



Building and Timber Pest Inspection Report

Inspection Date: Mon, 9 Mar 2026

Property Address: 1/35 Sandy Beach Rd, Korora NSW 2450, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 9 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 1/35 Sandy Beach Rd, Korora NSW 2450, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections (Yamba)

Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

Any home built before 1990 has the potential to have been built with materials containing asbestos

The detection of asbestos containing materials is out of the scope of works for this inspection. I recommend a separate asbestos inspection and report, with samples of suspected asbestos containing materials taken and laboratory tested to, confirm or rule out the presents of asbestos.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity		✓
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is low risk in relation to susceptibility to timber pests. A termite treatment should always be considered even in a low-risk environment.

Section B General

General description of the property

Building Type	Unit
Company or Strata title	Yes
Floor	Concrete
Furnished	Furnished
No. of bedrooms	2
Occupied	Occupied
Orientation	South East
Other Building Elements	Porch, Carport, Driveway
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Internal Joinery, Skirting Boards, Window Frames
Roof	Timber Framed, Tiled
Storeys	Double
Walls	Full Brick, Rendered
Weather	Overcast

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Posts
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Roof Exterior.
- Site - Part.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- External concrete or paving
- External finished ground level
- Fixed Furniture - Built-in Cabinetry

- Floor coverings
- Furniture
- No safe point from which to access roof exterior
- Stored items
- Unsafe to Access Roof - No Fall Protection System

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Low**

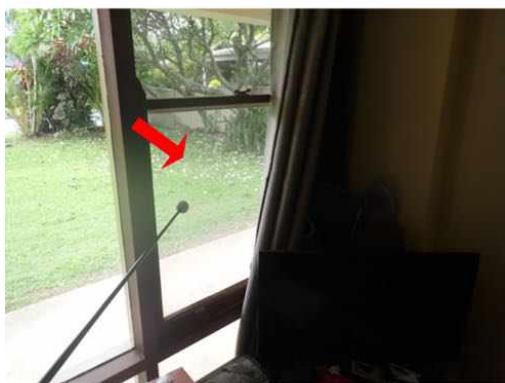
When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

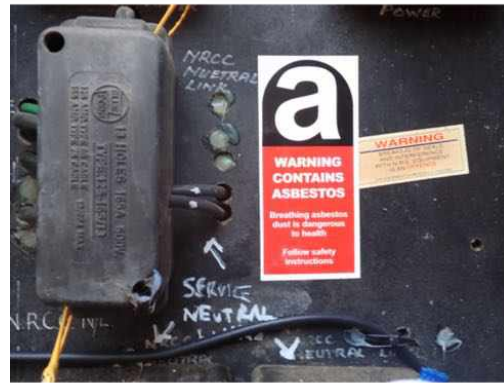
Building:	Main Building
Location:	Bedroom
Finding:	Cracked Bedroom Window Glass Pane
Information:	A crack was identified in a bedroom window glass pane at the time of inspection. Cracked glass can occur due to impact, movement of the window frame, or general deterioration and may worsen over time if not replaced. Damaged glazing can also reduce the safety and weather resistance of the window. It is recommended that a qualified glazier replace the damaged glass pane as required to restore the window to a safe and functional condition. Repairs should be carried out as soon as possible.



Finding 1.02

Building:	Main Building
Location:	Wall left hand side
Finding:	Asbestos Caution Sticker Identified Within Electrical Meter Box
Information:	Asbestos Caution Sticker Identified Within Electrical Meter Box

An asbestos caution sticker was identified within the electrical meter box at the time of inspection. The presence of this sticker may indicate that asbestos-containing materials are present within or associated with the electrical meter backing board. Disturbance of asbestos-containing materials can present health risks if fibres become airborne. It should be noted that asbestos detection and identification is outside the scope of this inspection. It is recommended that the area be treated with caution and that any works involving the meter box or surrounding materials be carried out by a suitably qualified electrician and, if required, a licensed asbestos professional. Further investigation should be carried out as deemed necessary before any disturbance of the materials.



Major Defect

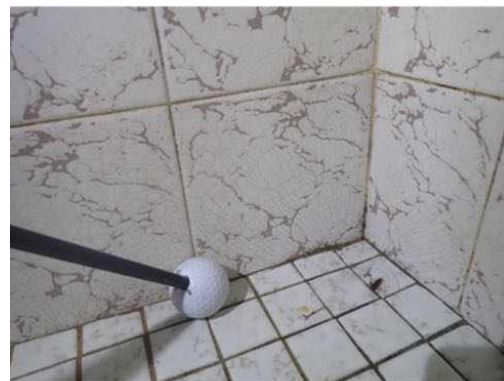
Finding 2.01

Building: Main Building

Location: Bathroom

Finding: Hairline Cracks to Multiple Wall Tiles in Shower Area

Information: Multiple wall tiles in the shower area were identified as having hairline cracks at the time of inspection. This condition is likely due to the age of the tiles and the type of tile material. Cracking to tiles in wet areas may allow moisture to penetrate behind the tiled surface which can lead to further deterioration if not addressed. It is recommended that a qualified tiler assess the affected tiles and carry out repairs or replacement as required to maintain the integrity of the tiled surface. Repairs should be carried out as deemed necessary.



Finding 2.02

Building: Main Building

Location: Wall left hand side

Finding: Rust to Electrical Meter Box

Information: Rust was identified to the electrical meter box at the time of inspection. Corrosion to

metal electrical enclosures can occur over time due to exposure to weather and moisture and may worsen if not addressed. Continued deterioration may affect the durability of the enclosure and its ability to protect the electrical components inside. It is recommended that a qualified electrician assess the meter box and carry out repairs, treatment, or replacement as required to maintain the integrity of the enclosure. Repairs should be carried out as deemed necessary.



Finding 2.03

Building:	Main Building
Location:	Rear left hand column
Finding:	Brick Removed from Rear Right-Hand Side Column
Information:	A brick was observed to have been removed from the rear right-hand side column at the time of inspection. The brick may have been removed to allow access to plumbing pipework within the column. Missing masonry elements may allow moisture, pests, or debris to enter the cavity if left unsealed. It is recommended that a qualified bricklayer or builder assess the affected area and reinstate the brick or provide an appropriate repair as required to maintain the integrity of the column. Repairs should be carried out as deemed necessary.



Finding 2.04

Building:	Main Building
Location:	Rear of building above carport
Finding:	Large Structural Crack to Concrete Beam at Edge of Carport
Information:	A large structural crack was identified to the concrete beam at the edge of the carport at the time of inspection. Cracking of this nature may indicate structural movement or deterioration of the concrete element and may affect the structural integrity of the beam if not addressed. The full extent and cause of the cracking could not be determined during the visual inspection. It is recommended that a qualified structural engineer or suitably experienced builder assess the affected beam and provide recommendations for repair or further investigation as required. Rectification works should be carried out as deemed necessary.



Finding 2.05

Building:	Main Building
Location:	Carport roof
Finding:	Water Leak Where Carport Roof Meets Concrete Deck Above
Information:	Leaking was identified where the carport roof meets the concrete deck to the unit above at the time of inspection. Water ingress at roof and deck junctions can occur due to deteriorated sealants, poor flashing installation, or defects in the roof connection and may lead to ongoing moisture damage if not addressed. The full

extent and source of the leak could not be determined during the visual inspection. It is recommended that a qualified builder or roofer assess the affected junction and carry out repairs as required to prevent further leaking. Repairs should be carried out as deemed necessary.



Finding 2.06

Building:	Main Building
Location:	Carport roof
Finding:	Rust to Metal Fixings Where Carport Roof Meets Structure
Information:	Rust was identified to the metal fixings where the carport roof meets the structure at the time of inspection. Corrosion to metal fixings can occur over time due to exposure to weather and moisture and may lead to loosening or deterioration of the roof connection if left unaddressed. It is recommended that a qualified roofer or suitably experienced handyman assess the affected fixings and carry out replacement or treatment as required to maintain the integrity of the roof connection. Repairs should be carried out as deemed necessary.





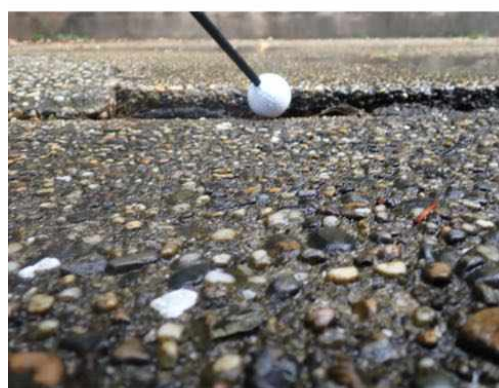
Finding 2.07

Building: Main Building
Location: Carport
Finding: Rust to Carport Roof Structure
Information: Rust was identified to the carport roof structure at the time of inspection. Corrosion to metal structural components can occur over time due to exposure to weather and moisture and may worsen if not addressed. Continued deterioration may affect the durability of the structure. It is recommended that a qualified builder, metal contractor, or suitably experienced handyman assess the affected areas and carry out cleaning, treatment, or replacement of the rusted components as required to prevent further deterioration. Repairs should be carried out as deemed necessary.



Finding 2.08

Building:	Main Building
Location:	Carport
Finding:	Step in Carport Concrete Slab
Information:	A step was identified in the carport concrete slab at the time of inspection. Changes in level within concrete slabs can occur due to ground movement, settlement, or deterioration over time and is a common defect with concrete of this age. Uneven concrete surfaces may present a trip hazard and may worsen if movement continues. It is recommended that a qualified concreter or suitably experienced builder assess the affected area and carry out repairs as required. Repairs should be carried out as deemed necessary.



Finding 2.09

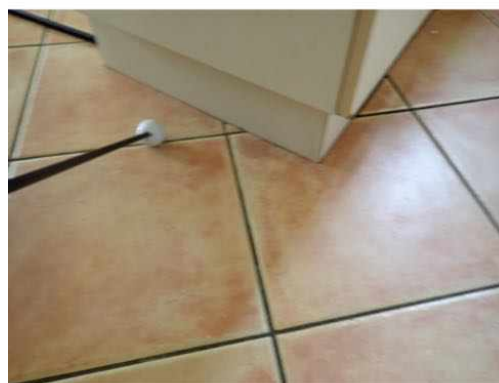
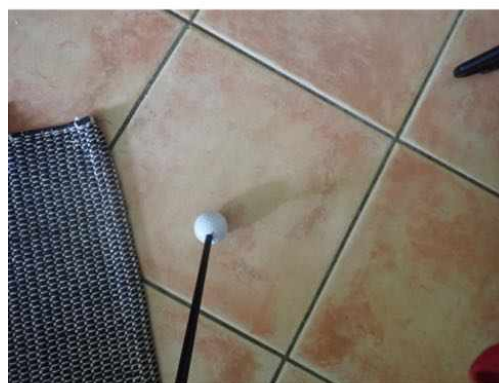
Building:	Main Building
Location:	Carport
Finding:	Major and Minor Cracks to Carport Concrete Slab
Information:	Major and minor cracks were identified to the carport concrete slab at the time of inspection. Cracking in concrete slabs can occur due to ground movement, settlement, shrinkage of the concrete, or ageing of the slab and is a common defect with concrete of this age. Larger cracks may allow moisture ingress and may worsen over time if movement continues. It is recommended that a qualified concreter or suitably experienced builder assess the affected slab and carry out repairs as required. Repairs should be carried out as deemed necessary.



Minor Defect

Finding 3.01

Building: Main Building
Location: Kitchen and entry hall.
Finding: Drummy Floor Tiles to Kitchen and Hallway
Information: Drummy floor tiles were identified around the kitchen breakfast bench and in the hallway near the bathroom at the time of inspection. In the same hallway area, missing grout and a loose tile were also observed. Drummy or loose tiles may indicate poor adhesion or movement in the substrate and may worsen over time if not addressed. Missing grout can allow moisture and debris to penetrate beneath the tiles which may contribute to further deterioration. This is a common defect with properties of this age and construction type. It is recommended that a qualified tiler assess the affected areas and carry out repairs, re-grouting, or replacement of tiles as required to prevent further deterioration. Repairs should be carried out as deemed necessary.





Finding 3.02

Building:	Main Building
Location:	Living room
Finding:	Living Room Window Screwed Shut Near Entry Door
Information:	The living room window located to the right-hand side of the entry door was observed to be screwed shut at the time of inspection. Windows that are fixed shut may indicate previous operational issues, damage, or attempts to restrict movement of the window. This condition prevents normal operation and may restrict ventilation. It is recommended that a qualified carpenter or suitably experienced handyman assess the window and carry out repairs or adjustments as required to restore normal operation if desired. Repairs should be carried out as deemed necessary.



Finding 3.03

Building:	Main Building
Location:	Living room
Finding:	Entry Security Door and Timber Door Catching on Door Sill
Information:	The entry security door and timber entry door were observed to be catching on the door sill during normal operation at the time of inspection. Doors catching on the sill may be caused by minor movement in the building, door misalignment, swelling of timber components, or general wear over time. Continued use in this condition may lead to further wear or damage to the door or sill. It is recommended that a qualified

carpenter or suitably experienced handyman assess the doors and carry out adjustments or repairs as required to ensure smooth operation. Repairs should be carried out as deemed necessary.



Finding 3.04

Building:	Main Building
Location:	Front and rear security doors
Finding:	Front Security Door Closer in Poor Condition and Rear Closer Missing
Information:	The automatic door closer to the front security door was found to be in poor condition at the time of inspection, and the door closer to the rear security door was missing. Door closers assist in ensuring doors close properly and remain secure. Missing or deteriorated closers may prevent the doors from functioning as intended. It is recommended that a suitably experienced handyman repair or replace the defective and missing door closers to ensure the doors operate correctly. Repairs should be carried out as deemed necessary.



Finding 3.05

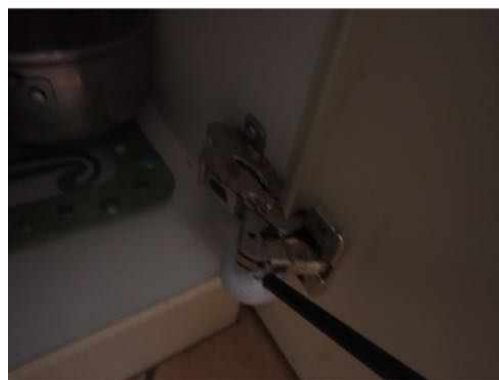
Building: Main Building

Location: Kitchen

Finding: Kitchen in Fair Condition for Age with Minor Maintenance Required

Information: The kitchen was found to be in fair condition for the age of the property at the time of inspection. Minor defects observed included deteriorated silicone around the splash back and cabinet hinges requiring adjustment. These conditions are typical maintenance items and may occur over time due to normal use and ageing of materials. It is recommended that a suitably experienced handyman carry out re-sealing of the splash back and adjust the cabinet hinges as required to maintain the condition and functionality of the kitchen. Repairs and maintenance should be carried out as deemed necessary.





Finding 3.06

Building:	Main Building
Location:	Kitchen
Finding:	Poor Tile Work Around Replaced Kitchen Window
Information:	Poor tile work was identified around the replaced kitchen window at the time of inspection. The tiles in this area appeared to be poorly finished which may affect the durability and appearance of the tiled surface. This condition may be due to previous alterations or poor workmanship during installation. It is recommended that a qualified tiler assess the affected area and carry out repairs or re-tiling as required to achieve a proper finish and help prevent further deterioration. Repairs should be carried out as deemed necessary.



Finding 3.07

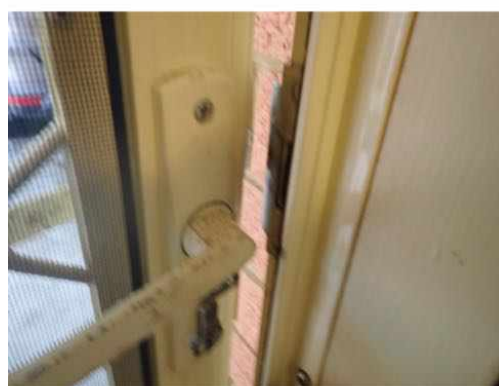
Building:	Main Building
Location:	Bedroom, bathroom and living room
Finding:	Minor Cracks in Internal Render
Information:	Minor cracks were identified in the internal rendered wall surfaces at the time of inspection. Cracking of this nature is commonly associated with minor building movement, shrinkage of materials, or general ageing of the building and is typical in properties of this age and construction type. It is recommended that a qualified plasterer or suitably experienced handyman carry out repairs to the affected areas as

required. Repairs should be carried out as deemed necessary.



Finding 3.08

Building:	Main Building
Location:	Rear security door
Finding:	Rear Security Door Lock Catching on Door Jamb
Information:	The lock to the rear security door was observed to be catching on the door jamb during normal operation at the time of inspection. This condition may be due to minor misalignment of the door or strike plate, general wear, or movement in the door frame. Continued use in this condition may lead to further wear of the locking components. It is recommended that a suitably experienced handyman adjust or repair the door and lock components as required to ensure smooth operation. Repairs should be carried out as deemed necessary.



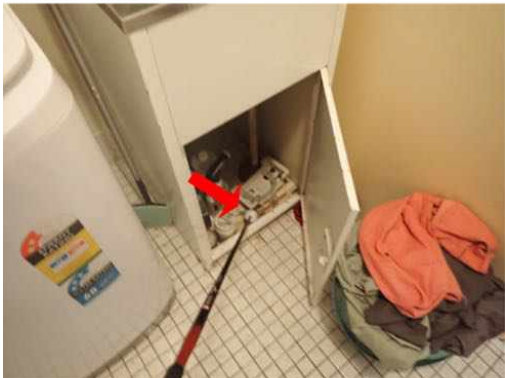
Finding 3.09

Building:	Main Building
Location:	Bathroom
Finding:	Bathroom Vanity Functional but in Average Condition with Age and Moisture-Related Deterioration
Information:	The bathroom vanity was found to be functional but in average condition at the time of inspection. Age and moisture-related damage were identified to the unit, which is common in wet areas where cabinetry is exposed to ongoing humidity and water splashing. Deterioration of this nature may worsen over time if not maintained. It is recommended that a qualified carpenter or suitably experienced handyman assess the vanity and carry out repairs or replacement of deteriorated components as required to maintain the unit and prevent further damage. Repairs should be carried out as deemed necessary.



Finding 3.10

Building: Main Building
Location: Bathroom
Finding: Surface Rust to Laundry Tub Cabinet
Information: Surface rust was identified to the laundry tub cabinet at the time of inspection. Corrosion of this nature is commonly associated with moisture exposure in laundry areas and is a common defect with this type of cabinet and age of installation. Continued exposure to moisture may lead to further deterioration over time. It is recommended that a suitably experienced handyman repair, treat, or replace the affected cabinet as required to prevent further deterioration. Repairs should be carried out as deemed necessary.



Finding 3.11

Building:	Main Building
Location:	Bathroom
Finding:	Bathroom Sliding Door Difficult to Operate
Information:	The bathroom sliding door was found to be difficult to operate during normal use at the time of inspection. Difficulty operating sliding doors can be caused by worn rollers, misalignment, debris in the track, or general wear over time. It is recommended that a qualified carpenter or suitably experienced handyman inspect the door and carry out adjustments, repairs, or replacement of worn components as required to ensure smooth operation. Repairs should be carried out as deemed necessary.



Finding 3.12

Building:	Main Building
Location:	Bedrooms
Finding:	Bedroom Wardrobes Functional but in Average Condition
Information:	The bedroom wardrobes were found to be functional but in average condition at the time of inspection. General wear and ageing of wardrobe components were noted, which is common with cabinetry of this age and type. It is recommended that a suitably experienced handyman carry out maintenance or minor repairs as required to maintain the functionality and condition of the wardrobes. Repairs should be carried out as deemed necessary.



Finding 3.13

Building: Main Building
Location: Bedrooms
Finding: Bedroom Doors Catching on Door Jambs
Information: The bedroom doors were observed to be catching on the door jambs during normal operation at the time of inspection. Doors catching on jambs can be caused by minor movement in the building, door misalignment, swelling of timber components, or general wear over time. Continued use in this condition may lead to further wear or damage to the doors or jambs. It is recommended that a qualified carpenter or suitably experienced handyman adjust or repair the doors as required to ensure smooth operation. Repairs should be carried out as deemed necessary.





Finding 3.14

Building:	Main Building
Location:	Concrete above front porch area
Finding:	Flaking Paint to Concrete Above Front Porch Area
Information:	The paint finish to the concrete above the front porch area was observed to be starting to flake at the time of inspection. Flaking paint can occur due to ageing of the coating, moisture exposure, or deterioration of the painted surface over time. Continued deterioration may lead to further loss of the protective coating. It is recommended that a qualified painter prepare the surface and reapply an appropriate paint coating as required to prevent further deterioration. Repairs should be carried out as deemed necessary.



Finding 3.15

Building:	Main Building
Location:	Screen to left hand side of front porch area.
Finding:	Rusted Nails to Timber Trims Around Front Porch Privacy Screen
Information:	Rusted nails were identified to the timber trims around the front porch area privacy screen at the time of inspection. Corrosion to fixings can occur over time due to exposure to weather and moisture and may lead to loosening of the trims if deterioration continues. It is recommended that a qualified carpenter or suitably

experienced handyman replace the rusted fixings and re-secure the timber trims as required to maintain the stability of the privacy screen. Repairs should be carried out as deemed necessary.



Finding 3.16

Building: Main Building

Location: Carport

Finding: Rusted Screw Heads to Carport Roof Cladding

Information: Multiple rusted screw heads were identified to the carport roof cladding at the time of inspection. Corrosion to roof fixings can occur over time due to exposure to weather and moisture and may lead to deterioration of the fixings if not addressed. Continued corrosion may reduce the effectiveness of the roof cladding fixings and may contribute to leaks if deterioration continues. It is recommended that a qualified roofer or suitably experienced handyman replace the rusted fixings as required to maintain the integrity of the roof cladding. Repairs should be carried out as deemed necessary.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

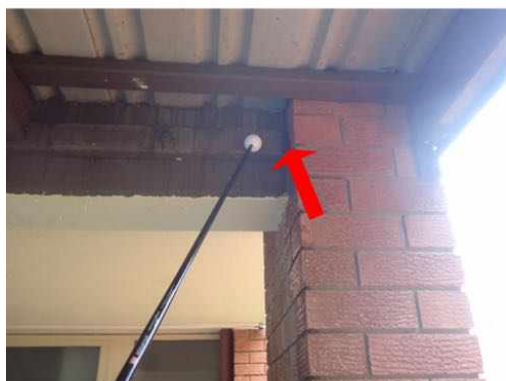
Conditions Conducive to Timber Pest Activity

No evidence was found

Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Main Building
Location:	Carport roof
Finding:	Wood Rot to Carport Timber Where It Meets Concrete Deck Above
Information:	Wood rot was identified to the carport timber where it meets the concrete deck above at the time of inspection. Deterioration of timber elements in this location is commonly associated with prolonged moisture exposure and may lead to further deterioration if not addressed. Continued decay may reduce the strength and durability of the affected timber components. It is recommended that a qualified carpenter or builder assess the affected timber and carry out repairs or replacement as required to prevent further deterioration. Repairs should be carried out as deemed necessary.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- Licensed Bricklayer
- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections
- Structural Engineer

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in fair condition when compared to buildings of similar age, type of construction and location.

I recommend reading this report in detail and acting on all recommendations

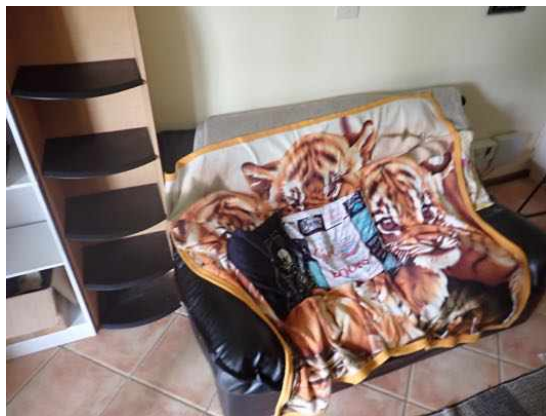
For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.