



Timber Pest Inspection Report

Inspection Date: Thu, 26 Mar 2026

Property Address: 4 Timble Cl Wollert



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector on the day of inspection. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions. This Report should be read in its entirety and in the context of the agreed scope of Services. It does not deal with every aspect of the Property. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist such as an engineer, surveyor or other trade or specific rectification or maintenance works. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 26 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 4 Timble Cl Wollert

Client's Email Address:

Client's Phone Number:

Consultant: Fred Schober Ph: 0422 652 047
Email: Taylorslakes@jimbuildinginspections.com.au

Diploma of Building & Construction
Cert IV of Building & Construction

Company Name: Jim's Building Inspections (Taylors Lakes)

Company Address and Postcode: Taylors Lakes 3038

Company Email: Taylorslakes@jimbuildinginspections.com.au

Company Contact Numbers: 0422 652 047

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Obstructions & Limitations-

Obstructions and Limitations-

There are photographs in this report which are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and where possible should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.

As per AS 4349.0 we are limited to a 'non-invasive' inspection practice-

Therefore the removal or lifting of furniture-or building structures is not permitted.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazards from Damage		✓
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition

In summary, the building, compared to others of similar age and construction is in highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Residential
Company or Strata title	Unknown
Floor	Slab on ground
Furnished	Furnished
No. of bedrooms	4
Occupied	Unoccupied
Orientation	East
Other Building Elements	Footpath, Garage, Water Tanks, Pergola, Retaining Walls, Driveway
Other Timber Bldg Elements	Fascias, Floating Floor, Internal Joinery, Landscaping Timbers and Construction, Patio, Porch / Patio, Skirting Boards, Eaves, Architraves, Deck
Roof	Tiled, Corrugated Iron (e.g. Colourbond)
Storeys	Single
Walls	Brick Veneer (Timber Framed)
Weather	Overcast

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Gardens
- Interior
- Landscaping Timbers
- Roof Exterior - Part
- Roof Void - Part
- Slab Edge
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Roof Exterior - Part
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected termite and timber pest activity. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

Obstructions and Limitations

Termite and timber pest activity may be concealed by the following obstructions which prevented full

inspection:

- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- Duct work
- Evidence of recently painted walls or ceilings
- External concrete or paving
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Landscaping
- Rugs
- Solar Panels
- Stored items, built in cabinetry, furniture and personal items obscured approximately 50% of every room.
- Wallpaper or Wall Coverings

The presence of obstructions increases the risk of undetected termite and timber pest activity. The client should remove obstructions where ever possible and reinspect these areas urgently. See also overall risk rating for undetected activity.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazards from Damage

No evidence was found

Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

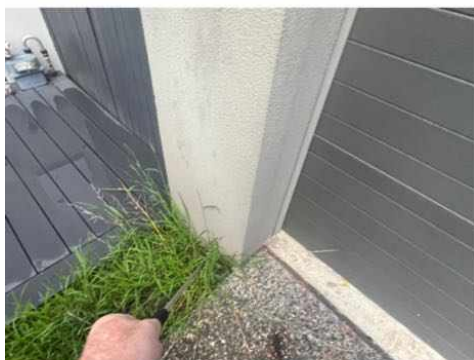
Conditions Conducive to Timber Pest Activity

Termite and Timber Pest 4.01

Building:	Main Building
Location:	All Areas > All Areas
Finding:	Building materials in direct ground contact - conducive to termites
Information:	Where timber elements are in direct contact with the ground and consequently moisture or dampness they become conducive to termite activity. Whether timber is used as a building element part of a fencing structure or stored as an unused item they can provide an environment that is attractive to termite infestation.

When met with excessive moisture timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated or non-durable also provide ingress for subterranean termites into that particular element.

The removal of any such materials that may be conducive to termite activity should be removed as soon as possible to minimise the risk of termite attack.







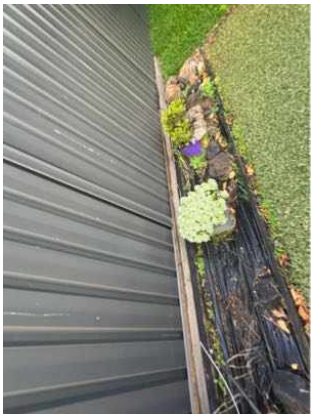
Termite and Timber Pest 4.02

Building: Yard
Location: All Areas > All Areas
Finding: Garden Beds - Conditions Conducive to Termites
Information: Garden beds were found to be evident in the garden area. These garden beds can include untreated timber, and with a combination of moisture from watering hosing can make conditions conducive to termite activity and termite ingress.









Termite and Timber Pest 4.03

Building: Main Building
Location: All Areas > Front Left
Finding: Pest -Attachments to buildings-structures-EG steps, verandahs, porches, carports, trellises, decks-down pipes-
Information: 5.4.3 Attachments to buildings Attachments to buildings such as downpipes and service pipes mounted on external walls shall have a nominal gap, which provides clear and uninterrupted visual inspection across the inspection zone. Structures such as steps, verandahs, porches, access ramps, carports, trellises, decks, hot- water systems, air-conditioners, or similar, which are not provided with a termite management system in accordance with AS 3660.1, shall be separated from the building by gap of at least 25 mm, to allow clear and uninterrupted visual inspection across the inspection zone.

NOTE: In some cases where there is zero boundary clearance or where existing structures are covered by heritage protections or cannot be practicably modified to conform with this clause,then conformance with this Standard may not be possible.





Termite and Timber Pest 4.04

Building: Main Building
Location: Front Elevation > Front Right
Finding: Timber Pest-meterbox no durable notice-found
Information: Meter Box

Finding: Termite Management System - No Evidence of Installation

The application of a post-construction chemical termite barrier is highly recommended for all

properties, particularly if live termite activity has been found on the site previously. Such

barriers are highly effective in preventing termite attack on any timber building elements

throughout the property.

A durable notice should be placed in the meter box to indicate current termite barriers. At the

time of inspection, it appeared as though no termite management system has been installed,

with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and

procedures involved with this application. It is recommended that obtaining such advice be a

short-term priority.



Termite and Timber Pest 4.05

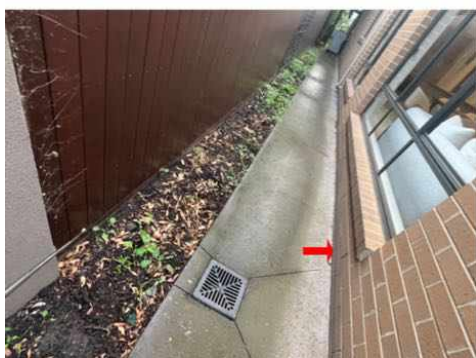
Building:	Main Building
Location:	Exterior walls - right side > All Areas
Finding:	Gaps in perimeter pavement
Information:	Gaps in the external concrete paving were identified at the time of inspection. Gaps in the slab are significant and are likely to lead to the development of secondary defects if left unmanaged, such as the creation of a trip hazard and water entry points.

It is likely that this movement has occurred for several reasons. These could include substandard installation, reactive clay soils and stormwater issues.

With reactive clay soils, it is extremely important to ensure that all stormwater flows including roof and ground flows, contained and continually maintained. High moisture also creates an environment that is conducive to termite attack.

A licensed Plumber should be appointed immediately to ensure that the stormwater pipework is intact and adequate, and all gaps to concrete, driveways and paths should be sealed by a licensed builder or a general handy person to keep moisture from entering.

A licensed concretor may be required to replace pavements that are beyond repair.



Termite and Timber Pest 4.06

Building:	Main Building
Location:	Exterior walls - right side > Centre
Finding:	Air-conditioning unit - Leak
Information:	Leaking from an external air-conditioning unit may be a result of several causes, including poor installation, blockages in internal drains, or a blockage to the drain hole.

Heavy leaking from the air-conditioning unit is likely to produce damp conditions in the surrounding area conditions which are conducive to termite attack. If left unattended, such leaking can develop into water pooling below the unit, creating potential for subsequent water damage to associated building elements.

A refrigeration mechanic or licensed plumber should be appointed to assess the

condition of the unit and to perform any remedial works as necessary. While discharge from an air-conditioning unit can generally be managed through basic plumbing work, such appointments are deemed necessary to identify any major issues.

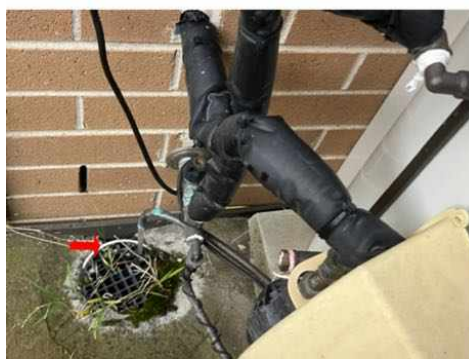
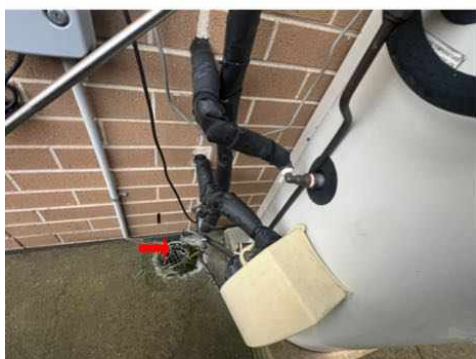


Termite and Timber Pest 4.07

Building: Main Building
Location: Exterior walls - left side > Front
Finding: HWS Overflow - Not Connected
Information: The Hot Water System (HWS) overflow was found to be disconnected from storm water drainage and is creating excessive moisture in the surrounding area.

These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area.

It is highly recommended that a licensed plumber be appointed to connect the HWS overflow in order to prevent such an environment from being created. These minor works should be carried out as soon as possible.



Termite and Timber Pest 4.08

Building: Main Building
 Location: All Areas > Front Right, Centre Right
 Finding: Bridging vegetation
 Information:

Where vegetation obstructs inspection of building elements, also known as bridging as it provides a bridging point for the access of termites, full inspection can not be achieved. Consequently moisture or dampness may be present and the areas becomes conducive to termite activity. Plants against or very close to buildings provide cover, shade and can provide an environment that is attractive to termite infestation.

The removal and replanting of species that do not provide "cover" or cutting back of existing vegetation will assist greatly in preventing Bridging from occurring.

The removal of any such materials that may be conducive to termite activity should be carried out as soon as possible and arrange re inspection to minimize the risk of termite attack.



Termite and Timber Pest 4.09

Building: Main Building
 Location: All Areas > Front, All Areas
 Finding: Pest -Obstructions & Limitations-roof void-
 Information:

These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.

The roof void contains a large area obstructed by insulation.

It is neither feasible or practical to remove all the insulation, therefore the risk of hidden termite timber pest activity cannot be ruled out.

Inspection of areas around the wet areas was limited and over 75% of the roof void could not be inspected.

Therefore, It is critical that before proceeding further, an inspection and possibly a treatment or advice regarding a treatment, be sourced form a Licenced Termite Timber Pest Controller.

This further inspection will further reduce any damage to the timber elements.





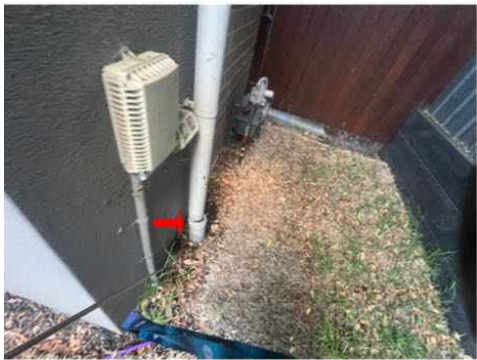


Termite and Timber Pest 4.10

Building: Main Building
 Location: Yard - Front > Front Right
 Finding: Damp or wet - leak-down pipe-damaged
 Information: Damp or wet conditions are generally a direct result of poor drainage an active leak or poor ventilation (or a combination of the three). Dry conditions should be maintained to prevent secondary building defects from developing.

If left unattended damp or wet conditions may have many consequences including the development of fungal decay and/or wood rot as well as providing an environment that may be conducive to termite or timber pest attack.

A qualified plumber should be appointed immediately to identify the cause of the excessive moisture in order to prevent further damage. The water leak should be resolved prior to any repairs of the damaged area which may require localised replacement of building materials and refinishing..





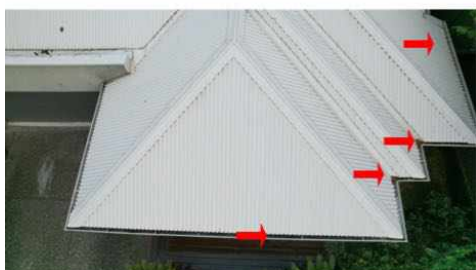
Termite and Timber Pest 4.11

Building:	Main Building
Location:	All Areas > All Areas
Finding:	Gutters - Blocked
Information:	Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Where gutter guard is installed regular maintenance should include cleaning out any debris which may rest on top of or filter through the gutter guard.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

Consult a Licensed Plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a general handyperson as a matter of urgency.





Termite and Timber Pest 4.12

Building:	Main Building
Location:	Yard - Side > All Areas, Front
Finding:	Pest - Attachments to buildings-structures-EG steps, verandahs, porches, carports, trellises, decks-down pipes-
Information:	5.4.3 Attachments to buildings Attachments to buildings such as downpipes and service pipes mounted on external walls shall have a nominal gap, which provides clear and uninterrupted visual inspection across the inspection zone. Structures such as steps, verandahs, porches, access ramps, carports, trellises, decks, hot- water systems, air-conditioners, or similar, which are not provided with a termite management system in accordance with AS 3660.1, shall be separated from the

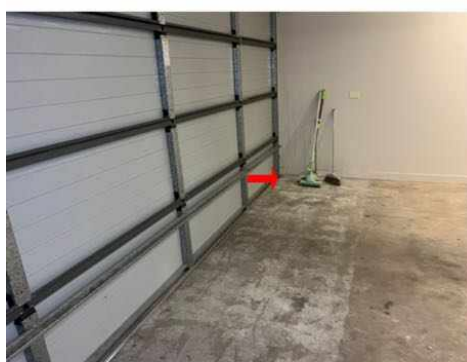
building by gap of at least 25 mm, to allow clear and uninterrupted visual inspection across the inspection zone.

NOTE: In some cases where there is zero boundary clearance or where existing structures are covered by heritage protections or cannot be practicably modified to conform with this clause, then conformance with this Standard may not be possible.



Termite and Timber Pest 4.13

Building:	Garage
Location:	Front Elevation > Front Left, Front Right
Finding:	Evidence of excessive moisture was present at the time of inspection
Information:	Excessive moisture can attract termites and produce conditions that promote termite attack, fungal growth and wood decay. Excessive moisture is generally caused by deteriorated, inadequate or missing roof drainage, leaking plumbing pipes or fixtures, poorly plumbed HWS overflows or condenser units and poor site drainage. It is highly recommended that all plumbing and drainage fixtures and fittings be maintained regularly in order to prevent excessive moisture being present in the external / internal property.



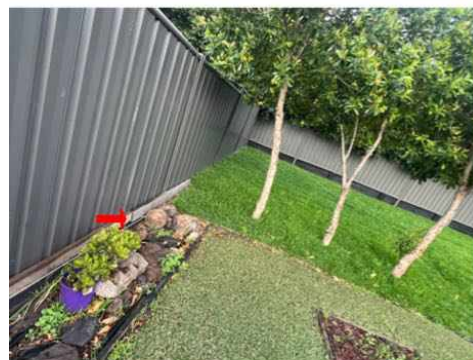
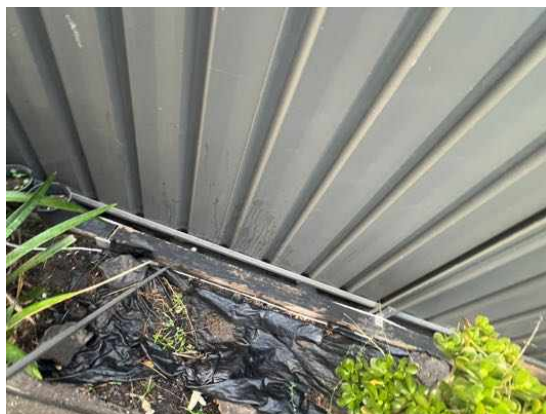
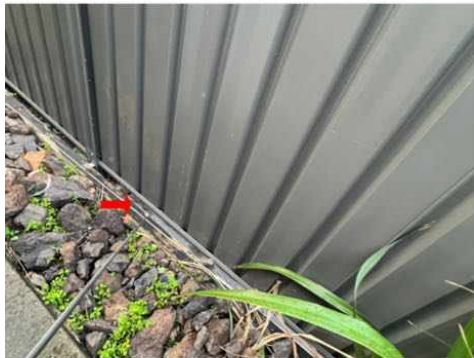
Evidence of fungal decay activity and/or damage

Termite and Timber Pest 7.01

Building:	Main Building
Location:	Exterior walls - left side > Rear
Finding:	Fungal decay - present (localised)-to door frame
Information:	Fungal decay also known as wood decay or wood rot generally refers to the deterioration of timber elements when in contact with excessive levels of moisture for a prolonged period of time.

The development of fungal decay is accelerated by temperatures in the range of 5degreeC to 40degreeC as well as the presence of oxygen. Generally fungal decay develops on timber elements that are in use in an external environment which are exposed to rain penetration.

In this case although the affected timber element is in a decaying state the extent of any visible damage appears to be localised to a specific area and is yet to spread to other parts of the building element or affect adjoining structures. The fungal decay is therefore likely to be of a relatively superficial nature with minimal impact on the structural integrity or tensile strength of the timber element.





Evidence of wood borer activity and/or damage

No evidence was found

Evidence of a previous termite management program

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

-

Pest Conclusion-

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests.

There was no visual evidence of any live termite activity inside the main building at the time of the inspection.

There was NO durable notices found in the meter box at the time of the inspection

Where a building is not protected with a termite management system, the building is considered high risk for termite attack.

Immediate consultation with a licensed pest technician in regards to the scope and costs associated with a termite management system is highly recommended.

Alternatively, monthly inspections should apply. Refer to the body of the inspection report for further details.

For further information, advice and clarification please contact Fred Schober-0422652047

Risk management options

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack.

To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660.

This may include the installation of a monitoring and/or baiting system, or chemical and/or physical management system.

However, AS 3660 stresses that subterranean termites can bridge or breach management systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information

on a risk management program, please do not hesitate to contact the person who carried out this Inspection

For further information, advice and clarification please contact Fred Schober on: 0422 652 047

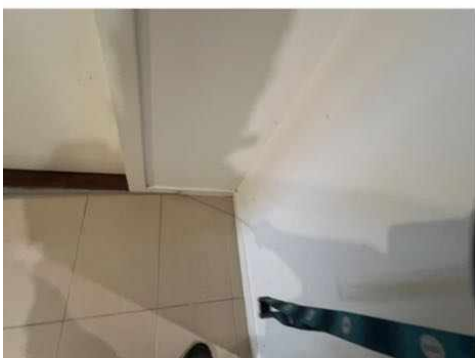
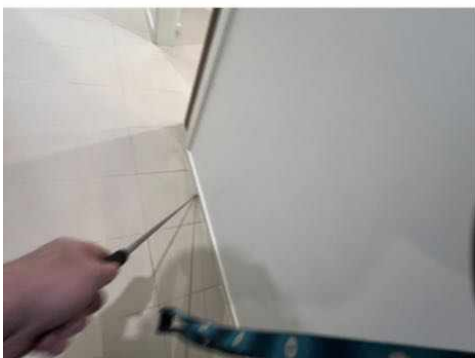
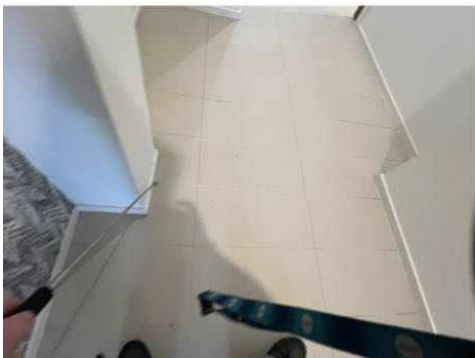
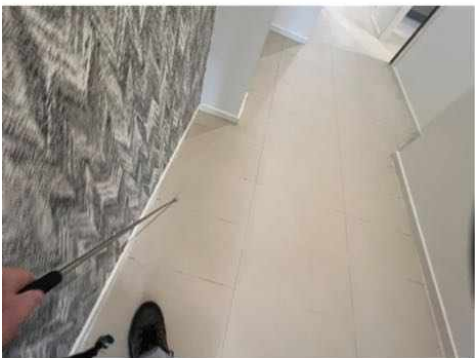
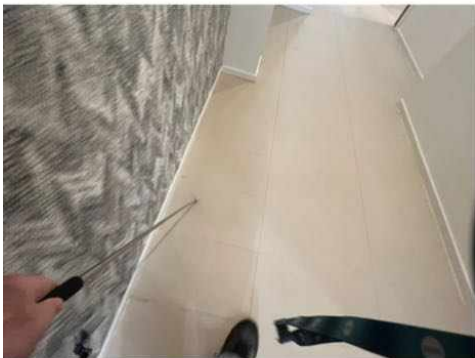
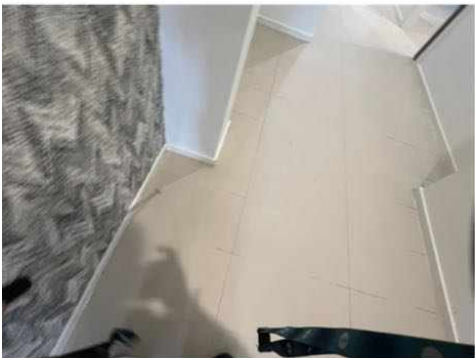
Section D Significant Items

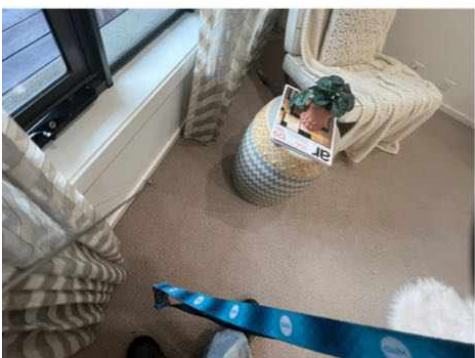
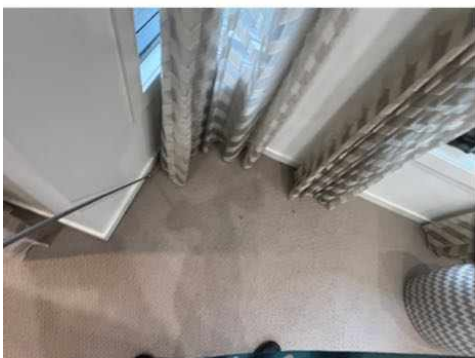
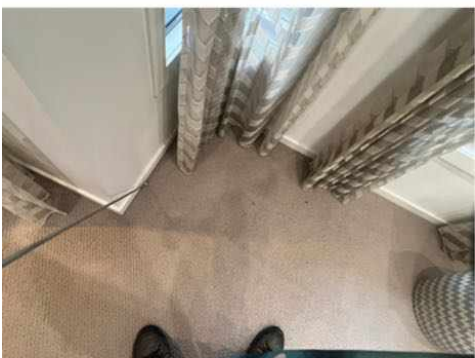
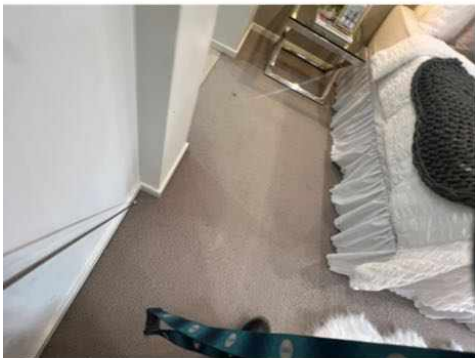
The following items were noted as - For Your Information

Noted Item

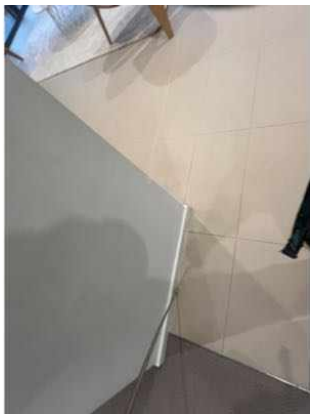
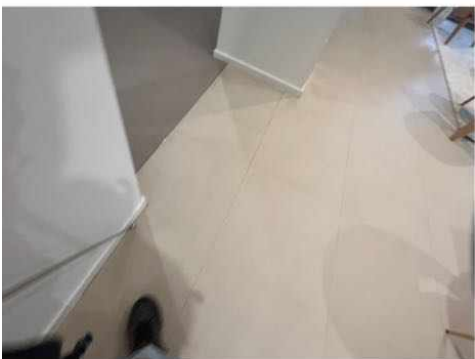
Building: Main Building
Location: All Areas > All Areas
Finding: Pest inspection-FYI-Methodology-and inspection of cabinetry
Information: As part of the course of the Pest Inspection-we /knock on skirting boards and architraves to determine if Pests are present-we also visually examine in and around internal cabinetry-as note in images supplied-





















Noted Item

Building: Main Building
Location: Bathroom > Front Right
Finding: Additional Photos-moisture readings taken from all wet area walls & floors-and found to be within tolerance
Information: Additional photos are provided for your general reference. Arrows have been included to highlight areas of importance. Please discuss these photos with your building consultant for clarification.





Noted Item

Building: Main Building
 Location: All Areas > All Areas
 Finding: Additional Photos - Obstructions and Limitations
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



Noted Item

Building: Main Building
Location: Ensuite - Master > Centre
Finding: Additional Photos-moisture readings taken from all wet area walls & floors-and found to be within tolerance
Information: Additional photos are provided for your general reference. Arrows have been included to highlight areas of importance. Please discuss these photos with your building consultant for clarification.



Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Building and Site	The main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees, tree stumps and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Readily Accessible Areas	<p>Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces or subfloors where the minimum area of accessibility is not less than 400 mm high by 500 mm wide for manholes, and crawl space access is not less than 600 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes:</p> <p>(a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the areas is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide) and</p> <p>(b) areas at the eaves of accessible roof spaces, that are within the</p>

consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termite Detection Consultant	A person who meets the competency criteria for carrying out termite inspections set out in Australian Standard AS 3660.2.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.
Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.

Terms on which this report was prepared

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk of undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not a building or structural report. Other than in relation to termites and timber pests, this report does not address any health and safety risks relating to the Property, including its structure.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements,

restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.