throughout the home, were suspected to have been recently painted. Whilst these areas may appear complete and appear to be free of defects, defects could be covered by recent painting and any defects could potentially be missed.

### Noted Item

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Smoke detectors and alarms  
 Information: Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report. Please note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that smoke detectors are sometimes get over looked, or they may be in a poor condition, so we recommend that they always should be addressed prior to occupation to improve occupant safety.

Always ensure sufficient working and suitable smoke detectors are installed prior and

during to occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.



## Noted Item

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: In case client intends to re-engage the fireplace in the future  
 Information: Reporting on the fireplace and or the associated chimneys, including as to whether they are working or not and their legislative requirements, is outside the Scope of this Report. However this is in case client intends to re-engage the fireplace in the future. Please note that this is highlighted as a caution only. It is highly recommended that if the fireplace is at sometime uncovered it is highly recommended that the fireplace and associated chimneys get checked before use when they may not have been used in a sometime. If left unmaintained and not cleaned adequately a fireplace and chimneys may be or become a fire hazard.

We suspect, based on our experience in the building industry, that fireplaces and the associated chimneys get over looked and do not get chimney swept or any maintenance for long periods of time. The chimney may therefore be in a poor condition, so we recommend that they always ensure that these areas be addressed prior to their use, this is to ensure home and occupant safety.





## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

## **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

## **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.