



Building and Timber Pest Inspection Report

Inspection Date: Tue, 7 Apr 2026

Property Address: 134 West St, Casino NSW 2470, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 7 Apr 2026

Modified Date: Wed, 8 Apr 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 134 West St, Casino NSW 2470, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections (Yamba)

Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

This inspection is only a visual inspection and multiple areas through out the building are not able to be inspected. Live timber activity and further damage maybe located in these areas. A further invasive inspection is recommended to gain a better understanding of the buildings condition and to the extent of any timber pest activity.

Any home built before 1990 has the potential to have been built with materials containing asbestos

The detection of asbestos containing materials is out of the scope of works for this inspection. I recommend a separate asbestos inspection and report, with samples of suspected asbestos containing materials taken and laboratory tested to, confirm or rule out the presents of asbestos.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity	✓	
Timber Pest Damage	✓	
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. Live activity and/or damage from timber pest activity was found at the time. A termite treatment is required.

Section B General

General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Brick Stumps or Piers, Concrete, Timber with concrete areas, Timber with hardboard areas, Slab - Suspended Slab, Part Slab and Part Subfloor
Furnished	Furnished
No. of bedrooms	3
Occupied	Occupied
Orientation	East
Other Building Elements	Driveway, Fence - Fabricated Metal Fence, Footpath, Garage, Fence - Post and Rail Construction, Shed, Porch
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Fascias, Floorboards, Internal Joinery, Landscaping Timbers and Construction, Porch / Patio, Skirting Boards
Roof	Timber Framed, Corrugated Iron (e.g. Colourbond)
Storeys	Single
Walls	Timber Framed and Clad, Weatherboards
Weather	

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Gardens
- Interior
- Landscaping Timbers
- Posts
- Roof Void - Part
- Subfloor - Part
- The Site
- Roof Exterior - Part
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Roof Exterior - Part
- Roof Exterior.
- Subfloor - Part.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible

areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- External concrete or paving
- Fixed ceilings
- External finished ground level
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Lack of clearance - subfloor
- Overhanging vegetation
- Rugs
- Sarking
- Solar Panels
- Stored items
- Stored items, built in cabinetry, furniture and personal items obscured approximately 25% of every room.
- Subfloor was obscured due to poor clearance and obstructions. Less than 50% of the inspectable area was accessible.
- Vegetation
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and

conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

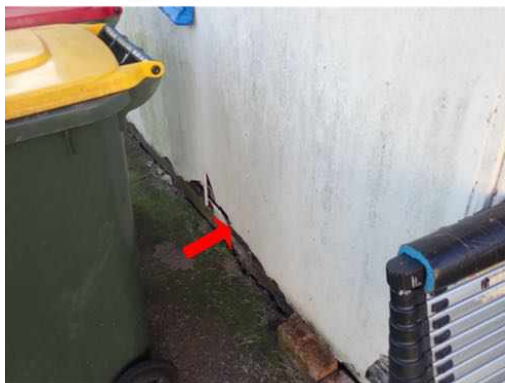
Building:	Main Building
Location:	Left hand elevation
Finding:	Damaged External Cladding Suspected To Contain Asbestos
Information:	External cladding suspected to contain asbestos has been identified as damaged. This may be due to age-related deterioration, impact damage, or previous works. Disturbance of asbestos-containing materials can pose a health risk if fibres become airborne. It is recommended that a licensed asbestos professional assess the material, confirm its composition, and carry out any necessary repairs or removal in accordance with relevant regulations. Repairs should be undertaken in a controlled manner to minimise risk.



Finding 1.02

Building:	Garage
Location:	External cladding
Finding:	Damaged External Cladding Suspected To Contain Asbestos

Information: External cladding suspected to contain asbestos has been identified as damaged. This may be due to age-related deterioration, impact damage, or previous works. Disturbance of asbestos-containing materials can pose a health risk if fibres become airborne. It is recommended that a licensed asbestos professional assess the material, confirm its composition, and carry out any necessary repairs or removal in accordance with relevant regulations. Repairs should be undertaken in a controlled manner to minimise risk.



Major Defect

Finding 2.01

Building: Main Building
 Location: Front porch
 Finding: Drummy, Cracked And Missing Tiles To Front Patio Area
 Information: Drummy, cracked, and missing tiles have been identified to the front patio area. This is typically associated with poor installation, inadequate adhesion, substrate movement, or age-related deterioration. Loose or damaged tiles may worsen over time if left unaddressed. It is recommended that a tiler or suitably experienced handyman remove and replace the affected tiles. A builder may be required to assess the condition of the substrate and carry out repairs as required. Repairs can be carried out at the owner's discretion.



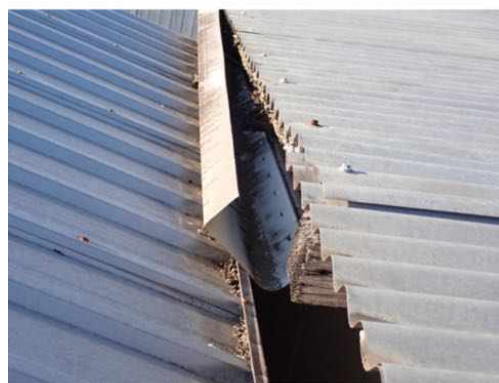
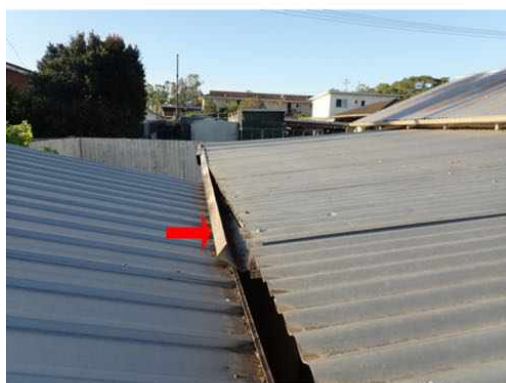
Finding 2.02

Building:	Main Building
Location:	Gutter front right hand side of roof
Finding:	Rust To Front Right Hand Side Gutter
Information:	Significant rust has been identified to the front right-hand side gutter. This is typically associated with advanced age-related deterioration, prolonged moisture exposure, and failure of protective coatings. The condition indicates the guttering is likely compromised and may leak or fail, leading to uncontrolled water discharge and potential damage to adjacent building elements. It is recommended that a licensed plumber replace the affected gutter sections to ensure proper drainage and prevent further deterioration.



Finding 2.03

Building:	Garage
Location:	Roof
Finding:	Missing Gutter To Garage Roof
Information:	A gutter is missing to the garage roof. This may be due to removal, damage, or incomplete installation. The absence of a gutter can result in uncontrolled water discharge, potentially leading to water ingress, erosion, or damage to adjacent building elements. It is recommended that a licensed plumber or suitably experienced handyman install an appropriate gutter system to manage roof water effectively. Repairs can be carried out at the owner's discretion.



Finding 2.04

Building:	Garage
Location:	Roof
Finding:	Rust To Garage Roof Cladding And Guttering
Information:	Rust has been identified to the garage roof cladding and guttering. This is typically associated with age-related deterioration, prolonged weather exposure, and breakdown of protective coatings. If left untreated, corrosion may progress and lead to leaks or failure of the affected components. It is recommended that a licensed roofer or suitably experienced handyman treat or replace the affected sections and ensure the roof and drainage system are functioning correctly. Repairs can be carried out at the owner's discretion.



Finding 2.05

Building:	Main Building
Location:	Subfloor
Finding:	Leaking Plumbing To Subfloor Below Toilet
Information:	Plumbing has been identified as leaking within the subfloor below the toilet. This is typically associated with failed seals, pipe deterioration, or connection issues. Ongoing leakage may lead to moisture build-up, deterioration of surrounding building materials, and conditions conducive to termite activity if left unaddressed. It is recommended

that a licensed plumber locate and repair the source of the leak and ensure the area is adequately dried. Prompt repairs are strongly recommended to prevent further damage.



Minor Defect

Finding 3.01

Building:	Main Building
Location:	Front and rear entry doors
Finding:	Rust To Bottom Of Front And Rear Security Doors
Information:	Rust has been identified to the bottom sections of the front and rear security doors. This is typically associated with age-related deterioration, moisture exposure, and breakdown of protective coatings. If left untreated, corrosion may worsen and lead to further deterioration of the door frames. It is recommended that a painter, metal fabricator, or suitably experienced handyman treat the affected areas, remove corrosion, and apply protective coatings, or replace components as required. Repairs can be carried out at the owner's discretion.





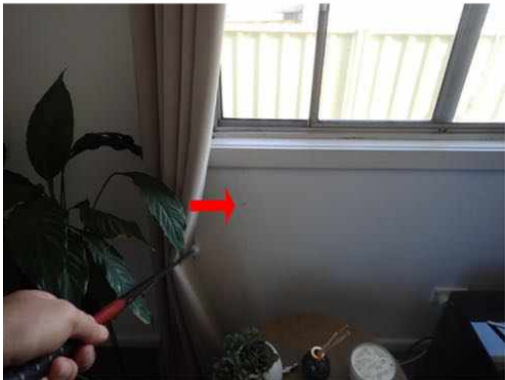
Finding 3.02

Building: Main Building
Location: All windows
Finding: Sliding Windows Require General Maintenance
Information: All sliding windows throughout the main building were operational at the time of inspection, however general maintenance is required. This is typically associated with age-related deterioration and is considered a common defect. Ongoing wear may affect ease of operation over time if not maintained. It is recommended that a carpenter or suitably experienced handyman service the windows, including cleaning tracks, lubricating moving parts, and adjusting components as required. Maintenance can be carried out at the owner’s discretion.



Finding 3.03

Building: Main Building
Location: Living room
Finding: Minor Internal Lining Cracking To Living Room
Information: Minor cracking has been identified to the internal wall lining within the living room. This is typically associated with normal settlement, minor movement, or age-related deterioration and is considered a common defect. If cracks increase in size over time, further assessment may be required. It is recommended that a plasterer or suitably experienced handyman repair and make good the affected areas as required. Repairs can be carried out at the owner's discretion.



Finding 3.04

Building:	Main Building
Location:	Ceilings
Finding:	Flaking Paint To Ceilings At Isolated Locations
Information:	Paintwork is flaking to ceiling areas at several isolated locations. This is typically associated with age-related deterioration, moisture exposure, or inadequate surface preparation during previous painting works. Continued deterioration may result in further paint loss and potential exposure of underlying surfaces. It is recommended that a painter or suitably experienced handyman prepare the affected areas and repaint as required. Repairs can be carried out at the owner's discretion.



Finding 3.05

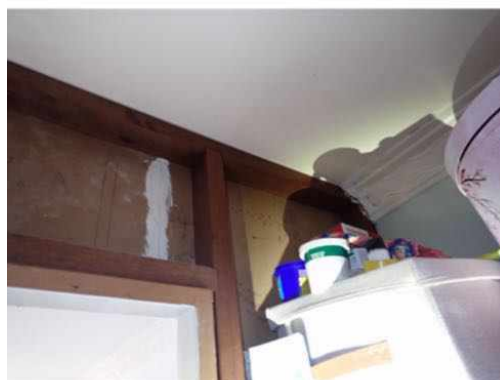
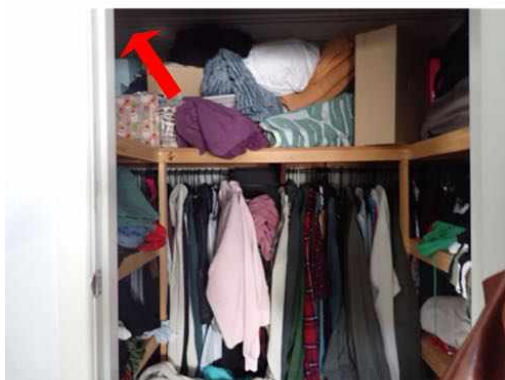
Building:	Main Building
Location:	Bedrooms and living room
Finding:	Minor Mould Spots To Bedroom And Living Room Ceilings (Southern Corner)
Information:	Small mould spots have been identified to the ceilings of the bedrooms and living room, predominantly to the southern corner. No elevated moisture readings were detected at the time of inspection using a moisture meter. This condition is typically associated with condensation, limited ventilation, or cooler internal surface temperatures rather than active moisture ingress. If left unaddressed, mould growth

may increase and affect indoor air quality and surface finishes. It is recommended that a suitably experienced handyman or cleaning specialist treat and remove the mould, and that ventilation to affected areas be improved where possible. Repairs and maintenance can be carried out at the owner's discretion.



Finding 3.06

Building:	Main Building
Location:	Bedroom
Finding:	Missing Cladding To Rear Of Walk-In Robe In Master Bedroom
Information:	No wall cladding has been installed to the back side of the walk-in robe in the master bedroom. This may be due to incomplete installation or previous alterations. The absence of cladding can expose internal framing and may allow dust ingress or damage to underlying materials. It is recommended that a carpenter or suitably experienced handyman install appropriate wall cladding to enclose and protect the area. Repairs can be carried out at the owner's discretion.



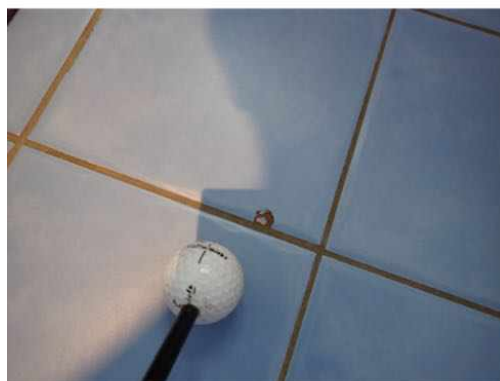
Finding 3.07

Building: Main Building

Location: Bathroom

Finding: Chip To Bathroom Floor Tile

Information: A small chip has been identified to a floor tile in the bathroom. This is likely due to minor impact damage or general wear and tear. While currently minor, the defect may worsen over time and affect the finish of the tile. It is recommended that a tiler or suitably experienced handyman repair or replace the affected tile as required. Repairs can be carried out at the owner's discretion.



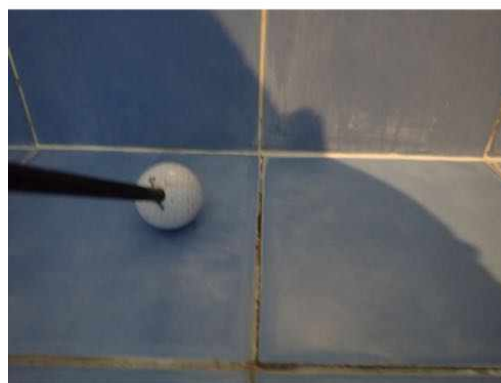
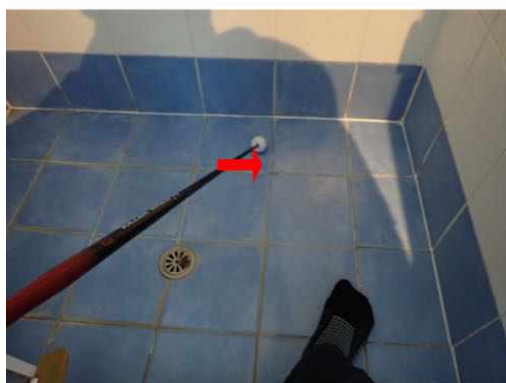
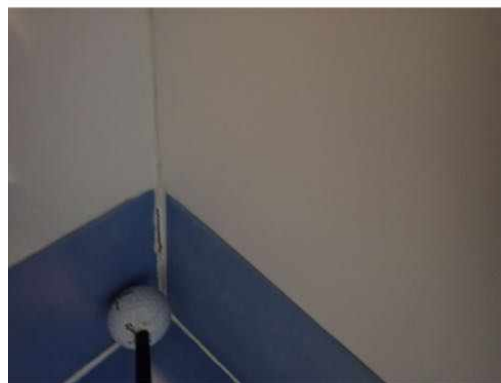
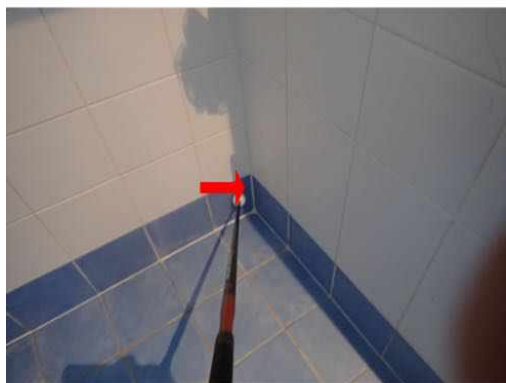
Finding 3.08

Building: Main Building

Location: Bathroom

Finding: Deteriorated Grout And Silicone To Shower Area

Information: Deterioration of grout and silicone has been identified to the shower area. This is typically associated with age-related wear, moisture exposure, and breakdown of sealants over time. Defective grout and silicone may allow water ingress into surrounding building materials, potentially leading to further deterioration if left unaddressed. It is recommended that a tiler or suitably experienced handyman remove and replace the affected grout and silicone to ensure a watertight seal. Repairs can be carried out at the owner's discretion.



Finding 3.09

Building:	Main Building
Location:	Bathroom
Finding:	Shower Tap And Spout Wall Penetrations Not Sealed Appropriately
Information:	Wall penetrations around the shower tap and spout have not been sealed appropriately. This is typically due to incomplete installation or deterioration of sealant. Unsealed penetrations may allow water ingress into the wall cavity, potentially leading to damage of surrounding building materials over time. It is recommended that a plumber or suitably experienced handyman apply appropriate sealant to all penetrations to ensure a watertight finish. Repairs can be carried out at the owner's discretion.



Finding 3.10

Building: Main Building
Location: Kitchen
Finding: Gaps To Kitchen Timber Look Flooring End Joins
Information: Several gaps have been identified to the end joins of the timber look flooring in the kitchen. This is typically associated with installation tolerances, material movement, or age-related shrinkage and is considered a common defect. If gaps increase over time, they may allow debris ingress and affect the finish of the flooring. It is recommended that a flooring contractor or suitably experienced handyman assess and repair the affected areas as required. Repairs can be carried out at the owner's discretion.



Finding 3.11

Building: Main Building
Location: Eaves and fascia boards
Finding: Deteriorated And Flaking Paint To Fascia Boards And Eaves
Information: Deteriorated and flaking paint has been identified to the fascia boards and eaves. This is typically associated with age-related wear, weather exposure, and breakdown of protective coatings. If left unaddressed, exposed timber may be susceptible to moisture ingress and further deterioration. It is recommended that a painter or suitably experienced handyman prepare the surfaces and repaint to provide adequate protection. Repairs can be carried out at the owner’s discretion.





Finding 3.12

Building: Main Building
Location: Rear patio roof
Finding: Possible Leak At Junction Of Rear Patio And Main Roof
Information: A possible leak has been identified where the rear patio area meets the roof of the main building. This is typically associated with inadequate flashing, poor sealing, or age-related deterioration at the junction. If left unaddressed, water ingress may occur and lead to damage of surrounding building materials. It is recommended that a licensed roofer inspect the junction, rectify any defects, and ensure the area is properly sealed. Repairs can be carried out at the owner's discretion.



Finding 3.13

Building:	Main Building
Location:	Right hand side elevation
Finding:	Rusted Plumbing Vent Pipe
Information:	The plumbing ventilation pipe has been identified as rusted. This is typically associated with age-related deterioration, weather exposure, and breakdown of protective coatings. If left untreated, corrosion may progress and lead to failure of the pipe. It is recommended that a licensed plumber replace or repair the affected pipe and apply appropriate protective measures. Repairs can be carried out at the owner's discretion.



Finding 3.14

Building:	Main Building
Location:	External cladding
Finding:	External Cladding Requires Cleaning And Painting
Information:	The external cladding is in need of cleaning and repainting. This is typically associated with age-related wear, weather exposure, and deterioration of protective coatings. If left unaddressed, the condition may lead to further deterioration of the cladding material over time. It is recommended that a painter or suitably experienced handyman clean, prepare, and repaint the surfaces to restore protection and appearance. Repairs and maintenance can be carried out at the owner's discretion.



Finding 3.15

Building: Yard
Location: Boundary fencing
Finding: Timber Boundary Fencing In Poor Condition
Information: The timber boundary fencing was observed to be generally in poor condition. This is typically associated with age-related deterioration, weather exposure, and lack of maintenance. Sections may continue to deteriorate over time if left unaddressed. It is recommended that a carpenter or suitably experienced handyman repair or replace the affected sections as required to maintain functionality and stability. Repairs can be carried out at the owner’s discretion.



Live Timber Pest Activity

Finding 4.01

Building: Garage
Location: Timber framing
Finding: Termite Damage And Mud Tunnels To Garage And Shed Timber Framing
Information: Termite damage and mud tunnels have been identified to the timber framing within the garage and shed at several locations. This is indicative of active or previous termite

activity. The majority of the shed contained stored items at the time of inspection, which obstructed a full inspection of all accessible areas. It is recommended that stored items be removed to allow a full and unrestricted inspection of all timber elements. Affected timber may continue to deteriorate over time if left unaddressed. It is recommended that a licensed timber pest controller be engaged to assess for active infestation and implement appropriate treatment measures. A carpenter or suitably experienced handyman should then repair or replace the damaged timber as required. Prompt action is strongly recommended to prevent further damage.





Finding 4.02

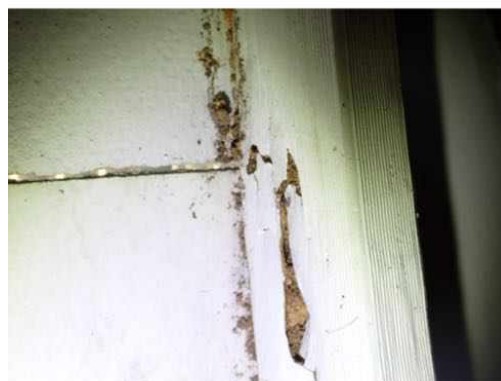
Building: Main Building
 Location: Subfloor rear of building
 Finding: Termite Damage And Mud Tunnels To Subfloor At Rear Of Building
 Information: Termite damage and mud tunnels have been identified within the subfloor at the rear of the building. This is indicative of active or previous termite activity. Affected timber may continue to deteriorate over time if left unaddressed. It is recommended that a licensed timber pest controller be engaged to assess for active infestation and implement appropriate treatment measures. A carpenter or suitably experienced handyman should then repair or replace the damaged timber as required. Prompt action is strongly recommended to prevent further damage.



Timber Pest Damage

Finding 5.01

Building:	Main Building
Location:	Rear covered area
Finding:	Termite Damage To Framework And Window At Rear Covered Area
Information:	Termite damage has been identified to the framework and window within the rear covered area. This is typically associated with previous or ongoing termite activity. Damaged timber may continue to deteriorate over time if left unaddressed. It is recommended that a licensed builder or suitably experienced handyman repair or replace the affected timber and ensure the area is reinstated appropriately. It is also recommended that a licensed timber pest controller be engaged to assess for active infestation and implement appropriate treatment measures. Prompt action is strongly recommended to prevent further damage.





Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Garage
Location:	Front wall
Finding:	Wood Rot To External Weatherboard Cladding Of Shed At Lower Section
Information:	Wood rot has been identified to the external weatherboard cladding of the shed towards the bottom run. This is typically associated with prolonged moisture exposure and breakdown of protective coatings. Timber in this condition may continue to deteriorate over time and is conducive to termite attack if left unaddressed. It is recommended that a carpenter or suitably experienced handyman repair or replace the affected cladding and apply appropriate protective finishes to prevent recurrence. Repairs can be carried out at the owner's discretion.



Finding 6.02

Building: Garage
Location: Around base of building
Finding: Stored Rotten Timber Around Garage Conducive To Termite Attack
Information: Stored rotten timber has been identified around the base of the garage, which is conducive to termite attack. This is typically associated with poor site maintenance and accumulation of deteriorated materials. Such conditions can attract termites and increase the risk of infestation to nearby structures. It is recommended that a suitably experienced handyman remove and dispose of the timber and maintain clear separation from the building. Maintenance can be carried out at the owner's discretion.



Finding 6.03

Building: Main Building
Location: Subfloor
Finding: Timber In Contact With Ground Within Subfloor Area
Information: Timber has been identified in contact with the ground within the subfloor area at multiple locations. This is typically associated with poor installation or site conditions and is conducive to termite attack. Ground contact can allow concealed termite entry and may lead to timber deterioration over time if left unaddressed. It is recommended that a carpenter or suitably experienced handyman modify the installation to provide adequate clearance from the ground. Prompt rectification is strongly recommended to reduce the risk of termite activity and further deterioration.





Evidence of fungal decay activity and/or damage

Finding 7.01

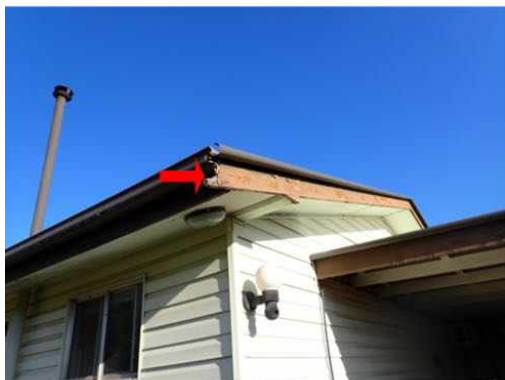
Building:	Main Building
Location:	Front entry door
Finding:	Wood Rot To Front Entry Door Jambs At Base
Information:	Wood rot has been identified to the base of the front entry door jambs. This is typically associated with prolonged moisture exposure and breakdown of protective coatings. Timber in this condition may continue to deteriorate and is conducive to termite attack if left unaddressed. It is recommended that a carpenter or suitably experienced handyman repair or replace the affected timber and apply appropriate protective finishes to prevent recurrence. Repairs can be carried out at the owner's discretion.



Finding 7.02

Building: Main Building
 Location: Fascia boards
 Finding: Wood Rot To Fascia Boards At Multiple Locations
 Information: Wood rot has been identified to the fascia boards at multiple locations. This is typically associated with prolonged moisture exposure and breakdown of protective coatings. Timber in this condition may continue to deteriorate and is conducive to termite attack if left unaddressed. It is recommended that a carpenter or suitably experienced handyman repair or replace the affected timber and apply appropriate protective finishes to prevent recurrence. Repairs can be carried out at the owner’s discretion.





Finding 7.03

Building:	Main Building
Location:	Rear covered area
Finding:	Wood Rot To Timber Posts At Rear Covered Area Roof
Information:	Wood rot has been identified to the base of the timber posts supporting the roof of the rear covered area. Timber is in contact with the ground, which is conducive to termite attack. This is typically associated with prolonged moisture exposure and poor installation practices. Timber in this condition may continue to deteriorate over time if left unaddressed. It is recommended that a carpenter or suitably experienced handyman repair or replace the affected posts and ensure adequate clearance from the ground is provided. Prompt repairs are strongly recommended to prevent further deterioration and potential damage.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- Licensed Plumber specialising in Roof Plumbing
- Licensed Plumber
- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in fair condition when compared to buildings of similar age, type of construction and location.

I recommend reading this report in detail and acting on all recommendations.

For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
 Location: Roof
 Finding: Debris In Gutters
 Information: Debris has been identified in the gutters. This is typically associated with leaf buildup and general environmental accumulation over time. Blocked gutters can impede proper water flow and may lead to overflow, moisture ingress, or damage to surrounding building elements. It is recommended that a suitably experienced handyman or gutter cleaning service remove debris and ensure the system is functioning correctly. Maintenance can be carried out at the owner’s discretion.



Noted Item

Building: Main Building
 Location: All Areas
 Finding: Additional Photos - Obstructions and Limitations
 Information: These photographs are an indication of the obstructions and limitations which

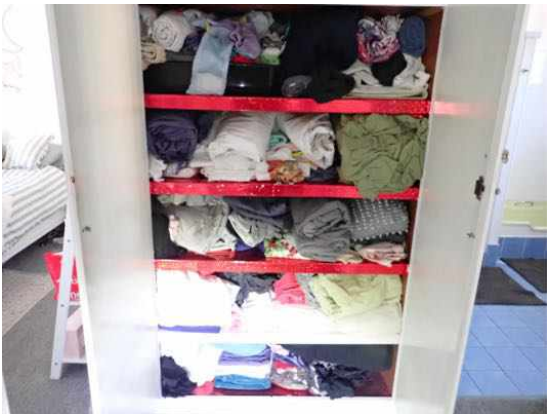
impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



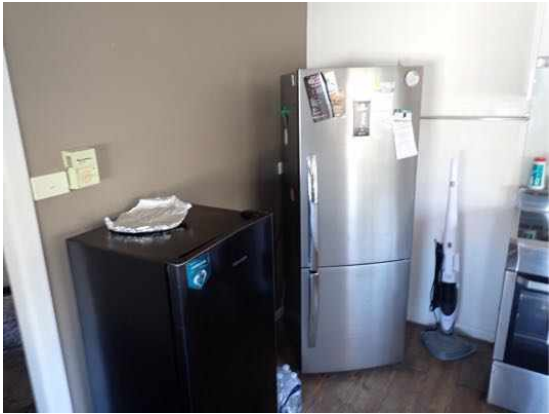
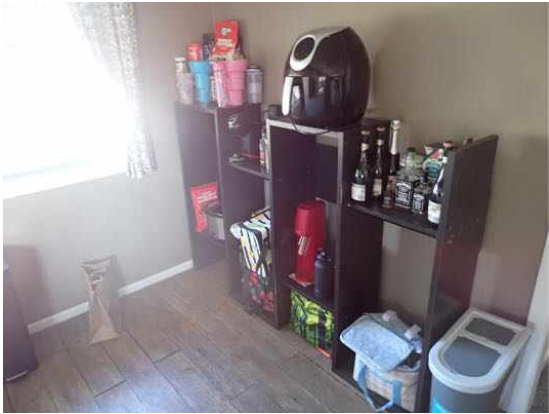


Noted Item

Building: Main Building
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



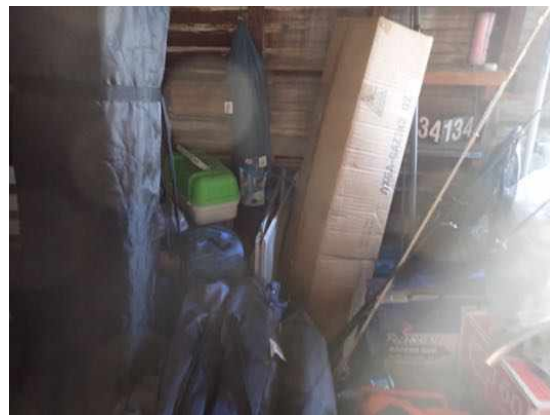


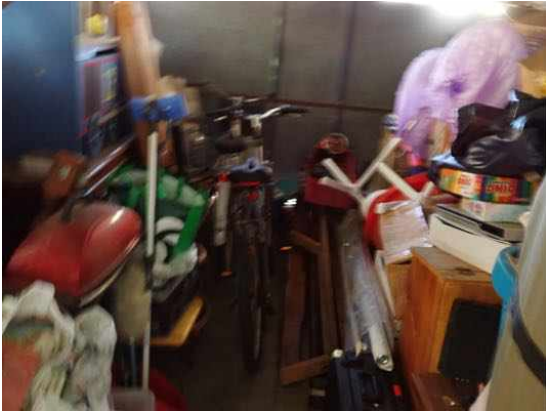




Noted Item

Building: Garage
 Location: All Areas
 Finding: Additional Photos - Obstructions and Limitations
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.