



## Building Inspection Report

Inspection Date: Thu, 12 Mar 2026

Property Address: 4/34 Barton St, Reservoir VIC 3073,  
Australia



## Contents

	The Parties
<b>Section A</b>	Results of inspection - summary
<b>Section B</b>	General
<b>Section C</b>	Accessibility
<b>Section D</b>	Significant Items
<b>Section E</b>	Additional comments
<b>Section F</b>	Annexures to this report

Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 12 Mar 2026

Modified Date: Fri, 13 Mar 2026

## The Parties

---

Name of the Client:

---

Name of the Principal(if Applicable):

---

Job Address: 4/34 Barton St, Reservoir VIC 3073, Australia

---

Client's Email Address:

---

Client's Phone Number:

---

Consultant: Peter Bozinoski Ph: 0477 120 207  
Email: Northcote@jimsbuildinginspections.com.au

---

Company Name: Jim's Building Inspections (Northcote)

---

Company Address and Postcode: Northcote 3070

---

Company Email: Northcote@jimsbuildinginspections.com.au

---

Company Contact Numbers: 0477 120 207

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in the condition documented in this report.

## Section B General

### General description of the property

Building Type	Residential, Villa
Company or Strata title	Yes
Floor	Brick Stumps or Piers, Strip Footings
Furnished	Furnished
No. of bedrooms	2
Occupied	Unoccupied
Orientation	West
Other Building Elements	Party Walls, Fence - Post and Rail Construction
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Fascias, Internal Joinery, Skirting Boards, Floorboards
Roof	Tiled, Timber Framed, Pitched
Storeys	Single
Walls	Brick Veneer (Timber Framed)
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior
- Fencing
- Roof Exterior
- Wall Exterior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Wall Exterior - where neighbouring buildings immediately adjoin.
- Subfloor.
- Roof Void due to lack of access.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

### Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Evidence of recently painted walls or ceilings
- External concrete or paving
- External finished ground level
- Fixed Furniture - Built-in Cabinetry
- Floor coverings

- Furniture
- Landscaping
- Vegetation

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

#### Defects 1.01

Building:	Main Building
Location:	All Internal Areas > All Areas
Finding:	Asbestos - Suspected ACM Identified on Site
Information:	Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.

### Major Defect

#### Defects 2.01

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Window brick sill - Cracking (Major Structural Defect)
Information:	At time of inspection, cracking was evident to various areas of the masonry window sills.

A qualified bricklayer should be consulted on how to rectify this defect. If it is found that the cause of cracking is due to foundation movement, a qualified structural engineer should be consulted.

Always contact a building inspector or engineer should cracks widen lengthen or become more numerous, even after repair works have been completed.



## Defects 2.02

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Brickwork cracking (Major Structural Defect)
Information:	At the time of the inspection, there were bricks cracked, broken and dislodged from the rear wall of the home.

Cracks of this type are likely to have been caused by movement of building elements, including movement in the foundations and may also have a structural cause that is more significant.

Consultation with a structural engineer is recommended to determine the cause of the cracking and method and cost of rectification works.

The client should attend to the above as a matter of priority.



## Minor Defect

### Defects 3.01

Building:	Main Building
Location:	All Internal Areas > All Areas

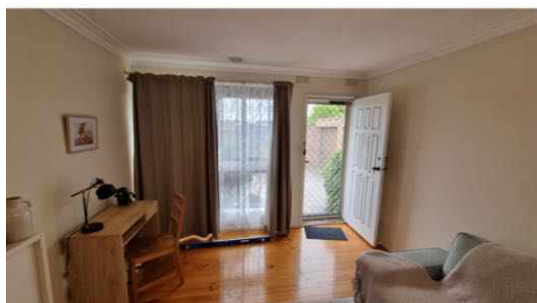
Finding: Flooring - Uneven

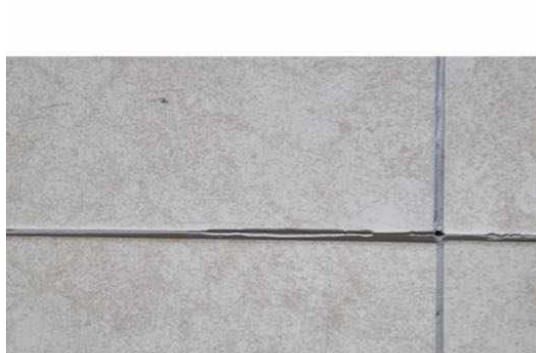
Information: The internal flooring throughout the home is out of level and uneven at time of inspection. Uneven flooring is likely to indicate minor defects such as expected movement of the foundations of the property, but may also indicate subsidence of the associated subfloor stumps.

It is advised that the flooring be closely monitored to identify any further movement. Where flooring remains relatively unchanged for an extended period of time (i.e. several months), it is likely that this defect has been caused by expected movement of the foundations of the property.

There were floor areas of the home that were more uneven than others, and it was noticeable when walking across. The kitchen and laundry floor tiles have cracked and when walking across the tiles, you can feel that the support under the tiles is compromised.

However, where flooring is uneven further, potentially invasive inspection of the subfloor structures and stumps in this area is required. In this case, works to repair are likely to be required, and would be carried out by a registered builder specialising in re-stumping.





## Defects 3.02

Building:	Main Building
Location:	All Internal Areas > All Areas
Finding:	Cracks in Plaster Wall and Ceiling
Information:	It was found that at the time of the inspection cracks were visible to the walls, window architraves, skirtings and ceiling throughout the home.

In particular of concern are the cracks below and above all window openings and internal openings. These are suspected to be a result of

Movement in the foundations and subfloor structure over a long period of time.

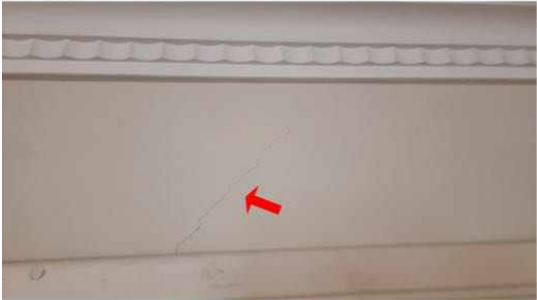
In general noticeable cracks are a common occurrence as a result of many primary defects. Such causes may include age, general wear and tear, expected building movement, general expansion/contraction of building materials in different weather conditions, and/or minor failings in the installation or application of building materials.

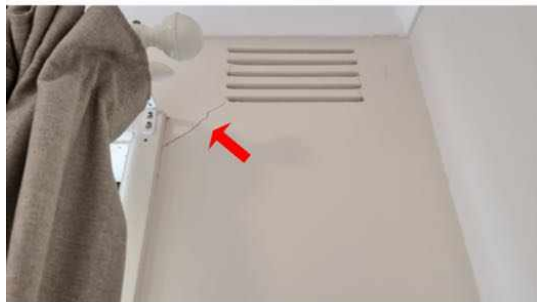
Noticeable cracks may result in minor sticking or jamming of associated doors and windows, which require easement. However, noticeable cracks are easily filled and repaired. A plasterer can be consulted to install an expansion joint at this point to allow for this movement during different weather conditions.

Monitoring of all cracking should be conducted frequently. Always contact a building

inspector should cracks widen, lengthen, or become more numerous. Additionally, your building inspector should also be contacted if associated building elements such as doors and windows become more difficult to operate over time.

Relevant tradespeople, such as carpenters, painters and plasterers, should be appointed to perform remedial works, as deemed necessary.





### Defects 3.03

Building:	Main Building
Location:	Bathroom > All Areas
Finding:	Bathroom - Shower leaking and other Minor defects
Information:	At the time of the inspection, the following defects were found,

1. the silicone around parts of the bathroom including shower has deteriorated.
2. Tiles have cracked and coming loose,
3. Grout to tiles have cracked along the wall/floor junction.
4. Moisture detected in shower walls and floor outside shower.

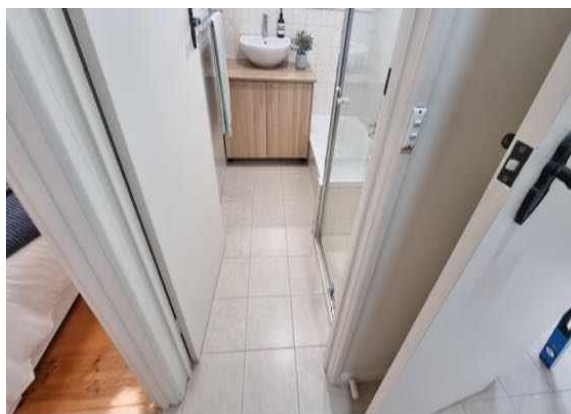
Note, the entire shower will require to be completely renovated.

The above defects are generally due to wear and tear over long period of time, and it also is a sign that building elements have moved over time causing numerous defects.

The client should seek further advice from a qualified builder to determine extent of rectification works required.

These works should be done as a matter of priority.





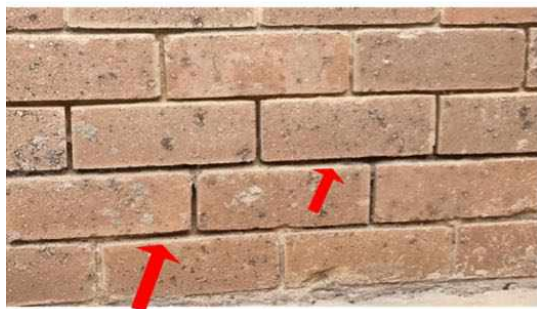
### Defects 3.04

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Brickwork - Deteriorated mortar
Information:	Mortar, or 'bedding', is the material which fills joints and intersections between bricks in masonry walls and structures.

Upon inspection of the external walls of the home, sections of mortar in the brickwork were identified as having deteriorated, which is generally expected for a property of this age and condition.

Mortar may deteriorate as a result of age of building materials, minor movement of bricks, or frequent exposure to weathering. Mortar should be replaced to ensure that bricks remain in their intended location and to prevent gaps, which would allow water or moisture ingress and secondary damage as a result.

Mortar deterioration can be addressed by a bricklayer where areas of deterioration are localised and easily accessible. Alternatively, appointment of a registered builder is advised, to repoint large areas of decaying mortar. Where secondary structural defects have become evident, consultation with a structural engineer may be required.



### Defects 3.05

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Brickwork - Crack Repairs Evident
Information:	At the time of the inspection, there were several crack repairs evident to the external wall brickwork and seems to be done to a substandard level.

Noticeable cracks are a common occurrence in external brickwork and are a likely result of age expected building movement, general expansion, and/or contraction of building materials in different weather conditions.

As crack repairs are evident, always monitor this area and contact a building inspector should cracks re-develop.



### Defects 3.06

Building:	Main Building
Location:	All Internal Areas > All Areas
Finding:	Floors - bouncy
Information:	The internal flooring throughout the home was identified as being bouncy at the time of inspection.

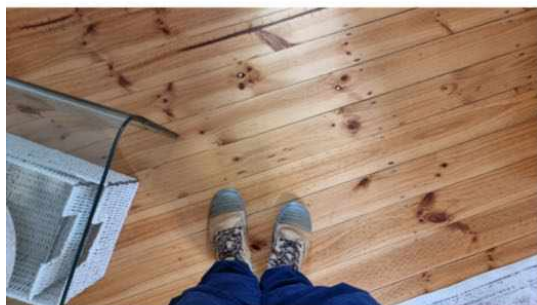
A bouncy floor surface generally presents as a discernible change in level as they are

walked across, in noisy or creaking flooring, or in consequent movement of surrounding furniture and fixtures.

Bouncy floors generally indicate that the floorboards or the subfloor structures are coming loose from the joists that they are installed on. Bouncy flooring may also be the result of gaps between flooring and stumps or joist structures, which require packing.

Note, some areas of the home indicated more 'bounce' than others.

The client is advised to seek quotations for required repairs from a Registered Builder specialising in re-stumping. The potential resolution may range from packing gaps in subfloor structures through to replacement of subfloors stumps and refixing of flooring.



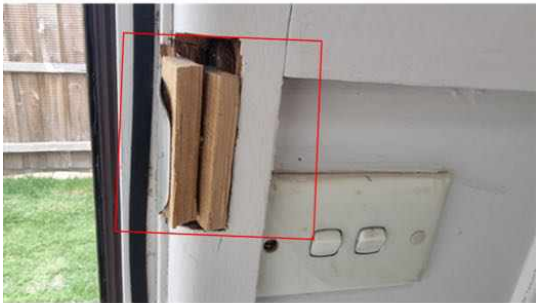
### Defects 3.07

Building:	Main Building
Location:	All Internal Areas > All Areas
Finding:	Incomplete or substandard works
Information:	The works to this area appear to be incomplete or have been completed to a substandard level.

Works that have not been completed to a satisfactory level create potential for the development of building defects and may impede on the safety and integrity of the

overall structure.

It is highly recommended that the relevant trades such as a qualified carpenter or general handy person be appointed to complete these works and ensure the safety of the area and the longevity of all associated building elements.



**Defects 3.08**

Building: Main Building  
Location: All External Areas > All Areas  
Finding: Gaps around Window  
Information: At the time of the inspection, we observed gaps around the window frames.

The window is no longer weather-tight, rain penetration and subsequent water damage is therefore likely to ensue. Insulation of the area against external weather conditions will also be compromised.

It is recommended that the above be rectified by a general handyman or sealant expert to prevent any further damage and to restore the window to a fully functional level.



### Defects 3.09

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Subfloor ventilation - Inadequate
Information:	At the time of the inspection, there was insufficient cross subfloor ventilation.

Adequate subfloor ventilation aids in preventing excessive moisture wood rot and termite activity by ensuring a dry subfloor environment.

Note, the timber floor boards internally showed elevated levels of moisture in some areas.

Where ventilation is substandard it is usually caused by factors such as failure to install adequate vents during construction subsequent building works or earth and vegetation covering over vents low subfloor clearance and items or debris in the subfloor restricting airflow.

Subfloor ventilation can be improved in most cases by addressing the causes such as exposing subfloor vents installing additional new vents installing mechanical (forced airflow) ventilation and removing debris from the subfloor.

A registered builder should be appointed as soon as possible to perform these works as necessary.

### Defects 3.10

Building: Main Building  
 Location: All External Areas > All Areas  
 Finding: Wood rot - fence  
 Information: This building element shows evidence of wood rot. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials. Contributing factors also include poor air ventilation in the area.

Wood rot is often associated with general damp problems and is evidenced by a 'musty' smell or mould and mildew occurring on surfaces. If left unmanaged, damp conditions can lead to further health problems and the decay of timbers will continue.

Early intervention and regular maintenance, particularly of exterior timbers, will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner. Replacement of affected timbers may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.



### Defects 3.11

Building: Main Building  
 Location: All Internal Areas > All Areas  
 Finding: Moisture to internal window sill  
 Information: Upon inspection of the windows throughout the home, an elevated level of moisture was detected using a moisture meter to the internal window sill.

Heavy wind driven rain would increase the chance of water ingress due to the window sill flashing not performing as per window manufactures requirements.

Where window flashing is defective, the window is no longer weather-tight, rain penetration and subsequent water damage is therefore likely to ensue. Insulation of the area against external weather conditions will also be compromised.

It is recommended that the suspected defective window sill flashing be replaced by a general handyman or sealant expert to prevent any further damage and to restore the window to a fully functional level as per the window manufacturers specifications.

It is important that the window sill flashing is rectified as soon as possible.



### Defects 3.12

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Brickwork - Cracking
Information:	At the time of the inspection, minor cracking was identified to the brick wall of the home.

Cracks of this type are likely to have been caused by minor expected movement of building elements, but may also have a structural cause that is more significant. There were also cracks appearing directly above the door where it is suspected that the brick lintel could have moved due to a number of reasons, one of which is movement in the foundations in this section due to soil moisture conditions. We also note, that the external part of the door and wall is not protected from the elements, and the rain over long period of time is suspected to have an affect on the performance of the wall.

A crack of this size may be repaired by extensive filling.

A qualified bricklayer should be contacted immediately to estimate and perform repair and restoration works. Consultation with a structural engineer may be required where structural instability is found to be the underlying cause of the cracking.

Always contact a building inspector should cracks widen, lengthen, or become more numerous.

The above works should be done as a matter of priority.



### Defects 3.13

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Downpipe - Not plumbed properly
Information:	It was observed at the time of the inspection that the downpipe has not been properly connected and seems to be blocked.

It is highly recommended that a qualified plumber be appointed to rectify downpipe installation accordingly. These works will ensure that the area remains dry and free of any secondary defects.



### Defects 3.14

Building:	Main Building
Location:	All External Areas > All Areas
Finding:	Eave lining - Water damaged
Information:	At the time of the inspection, water damage to the eaves lining was observed.

The excessive moisture present is generally an indication that the roof plumbing in this section has failed.

Where water damage is evident to the eave lining, the primary requirement is to identify and rectify the source of the leak.

A roofing plumber should be appointed as soon as possible to identify the leak and perform rectification works as necessary, ensuring the water damage is restricted.

Once the leak is repaired, consultation with relevant tradespeople, including carpenters and painters, is advised. Rectification works may include replacement of eaves lining or minor repainting, depending on the extent of the damage.

The above works should be carried out at the discretion of the client.



## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- Compared to other buildings of a similar age, the 2 bedroom unit at the time of the inspection was found to be in poor condition.

Several minor and major defects have been identified, and noted in the body of the report which will require to be addressed in a timely manner.

Several limitations and obstructions impeded the inspection and, if at all feasible, should be removed, and a further inspection should be performed. Indicative images below depict some of the obstructions and limitations encountered.

For further information, advice and clarification please contact Peter Bozinoski on: 0477 120 207

## **Section E Attachments and Further Comments**

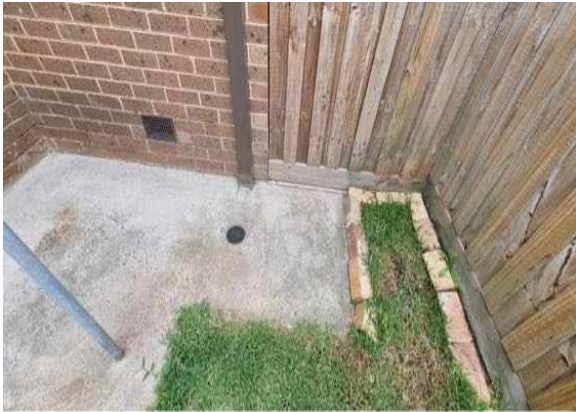
- Definitions
- Terms and Conditions

### Section D Significant Items

The following items were noted as - For your information

#### Noted Item

Building: Main Building  
Location: All External Areas > All Areas  
Finding: Additional Photos - Obstructions and Limitations  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



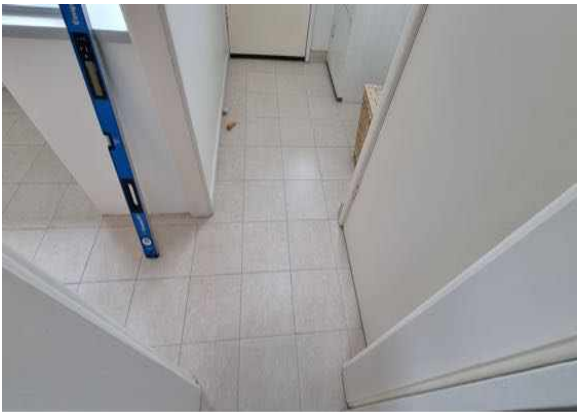


**Noted Item**

Building: Main Building  
Location: All Internal Areas > All Areas  
Finding: Additional Photos - Obstructions and Limitations  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.









### Noted Item

Building: Main Building  
Location: All Internal Areas > All Areas  
Finding: Suspected Pest damage  
Information: At time of inspection, numerous small pin holes were observed to the timber floorboards throughout the home. The pattern of holes is consistent with damage typically associated with timber borer activity.

The client is advised to engage a suitably qualified pest control contractor to further assess the timber flooring and determine whether treatment or replacement of affected boards is required. Ongoing monitoring may also be necessary.

## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

**NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

**RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.