



Building Inspection Report

Inspection Date: Mon, 12 Jan 2026

Property Address: 84 Crole Dr, Warragul VIC 3820, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 12 Jan 2026

Modified Date: Thu, 15 Jan 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 84 Crole Dr, Warragul VIC 3820, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Mohamed Khattab Ph: 0477 660 118
Email: Berwick@jimbuildinginspections.com.au

Engineers Australia 10472010

Company Name: Jim's Building Inspections (Berwick)

Company Address and Postcode: Pakenham 3187

Company Email: Berwick@jimbuildinginspections.com.au

Company Contact Numbers: 0477 660 118

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	

Overall Condition

In summary, the building, compared to others of similar age and construction is in fair condition with maintenance items required.

Section B General

General description of the property

Building Type	Residential, Detached
Company or Strata title	No
Floor	Slab on ground
Furnished	Furnished
No. of bedrooms	4
Occupied	Occupied
Orientation	South West
Other Building Elements	Driveway, Garage, Fence - Post and Rail Construction
Other Timber Bldg Elements	External Joinery, Doors, Door Frames, Internal Joinery, Window Frames, Weatherboards, Skirting Boards
Roof	Pitched, Timber Framed, Tiles
Storeys	Single
Walls	Brick Veneer (Timber Framed), Timber Framed and Clad
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Roof Exterior - Part
- Roof Void - Part
- The Site
- Wall Exterior
- Exterior
- Interior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Site - Part.
- Roof Exterior - Part
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment

- Duct work
- Ceiling linings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Rugs
- Stored items
- Wallpaper or Wall Coverings
- Wall linings

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Defects 3.01

Building:	Main Building
Location:	All External Areas
Finding:	Gaps Around External Window Frames
Information:	Multiple gaps were identified between the external window frames and the adjoining brickwork across several elevations. These gaps appear to be the result of either poor or inconsistent sealant application during installation, or deterioration of the original sealant over time.

Unsealed or poorly sealed gaps can allow moisture ingress, wind-driven rain, draughts, and provide potential entry points for pests. Ongoing exposure to moisture may also contribute to internal dampness and premature deterioration of surrounding building elements.

A qualified handyman or registered builder should apply a consistent, waterproof, flexible exterior-grade sealant around all affected windows to ensure adequate weatherproofing and protection against moisture and pest entry.





Defects 3.02

Building:	Main Building
Location:	Right hand side yard
Finding:	Site drainage - Inadequate
Information:	The site drainage in the front yard/RHS corner was found to be inadequate at the time of inspection, creating potential for subsequent water damage to associated building elements.

It is important that water does not lie against the base of walls; surrounding paths and ground levels should be sloped to drain water away from walls. Downpipes should not discharge stormwater onto lower walls or plinths. Stormwater should be carried away by large, regularly cleaned drains. Ground levels may need to be lowered to expose a buried DPC.

Where site drainage is inadequate, installation of an Agricultural (Aggie) Drain may be required. A qualified plumber should be appointed to further inspect the property and perform any remedial works as necessary. Water damage and secondary defects are likely to occur if left unmanaged.



Defects 3.03

Building:	Main Building
Location:	Yard - RHS
Finding:	Incomplete Sealing Around Pipe Penetration – Right-Hand Side Yard
Information:	Upon visual inspection, we found that the pipe HWS penetration through the external brick wall in the right-hand side yard has not been properly sealed. There are visible gaps around the pipe, exposing the internal wall cavity to potential water ingress, pest entry, and further deterioration of the surrounding materials.

If left unaddressed, moisture intrusion could lead to structural damage, including brick deterioration and internal dampness. Additionally, unsealed penetrations can provide an entry point for pests.

We recommend engaging a handyman or a caulking contractor to properly seal the penetration with a suitable weatherproof material and repair any affected brickwork to prevent further issues.



Defects 3.04

Building:	Main Building
Location:	Toilet (WC)
Finding:	Non-Operational WC Door Lock

Information: The WC door lock is not functioning, preventing proper locking and privacy. The issue may be due to misalignment, or internal wear within the locking mechanism.

A faulty door lock compromises privacy and security, which is particularly important in a bathroom setting. If not addressed, the issue could worsen, potentially leading to difficulty in opening or closing the door.

A qualified handyman should inspect the lock to repair the lock accordingly as required to restore proper functionality.



Defects 3.05

Building: Main Building

Location: Ensuite

Finding: Shower - Damp

Information: Damp is evident to the lower 300mm of wall to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area, which shows evidence of deterioration. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp.

Unmanaged damp in the shower recess is likely to facilitate the formation and development of mould and fungi growth, decaying associated building materials and compromising their structural integrity. It is important to address damp conditions, as the World Health Organisation notes that excess moisture leads - on almost all indoor materials - to growth of microbes such as moulds, fungi and bacteria, which subsequently emit spores and other matter into the indoor air. Exposure to these contaminants is associated with a wide range of respiratory and other health-related problems.

Consultation with a qualified plumber or bathroom specialist is advised immediately to

identify the cause of damp and to perform remedial works as required. Where excessive mould growth is present, further inspection by a specialist environmental health inspector should also be considered.

Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.



Defects 3.06

Building:	Main Building
Location:	Bathroom 2
Finding:	Shower screen - Leaking
Information:	Leaking was evident to the 2nd bathroom's shower screen at the time of inspection. It is suspected that the leaking has occurred as a result of deteriorated or missing caulking to the shower or general ageing of the building elements.

Leaking from the shower where left unattended, is likely to lead to water damage to adjoining flooring and walls. Such damage can lead to water damage and necessitate extensive remedial works being required. Active water leaks may also create an environment that is susceptible to the formation and development of mould.

Appointment of a caulking contractor is required to repair or replace the caulking to the shower area. Such works should be performed as soon as possible to ensure that no further damage occurs.



Defects 3.07

Building: Main Building
Location: All Internal Areas
Finding: Flyscreens - damaged
Information: Upon visual inspection, we found that the some of the internal fly screens are damaged. This condition could compromise insect protection and allow pests to enter through the open window, potentially affecting indoor comfort and hygiene. We recommend engaging a qualified tradesperson to repair or replace the damaged flyscreen at the earliest convenience to restore its functionality.



Defects 3.08

Building: Main Building
Location: Ensuite - Master
Finding: Insufficient Shower Floor Gradient – Ensuite Bathroom
Information:

During the inspection, it was observed that the ensuite shower floor has a formed slope; however, the gradient is insufficient. As a result, water was noted to pool on the shower floor after use rather than draining completely toward the waste outlet.

An insufficient shower floor gradient can result in standing water, which increases the risk of mould growth, water staining, and accelerated deterioration of grout and sealants. Over time, this condition may contribute to moisture ingress and potential damage to the subfloor structure and adjacent finishes, in addition to creating a potential slip hazard.

It is recommended that the client maintain the shower area in a dry condition after use, including wiping down excess water, to help protect the grout and waterproofing.





Defects 3.09

Building:	Main Building
Location:	RHS yard
Finding:	Cracking - External Concrete Paving Damage Category 1 - Fine (less than 2mm)
Information:	Fine cracks were identified in external concrete paving. Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage. To be considered a Category 1 or fine crack, the crack is found to be less than 2mm in width.

Generally the cause of a hairline crack in existing concrete paving such as driveways and pathways is indicative of the expansion and contraction of the concrete. Such causes are generally due to environmental factors, such as moisture levels, weather conditions, root systems of nearby trees or the soil types on which they are laid.

Fine cracks may also be due to poor original installation of the concrete. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.



Defects 3.10

Building: Main Building
 Location: Garage
 Finding: Noticeable cracks in concrete slab of the the garage floor
 Information: During the inspection, multiple noticeable cracks were identified in the concrete slab of the garage floor. These cracks vary in size and location, which may indicate underlying movement or stress within the slab. While they do not currently appear to significantly impact the structural integrity, their presence suggests potential early-stage deterioration.

It is recommended that the cracks be monitored closely over the next 12 months. If any of the cracks widen or worsen during this period, it is critical to engage a structural engineer immediately to assess the situation and recommend appropriate rectification measures to prevent further damage and ensure the long-term stability of the structure.



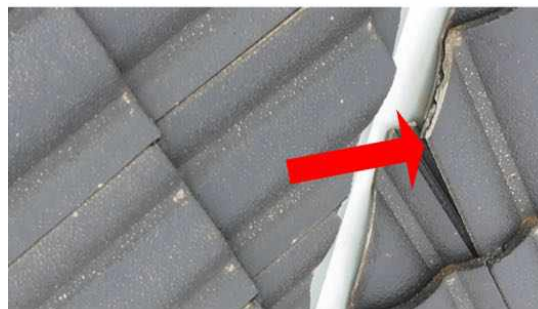
Defects 3.11

Building: Main Building
 Location: Roof Exterior
 Finding: Roof tiles - Broken
 Information: Upon inspection of the exterior roof covering, broken roofing tiles were identified. Broken and friable roof tiles are generally the result of ageing and weathering of what is essentially a porous material.

If left to further deteriorate, broken and brittle roof tiles are likely to lead to water penetration via the roof into the ceiling space, causing secondary damage to ceiling linings, insulation and roof structures. Broken roof tiles are also likely to detract from the effectiveness of the roof drainage system, creating potential for secondary damage to the exterior roof covering and roof plumbing.

Replacement of broken tiles is required and should be performed by a roofing contractor as soon as possible.





Defects 3.12

Building:	Main Building
Location:	All External areas
Finding:	In Ground Contact - Conducive Conditions to timber pest activity
Information:	Any timbers in direct ground contact provide an opportunity for concealed termite entry and are likely to be subject to premature rot and decay due to soil retaining moisture or creating damp conditions against the timber surfaces.

Untreated timber in direct contact with the external ground should be removed. Consider replacing with more durable materials, such as appropriately treated timber or non-timber elements, to reduce the risk of decay and termite attack.

Frequent pest inspections by a licensed pest control technician are recommended to readily identify any termite activity in these areas and ensure early intervention if required.



Defects 3.13

Building:	Main Building
Location:	All External areas
Finding:	Bridging Attachments to the Building - Conducive Conditions to timber pest activity
Information:	Bridging occurs when items fixed or placed against a building create concealed

pathways for termites to bypass any existing termite management system and gain access to the structure undetected. Typical bridging elements include attachments such as hot water services, downpipes, verandahs, decks, steps, fences, and service conduits, where insufficient clearance exists between these elements and the building structure.

Where attachments are not isolated and do not maintain a clear inspection gap of at least 25mm from the building, they create a potential risk of concealed termite entry. Such concealed pathways compromise the effectiveness of any termite management system in place.

It is recommended that these areas be regularly inspected by a licensed and qualified pest inspector. Where bridging is identified, modifications should be made to restore adequate clearance or install appropriate barriers to mitigate the risk of concealed termite ingress.



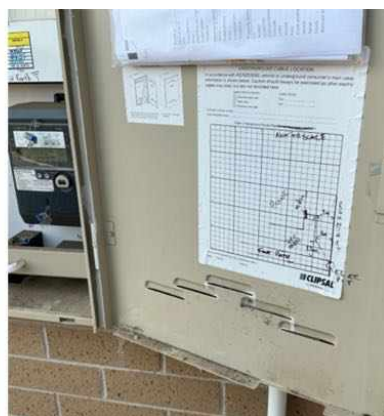


Defects 3.14

Building:	Main Building
Location:	All external areas
Finding:	Termite Management System - no evidence of a chemical installation - Conductive Conditions to timber pest activity
Information:	At the time of inspection, there was no evidence to indicate that a previous or current termite management (protection) system has been installed at the property. No durable notice was observed within the electrical switchboard or elsewhere on site to confirm the presence of any chemical or physical termite protection measures. Additionally, there were no visible indicators to suggest that preventative termite treatments or barriers have been applied in the past.

The absence of a termite management system leaves the property vulnerable to potential termite attack, which could lead to significant damage to timber building elements if left unaddressed.

It is highly recommended that the client consult with a licensed pest controller regarding the installation of a post-construction chemical termite barrier. Such systems are proven to be effective in preventing termite ingress and should be considered a priority, particularly where no existing protection is in place. A durable notice confirming the installation of any future system should be affixed within the switchboard in accordance with AS 3660.



Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

-

Upon inspection, the four-bedroom dwelling was found to be in fair condition relative to other buildings of a similar age. However, multiple maintenance defects were identified throughout the property, as detailed within this report, and these require timely attention to prevent further deterioration or the development of more substantial issues. Prompt repair and maintenance will assist in preserving the overall condition and performance of the dwelling.

No Liver termites were identified at the time of inspection. The property is considered moderately susceptible to timber pest activity. No termite treatment notice was located in the meter box, and no evidence of an active or current termite management system was identified on-site. A qualified termite specialist should be engaged without delay to install a new, compliant termite protection system and to implement an annual inspection program in accordance with current standards.

It is strongly recommended that the client engage the appropriate qualified tradespeople, as outlined in the defect statements, to carry out the necessary repairs and maintenance as soon as possible.

Several obstructions and inspection limitations were present at the time of assessment, restricting access and visibility in certain areas. These limitations affected the ability to conduct a fully comprehensive inspection. The client is advised to remove these obstructions and arrange a follow-up inspection to ensure that all areas of the property can be thoroughly assessed.

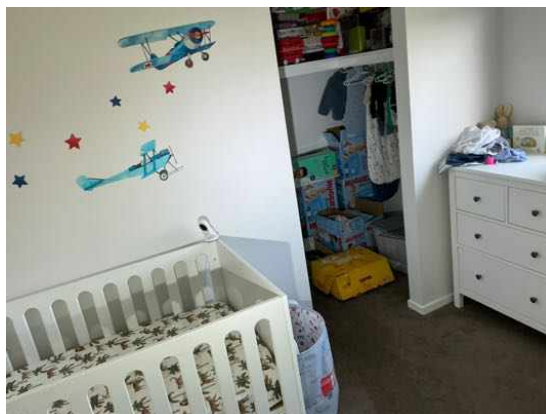
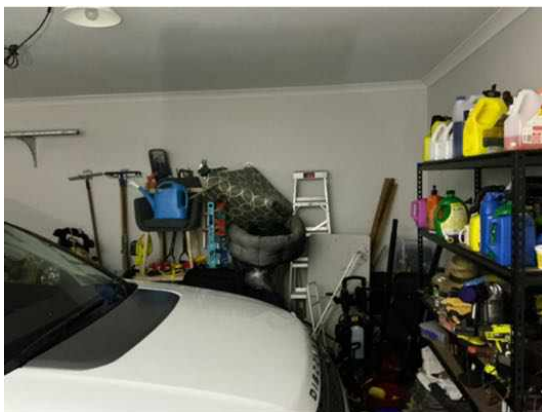
For further information, advice and clarification please contact Mohamed Khattab on: 0477 660 118

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
 Location: All Internal Areas
 Finding: Obstructions and Limitations - Interior
 Information: These photographs are an indication of the obstructions and limitations which impeded the inspection of the internal areas of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



Noted Item

Building: Main Building
 Location: All External Areas
 Finding: Obstructions and Limitations - Exterior
 Information: These photographs are an indication of the obstructions and limitations which impeded the inspection of the external areas of the property at the time of inspection.

These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



Noted Item

Building: Main Building
Location: Roof Void
Finding: Obstructions and Limitations - roof cavity
Information: photographs illustrate the obstructions and limitations that impeded the inspection of the roof cavity area of the property at the time of inspection. The access hole was particularly small, measuring approximately 35cm, which is below the minimum size required by Australian Standard AS4349.1. Such obstructions can conceal a range of defects and should be removed to allow a full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not a pest report. As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.