



**BEFORE YOU BUY
BEFORE YOU BUILD**

Building and Timber Pest Inspection Report

Inspection Date: Mon, 2 Feb 2026

Property Address: 27 Royalden Cl, Boronia VIC 3155, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 2 Feb 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 27 Royalden Cl, Boronia VIC 3155, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Adam Zhang Ph: 0435 054 777
Email: Glenwaverley@jimsbuildinginspections.com.au

DB-U 100872; CDB-U 100977

Company Name: Jim's Building Inspections (Glen Waverley)

Company Address and Postcode: Vermont South 3133

Company Email: Glenwaverley@jimsbuildinginspections.com.au

Company Contact Numbers: 0435 054 777

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is High susceptible to timber pest, no durable notice were found. Timber pest management system or treatment is recommended

Section B General

General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Concrete Stumps
Furnished	Furnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	North
Other Building Elements	Fence - Post and Rail Construction, Garage, Shed, Retaining Walls
Other Timber Bldg Elements	Door Frames, Fascias, Floorboards, Skirting Boards, Weatherboards, Window Frames
Roof	Corrugated Iron (e.g. Colourbond), Pitched, Timber Framed
Storeys	Single
Walls	Weatherboards
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- The Site

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Roof Exterior - Part
- Subfloor - Part.
- Site - Part.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Areas of low roof pitch preventing full inspection
- Ceiling linings
- Debris in gutters

- Duct work
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Lack of clearance - subfloor
- No power or light globes on site
- Pipework
- Sarking
- Subfloor area - Limited access due to restrictive crawl space
- Suspected Asbestos Debris
- Vegetation
- Wallpaper or Wall Coverings
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Finding 2.01

Building: Main Building
 Location: All Areas
 Finding: floor unevenness - v4
 Information: The standard laser level was positioned 125 mm above the floor, as shown in the photo. The measured floor deviation across the room ranges from the lowest point to the highest point by approximately 30mm. Especially at the door of the laundry. 30mm per meter floor deviation.

A standard laser level was set up at approximately 125 mm above the floor, as shown in the photo. Based on the readings taken, the floor level variation across the room is approximately 30 mm from the lowest point to the highest point, with the most pronounced deviation noted near the laundry doorway. This equates to roughly 30 mm per metre of floor deviation, which is indicative of significant subfloor settlement.

In addition, within the subfloor area, extensive water damage was observed (refer photos). Evidence of prior re-stumping works was also noted, including an abandoned timber stump left within the subfloor. A visible gap was observed between the stump and the floor joist, indicating the stump is not providing correct load support. Non-compliant packing/shimming was also observed at some supports.

Based on the above, these conditions are assessed as a major structural defect and should be investigated and rectified by a suitably qualified structural engineer and licensed building practitioner as a priority.

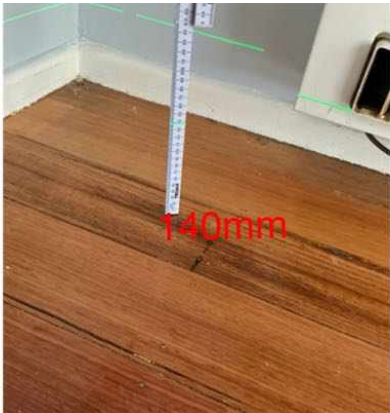
for buyers who have higher expectations regarding floor levelness or sensitivity to uneven floors, it should be noted that restumping or re-levelling can involve a considerable cost. This should be taken into account when planning the overall purchase budget.

For further information or investigation, contact a licensed builder for cost estimation and a structural engineer to assess the extent of settlement and the condition of the stumps.

Additional Note:

All laser level readings were taken on surfaces of the same material type to ensure

consistency in measurement. For example, if the laser line in the photo shows readings taken off the tile, the laser device itself was also positioned on a tiled surface during testing. This ensures that the recorded floor deviation accurately reflects level variation within that specific flooring material and area.







Minor Defect

Finding 3.01

Building: Main Building
Location: Roof Exterior
Finding: Gutter debris accumulation and inadequate drainage
Information: The gutters exhibit debris accumulation (e.g., leaves, dirt) and green organic growth (algae/moss), indicating water pooling due to inadequate drainage. This poses risks of blockages, overflow during rainfall, and potential damage to fascia boards, walls, or foundations. Prolonged moisture retention may accelerate corrosion and attract pests. Immediate action is advised: clear debris, flush gutters and downpipes, remove organic growth, and inspect gutter slope/downpipe functionality.





Finding 3.02

Building:	Main Building
Location:	Living Room
Finding:	Previous window repair
Information:	Evidence of prior repair works was observed to the window frame/sill, with cracked paint and localised deterioration consistent with timber decay. These defects are commonly associated with ongoing or past moisture ingress.

If moisture ingress is continuing, timber decay may progress and lead to reduced window performance, further water penetration, and potential damage to adjacent linings/finishes.

Have a qualified carpenter/builder (and plumber if required) investigate the moisture source (e.g., failed seals, flashing, sill junctions, external drainage) and complete repairs/replacement of affected timber and resealing as needed.





Finding 3.03

Building:	Main Building
Location:	Living Room
Finding:	Ceiling plaster
Information:	A small localised surface imperfection was observed to the ceiling finish, consistent with minor paint/plaster blemish or previous patch repair.

While currently minor, this type of defect can indicate past movement/repair or localised moisture impact and may worsen or reappear over time.

Monitor for any change. If staining, softening, or further bubbling develops, engage a qualified contractor to investigate the source (e.g., roof/water services above) and complete patching and repainting.



Finding 3.04

Building:	Main Building
Location:	Kitchen
Finding:	Tile cracks and missing sealant
Information:	Cracked/damaged tiles were observed to the splashback area adjacent to the sink, and the sealant at the wall junction (tile-to-bench/splashback junction) was missing/failed with visible gaps.

These defects can allow water to penetrate behind the tiles and into the wall/benchtop junction, increasing the risk of moisture damage to wall linings/cabinetry, mould growth, and further tile debonding.

Engage a suitably qualified tiler to replace/repair damaged tiles and reinstate a continuous sanitary-grade silicone sealant to the junctions after confirming the substrate is dry and sound.



Finding 3.05

Building:	Main Building
Location:	Kitchen
Finding:	Door stop - Missing
Information:	The door stop is missing or is inadequate to stop the door handle from damaging the wall. Although some building elements may seem irrelevant or unnecessary, all building elements play a key role in the operation and function of the overall structure and its performance.

Re-installation or replacement of the door stop is advised as soon as possible to prevent any subsequent damage to the door or associated structures. A general handyman may be appointed to perform these works at client discretion.



Finding 3.06

Building: Main Building
 Location: Laundry
 Finding: Tile cracks and missing sealant
 Information: Cracked/damaged tiles were observed to the laundry splashback area, and the sealant/finishing at the wall junctions (including around the laundry tub and tap penetrations) was missing/failed with visible gaps.

These defects can allow water to penetrate behind the tiles and into the wall/tub junction, increasing the risk of moisture damage to wall linings/cabinetry, mould growth, and further tile debonding.

Engage a suitably qualified tiler to repair/replace damaged tiles and reinstate a continuous sanitary-grade silicone sealant to all relevant junctions/penetrations after confirming the substrate is dry and sound.



Finding 3.07

Building: Main Building
 Location: Laundry
 Finding: Window - Stiff to operate
 Information: The window in this area was jammed and difficult to operate at the time of the

inspection. Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the window may also pose as a potential safety hazard if required for emergency egress from the building.

Generally, factors such as general age of the building element and a lack of maintenance are the usual causes for this type of defect.

Replacement of window hardware or frame may be required, as well as minor repairs and cleaning. A registered builder or general handy person will be required to repair the window.



Finding 3.08

Building:	Main Building
Location:	Bathroom
Finding:	Door - Binding/jamming
Information:	Binding and/or jamming of this door is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

For minor causes, a qualified carpenter or general handyperson should be appointed to perform minor rectification works at client discretion.



Finding 3.09

Building: Main Building
 Location: Bathroom
 Finding: Slightly Elevated Moisture Reading and cracked tiles
 Information: Cracked/damaged tiles were observed to the laundry splashback area, and the sealant/finishing at the wall junctions (including around the laundry tub and tap penetrations) was missing/failed with visible gaps.

These defects can allow water to penetrate behind the tiles and into the wall/tub junction, increasing the risk of moisture damage to wall linings/cabinetry, mould growth, and further tile debonding.

Engage a suitably qualified tiler to repair/replace damaged tiles and reinstate a continuous sanitary-grade silicone sealant to all relevant junctions/penetrations after confirming the substrate is dry and sound.





Finding 3.10

Building:	Main Building
Location:	Bathroom
Finding:	Visible hole- tap
Information:	A visible hole was observed in the bathroom at the tap penetration point. This opening allows water to enter the substrate, and prolonged exposure may lead to material deterioration, and mould growth.

Engage qualified handyman or damp proof specialist properly seal the opening, and ensure the area is watertight to prevent further moisture ingress and damage.



Finding 3.11

Building:	Main Building
Location:	Bedroom
Finding:	Door - Binding/jamming
Information:	Binding and/or jamming of this door is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or

deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

For minor causes, a qualified carpenter or general handyperson should be appointed to perform minor rectification works at client discretion.



Finding 3.12

Building:	Main Building
Location:	Bedroom - Master
Finding:	Door handle - Not latching
Information:	It was noted that the door in this area was not latching during operation at the time of inspection. Whilst detracting from the functionality of this building element, this minor defect may also be a security risk, and may therefore have serious implications if left unattended.

It is suspected that this defect has occurred due to minor issues with the associated hinges. Such damage is identified as general wear and tear, which is expected for building elements of this age.

A qualified carpenter or general handyperson may be appointed to perform rectification works as necessary, at client discretion. If left unattended, further functional impairment is likely to occur.



Finding 3.13

Building:	Main Building
Location:	Bedroom - Master
Finding:	Ceiling plaster crack
Information:	Ceiling plaster cracks are a common occurrence in homes. It's important to monitor them over time, as they can affect both the appearance and structural integrity of the property. If the cracks worsen, it's advisable to consult structural engineer. They can assess the situation and recommend appropriate repairs based on the specific conditions of your home.



Finding 3.14

Building:	Main Building
Location:	Eaves
Finding:	Eaves - Water stained
Information:	Water staining to the eaves in this area was evident at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. Minerals and other elements in the water can leave discolouration, which may progress to corrosion and material deterioration if left unmanaged.

While mostly an appearance defect, water staining can sometimes indicate more serious issues, such as roof or gutter leaks, which may be currently concealed by external cladding or roof coverings.

It is recommended to monitor the area over time, and if no further deterioration is observed, the surface may be repainted.



Finding 3.15

Building:	Main Building
Location:	Eaves
Finding:	Cracked eave board
Information:	Cracking was observed to the eaves/soffit lining during inspection (circled), consistent with ageing and/or minor movement to the lining at sheet joints.

Open cracks may worsen over time, leading to further lining deterioration and increased maintenance requirements.

Have a suitably qualified contractor assess the eaves lining, repair/replace affected sections as required, and seal and repaint to maintain weather protection (including checking adjacent guttering/roof drainage for any leak sources).



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

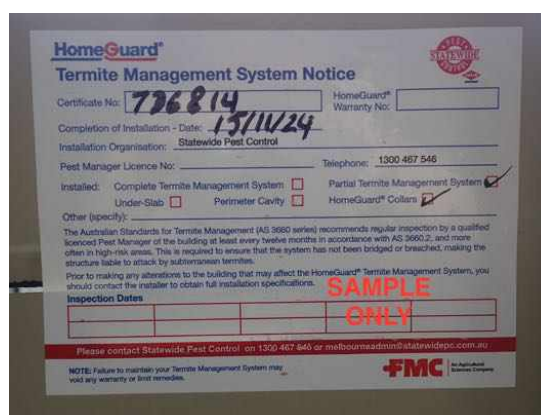
Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Main Building
Location:	Electrical switchboard
Finding:	Termite Management System - no evidence of a chemical installation
Information:	The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



Finding 6.02

Building:	Main Building
Location:	All Areas
Finding:	Stored timbers - subfloor space or external area
Information:	The storing of timbers in the subfloor space or around the external property (including bark mulch) increases the risk of termite activity being present. As they are likely to come into contact with weather conditions or excessive moisture wood rot is likely to develop on timbers that are not treated.

It is highly recommended that any stored timbers be immediately removed from areas in which they may attract any termite / timber pest attack. Minimisation of risk / prevention of termite attack is far more adequate than dealing with the presence of

termite activity.



Finding 6.03

Building: Main Building
Location: Hot water/aircon unit(s)
Finding: The air conditioning overflow pipe is not properly connected and discharges directly into the soil adjacent to the building.
Information: This creates a conducive condition for termite activity by providing a constant moisture source near the structure. It may also lead to soil erosion, mould growth, or damage to nearby building materials.

The overflow should be redirected to an appropriate discharge point—such as a stormwater connection or designated drainage area—away from the building foundation, in accordance with plumbing and termite management standards.



Finding 6.04

Building: Yard
 Location: Yard
 Finding: Large trees/stumps within 30m of house
 Information: There are a number of large trees/stumps within 30m of the house which may contain natural termite activity. It is important to monitor these areas to ensure no natural activity is allowed to progress into the main house.

Regular inspections are recommended. Consider test drilling any large trees.

A pest controller can be contacted to carry out such testing at the owners discretion.



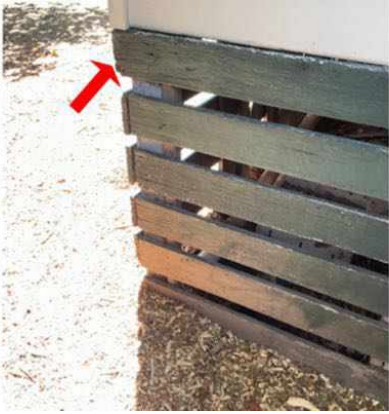


Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Yard
Location:	Yard
Finding:	Wood rot-external timbers
Information:	Wood rot which is technically known as Fungal Decay occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering in the long term or the pooling of water or absorbed moisture from other abutting building materials. It is advisable to remove these affected timbers to prevent any chance of attack in the future.

Wood decay is more susceptible to termite attack and these timbers should be replaced to limit termite attack.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Damp Proofing Specialist
- Licensed Plumber specialising in Roof Plumbing
- Licensed Plumber
- Registered/Licensed Builder
- Structural Engineer
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- Overall, the property is in fair condition for its age and construction, with both major and minor defects identified. The most significant issue relates to subfloor movement/settlement, supported by floor level measurements showing approximately 30 mm variation (about 30 mm per metre), most pronounced near the laundry doorway, together with extensive subfloor water damage and evidence of prior re-stumping works where some supports are not providing correct load support. This condition is assessed as a major structural defect and should be treated as a priority item.

No safety hazards were identified at the time of inspection. Key additional findings included cracked eave lining and areas of water staining to eaves (which can indicate moisture exposure and may be associated with roof/gutter leakage), and a laundry window that was jammed/stiff to operate, which may affect ventilation and could be a concern if needed for emergency egress.

Cause-and-effect relationships noted include: moisture and water management issues contributing to staining/deterioration of building elements and subfloor water damage contributing to settlement and ineffective support conditions. The inspection also identified conditions conducive to timber pest activity, including no evidence of an installed termite management system, stored timbers near/under the home, and an air-conditioning overflow pipe discharging into soil adjacent to the building (creating a moisture source near the structure).

Recommended order of action, based on the report's defect statements:

- Priority: Engage a structural engineer and licensed building practitioner to investigate and rectify the

major structural defect (floor deviation/subfloor settlement, water damage, and ineffective/incorrect supports).

- Short-term: Address moisture/drainage contributors (including engaging a licensed plumber/roof plumber as applicable), and rectify the air-conditioning overflow discharge away from the building.
- Maintenance/repairs: Repair/replace and reseal cracked eaves lining and monitor/maintain areas of eaves staining (including checking adjacent guttering/roof drainage).
- Operational items: Repair the jammed laundry window (hardware/frame repairs as required).
- Timber pest risk reduction: Consider advice from a licensed pest controller regarding termite management, and remove stored timbers/decayed timbers as noted.

Major limitations applied during the inspection, with several areas partly inaccessible (including parts of the ceiling cavity, roof exterior, subfloor, and site), and multiple obstructions (e.g., debris in gutters, limited subfloor clearance, insulation, fixed furniture, floor coverings, vegetation). The report assesses the risk of undetected defects as High due to access restrictions and obstructions.

For minor defects and additional items, please refer to the body of the report, as the report should be read in its entirety. Further specialist inspections recommended in the report include (as applicable): damp proofing specialist, licensed plumber (including roof plumbing), registered/licensed builder, structural engineer, and termite/timber pest technician.

For further information, advice and clarification please contact Adam Zhang on: 0435 054 777

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building

Location: Roof Void

Finding: Roof void timber condition.

Information: At the time of inspection, the majority of roof void timbers were observed to be in generally acceptable condition when considered against the age of the property. Isolated timbers exhibited darker staining/discolouration, which may indicate past or active moisture ingress. No significant timber decay, softening, or wood rot was identified within the accessible roof void areas at the time of inspection. It is recommended that the client monitor the stained timbers during and after periods of heavy rainfall to confirm there is no ongoing moisture ingress and to help maintain the roof structure in a sound condition.

Insulation in roof void are in acceptable condition.





Noted Item

Building: Main Building
 Location: Cabinetry plumbing
 Finding: For your information
 Information: Cabinetry plumbing - No leaks evident

All cupboards where sinks and basins with drainage plumbing were inspected and no evidence of leaks were present at the time of inspection.

If damp or wet conditions do occur there are many consequences including the development of fungal decay and/or wood rot, swelling or water damage to building materials.

For your information only no remedial works are required at the time of inspection.

NOTE: Please be aware that although cupboards have had a thorough inspection, obstructions in cupboards may conceal potential water damage, prevent a full inspection and conditions can change after the initial inspection was carried out, therefore damage may be found after obstructions are removed.



Section D Significant Items

Undefined Defects

Noted Item

Building: Main Building
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible. Arrows and highlights have been included to identify minor defects. The purchaser can discuss further with the building inspector.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.