



Building and Timber Pest Inspection Report VR

Inspection Date: Tue, 17 Mar 2026

Property Address: 263 Prince St, Grafton NSW 2460, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 17 Mar 2026

Modified Date: Wed, 18 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 263 Prince St, Grafton NSW 2460, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

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Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

This inspection is only a visual inspection and multiple areas through out the building are not able to be inspected. Live timber activity and further damage maybe located in these areas. A further invasive inspection is recommended to gain a better understanding of the buildings condition and to the extent of any timber pest activity.

Any home built before 1990 has the potential to have been built with materials containing asbestos

The detection of asbestos containing materials is out of the scope of works for this inspection. I recommend a separate asbestos inspection and report, with samples of suspected asbestos containing materials taken and laboratory tested to, confirm or rule out the presents of asbestos.

Any out building, sheds or carports are not included in this inspection. Inspection of these areas is recommended once they are clear and accessible.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage		✓
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program	✓	

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Timber with concrete areas, Timber with hardboard areas, Masonry Foundations
Furnished	Furnished
No. of bedrooms	3
Occupied	Occupied
Orientation	South East
Other Building Elements	Driveway, Fence - Brick, Fence - Perforated Materials / Wire Mesh, Fence - Post and Rail Construction, Footpath, Shed
Other Timber Bldg Elements	Architectural Trims, Architraves, Deck, Door Frames, Doors, Eaves, Fascias, Floorboards, Internal Joinery, Landscaping Timbers and Construction, Porch / Patio, Skirting Boards, Stair Railing, Staircase, Weatherboards, Window Frames, Timber Wall Panelling
Roof	Timber Framed, Corrugated Iron (e.g. Colourbond)
Storeys	High-Set
Walls	Full Brick, Rendered, Weatherboards, Timber Framed and Clad
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Interior
- Posts
- Roof Exterior - Part
- The Site
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Carport due to lack of access.
- Ceiling Cavity.
- Locked Sheds or Outbuildings.
- Roof Exterior - Part
- Roof Void due to lack of access.
- Site - Part.
- Subfloor.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible

areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was obstructed by 100% due to excessive heat and related OHS procedures preventing entry to this area. A reinspection is strongly recommended when it is safe to enter this area.
- Ceiling linings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- No safe point from which to access roof exterior
- Overhanging vegetation
- Patio
- Rugs
- Stored items
- Stored items, built in cabinetry, furniture and personal items obscured approximately 50% of every room.
- Subfloor was not able to be inspected - there was no access to this area.
- Vegetation covered approximately 25% of the area for inspection.
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and

conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

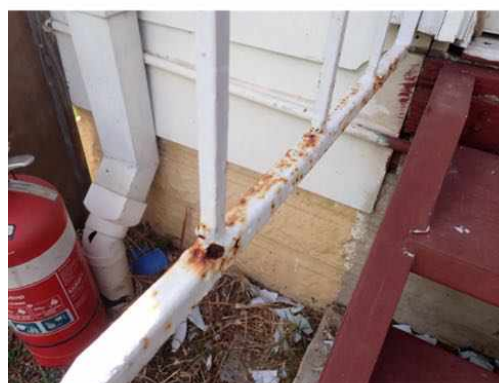
When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

Building:	Main Building
Location:	Rear of building
Finding:	Rear Handrail – Poor Condition with Rust and Instability
Information:	The rear handrail was found to be in poor condition, with rust identified and the structure noted as unstable at the time of inspection. The condition is consistent with age, weathering, and lack of maintenance, and may result in further deterioration if not addressed. In plain English, the rear handrail is rusty and not secure. A licensed builder or suitably qualified tradesperson should assess and carry out repairs as required, which may include repair or replacement of affected sections and re-fixing to ensure stability. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken as soon as possible.



Major Defect

Finding 2.01

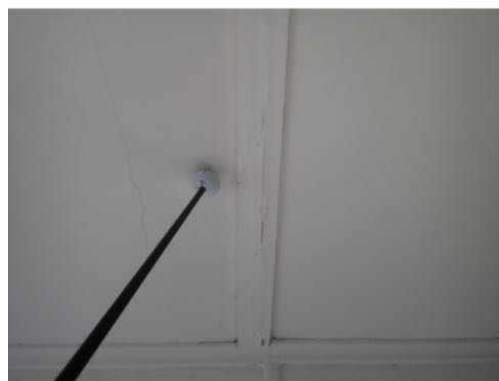
Building:	Main Building
Location:	Laundry
Finding:	Laundry Floor – Section of Tiled Area Replaced with Plywood
Information:	A section of the laundry floor tiled area has been removed and replaced with plywood flooring. The modification appears inconsistent with surrounding finishes and may indicate previous repairs or alterations. Further invasive investigation is recommended to gain a better understanding of why the tiled flooring was removed and replaced with plywood and to assess the condition of the underlying structure and materials. In plain English, part of the tiled laundry floor has been taken out and replaced with timber sheeting, and more investigation is needed to find out why. A licensed builder or

flooring contractor should assess the area and carry out repairs as required, which may include reinstating appropriate flooring and ensuring the substrate and waterproofing (if applicable) are adequate for a wet area. Ensuring suitable materials and finishes are used will assist in preventing deterioration and moisture-related issues. Maintenance and repairs should be undertaken where considered necessary.



Finding 2.02

Building:	Main Building
Location:	Laundry
Finding:	Laundry Ceiling Damage – Cracking and Dropping
Information:	Damage was identified to the laundry ceiling, including visible cracking and areas of sagging/dropping. This may be indicative of moisture ingress, material deterioration, inadequate fixing, or structural movement and is a common defect with a home of this age. In plain English, the laundry ceiling is cracked and starting to sag. A licensed builder should assess and carry out repairs as required. Further investigation is recommended to determine the cause and extent of the damage, with repairs to be completed accordingly. Prompt repairs and maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken at the owners discretion.

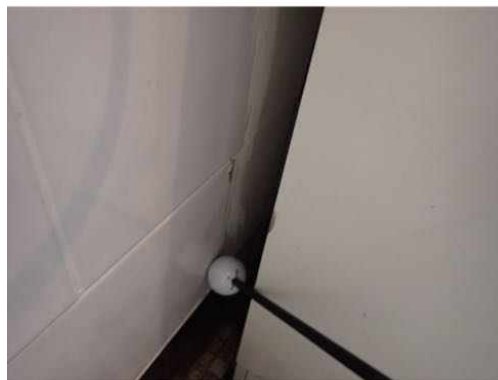




Finding 2.03

Building:	Main Building
Location:	Bathroom
Finding:	Bathroom Vanity Not Secured to Wall and Waste Pipe Poorly Installed
Information:	The bathroom vanity was found not to be adequately secured to the wall, and the associated waste pipe was poorly installed at the time of inspection. This may result in movement during use and could lead to leaks or damage to surrounding materials. In plain English, the vanity is loose and the waste pipe underneath has been installed poorly. A licensed plumber should assess and rectify as required, which may include securing the vanity to the wall and reinstalling the waste pipe using appropriate fittings and methods. Proper installation and maintenance will assist in preventing movement,

leaks, and further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 2.04

Building:	Main Building
Location:	Fascia boards
Finding:	Fascia Boards – Wood Rot and Deteriorated Paint Identified at Multiple Locations
Information:	Wood rot and deteriorated paintwork were identified to the fascia boards at multiple locations. This condition is typically caused by prolonged exposure to moisture, weathering, and lack of maintenance, and is a common defect with a home of this age. Deterioration of fascia boards may affect their structural integrity and ability to support roof drainage components. In plain English, sections of the timber along the roof edge are rotting and the paint is worn. A licensed builder or carpenter should assess and carry out repairs as required, which may include removal and replacement of affected sections and repainting/sealing to protect against further deterioration. Ongoing maintenance will assist in preventing recurrence. Maintenance and repairs should be undertaken where considered necessary.



Finding 2.05

Building: Main Building
Location: Gutters
Finding: Gutters – Rust and Deteriorated Paintwork with Limited Inspection
Information: Rust and deteriorated paintwork were identified to the gutters. The condition is consistent with age, weathering, and lack of maintenance and may lead to further corrosion and reduced service life if not addressed. Inspection of the gutters was limited due to height restrictions at the time of inspection. In plain English, the gutters are rusty and the paint is worn, and they could not be fully checked due to access limitations. A suitably qualified tradesperson should assess and carry out repairs, including cleaning, rust treatment, sealing, repainting, or replacement of affected

sections as required. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.





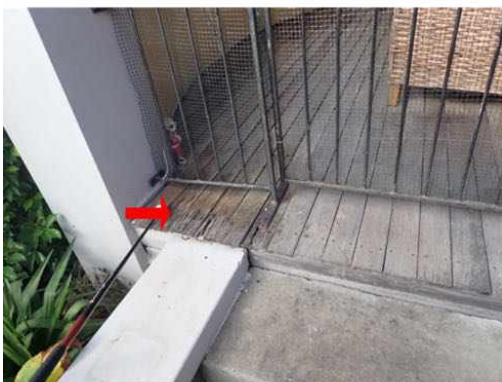
Finding 2.06

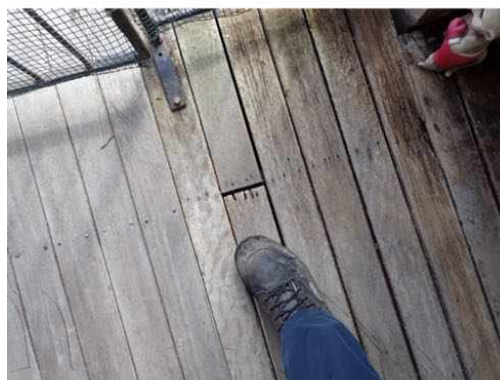
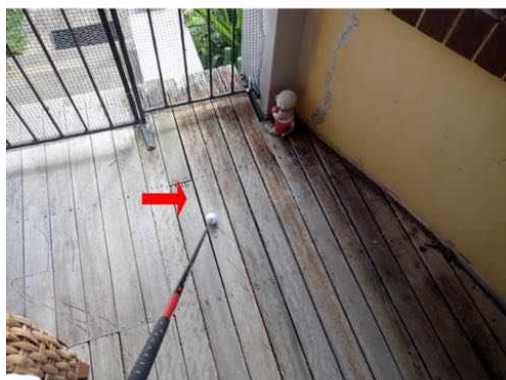
Building:	Main Building
Location:	Front porch balcony wall
Finding:	Front Porch Balustrade Wall – Large Crack Identified
Information:	A large crack was identified to the front porch balustrade wall. The extent of the cracking may indicate movement, material deterioration, or structural stress and is a common defect with a home of this age. In plain English, there is a large crack in the front porch balustrade wall. A licensed builder or suitably qualified tradesperson should assess and carry out repairs as required, which may include crack repair, reinforcement, or rebuilding of affected sections. Further investigation is recommended to determine the cause and extent of the cracking. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken as soon as possible.



Finding 2.07

Building:	Main Building
Location:	Front porch balcony wall
Finding:	Front Porch Deck and Framing – Poor Condition with Wood Rot and Limited Subfloor Access
Information:	The front porch deck and supporting framing were found to be in poor condition, with evidence of wood rot, bouncy/unstable framing, and general deterioration. The condition may indicate loss of structural integrity and ongoing deterioration associated with age, moisture exposure, and lack of maintenance, and is a common defect with a home of this age. No access was available to the subfloor area at the time of inspection, limiting the ability to fully assess the extent of damage. In plain English, the front deck is in poor shape, with rotting timber and movement underfoot, and the area underneath could not be inspected. A licensed builder or carpenter should assess and carry out repairs as required, which may include replacement of affected timbers and structural rectification. Further invasive investigation is recommended to determine the full extent of the damage. Maintenance and repairs should be undertaken as soon as possible.





Finding 2.08

Building:	Main Building
Location:	Rear of building
Finding:	Laundry External Cladding – Poor Condition with Wood Rot and Deteriorated Paintwork
Information:	The external cladding around the laundry was found to be in poor condition, with wood rot and deteriorated paintwork identified. The condition is consistent with prolonged exposure to moisture, weathering, and lack of maintenance, and is a common defect with a home of this age. Deterioration of cladding may allow water ingress and further damage to underlying building materials. In plain English, the wall cladding around the laundry is affected by timber decay and the paint is worn. A licensed builder or carpenter should assess and carry out repairs as required, which may include removal and replacement of affected sections and repainting/sealing to protect against further deterioration. Ongoing maintenance will assist in preventing recurrence. Maintenance and repairs should be undertaken where considered necessary.



Finding 2.09

Building: Main Building
Location: Rear of building
Finding: Laundry Doors, Windows and Timber Trims – Poor Condition with Timber Decay and Deteriorated Paintwork
Information: The doors, windows and associated timber trims to the laundry were found to be in poor condition, with timber decay and deteriorated paintwork identified. The condition is consistent with age, weathering, and lack of maintenance, and is a common defect with a home of this age. Deterioration may affect operation and allow water ingress, leading to further damage of surrounding materials. In plain English, the laundry doors, windows and trims are in poor shape, with decayed timber and worn paint. A licensed builder, carpenter, or suitably qualified tradesperson should assess and carry out repairs as required, which may include repair or replacement of affected components and repainting/sealing to protect against further deterioration. Ongoing maintenance will assist in preventing recurrence. Maintenance and repairs should be undertaken where considered necessary.





Finding 2.10

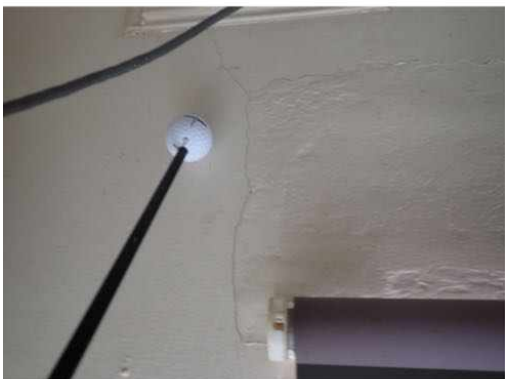
Building:	Main Building
Location:	End gables
Finding:	Roof End Gable Cladding and Timber Trims – Timber Decay and Deterioration
Information:	Timber decay and general deterioration were identified to the roof end gable cladding and associated timber trims. The condition is consistent with prolonged exposure to weather, moisture ingress, and lack of maintenance, and is a common defect with a home of this age. Deterioration of these elements may allow water ingress and further damage to underlying building materials. In plain English, the timber cladding and trims at the end of the roof are deteriorated and breaking down. A licensed builder or carpenter should assess and carry out repairs as required, which may include removal and replacement of affected sections and repainting/sealing to protect against further deterioration. Ongoing maintenance will assist in preventing recurrence. Maintenance and repairs should be undertaken where considered necessary.



Minor Defect

Finding 3.01

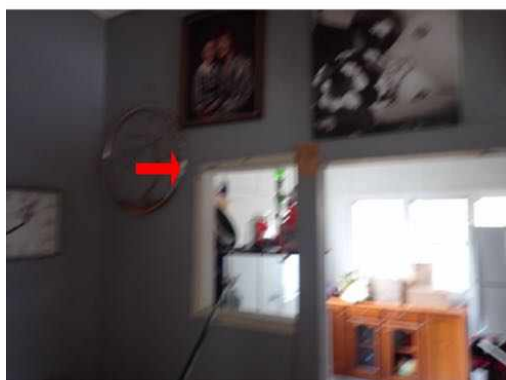
Building:	Main Building
Location:	All Areas
Finding:	Minor Internal Brick Walls and Render Cracking
Information:	<p>Minor cracking was identified to the internal brick walls and rendered surfaces at several locations. The cracking appears minor at the time of inspection and is commonly associated with normal building movement, minor settlement, material shrinkage, thermal movement, or age-related movement in the structure. In plain English, small cracks were seen in a number of internal wall areas. A licensed builder or suitable crack repair contractor should assess and repair as required. Repairs may include monitoring, filling, patching, and repainting where considered necessary. Ongoing maintenance and prompt repair of cracks can assist in preventing further deterioration. Owner discretion is advised regarding cosmetic repairs where the cracking remains minor and non-structural.</p>



Finding 3.02

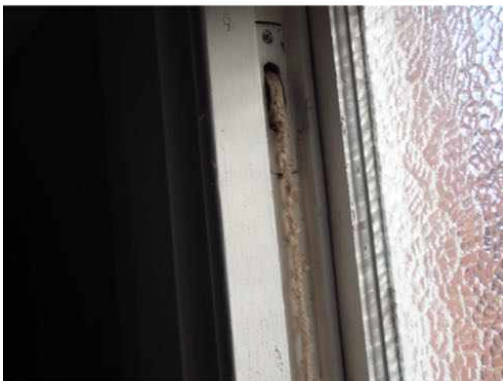
Building:	Main Building
Location:	All Areas
Finding:	Internal Painted Surfaces, Windows and Doors Requiring Repainting
Information:	Multiple internal areas were found to be in need of repainting, including sections of walls, and ceilings, as well as various windows and doors. The condition is consistent with general wear and tear, ageing of paint finishes, and lack of routine maintenance. In plain English, a number of areas inside the house, including some windows and doors, need a fresh coat of paint. A licensed painter or suitably qualified tradesperson should carry out preparation and repainting works as required. Proper surface preparation, including sanding, filling and priming, is recommended to ensure a durable finish and to prevent premature deterioration. Owner discretion is advised where the issue is considered cosmetic.





Finding 3.03

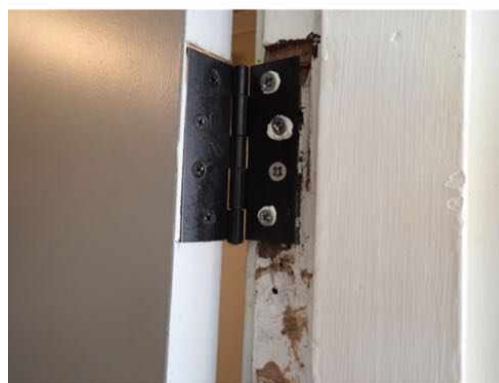
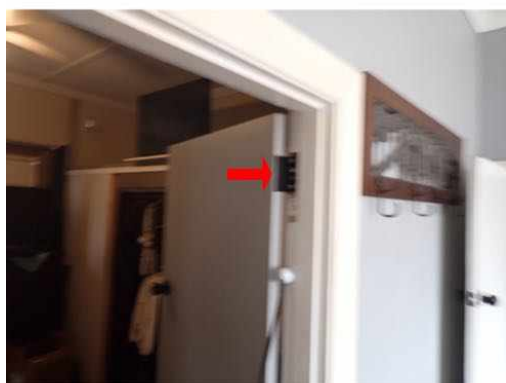
Building:	Main Building
Location:	Windows living room
Finding:	Double Hung Windows to Living Room Requiring General Maintenance
Information:	The double hung windows in the living room were operational at the time of inspection; however, they were found to be in need of general maintenance. Issues may include wear to cords, balances, tracks, or hardware, and deterioration to painted finishes consistent with age and use. In plain English, the windows open but need maintenance to keep them working properly. A licensed builder, carpenter, or window specialist should assess and carry out maintenance as required, which may include adjustment, repair or replacement of components and repainting. Ongoing maintenance is recommended to ensure continued operation and to prevent further deterioration. Maintenance should be undertaken as part of routine upkeep where considered necessary.



Finding 3.04

Building:	Main Building
Location:	Bedroom
Finding:	Bedroom Door Hinges Poorly Installed and Damage to Door Jambs
Information:	The bedroom door hinges were found to be poorly installed, with associated damage to the door jambs from previous hinge fixings. This may affect the alignment and operation of the door and is indicative of substandard installation and past repairs. In plain English, the hinges have been fitted poorly and have caused damage to the door frame. A carpenter, or handyman should assess and carry out repairs as required, which may include refitting or replacing hinges and repairing the damaged door jamb to ensure proper operation. Ongoing maintenance and correct installation practices

will assist in preventing further damage. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.05

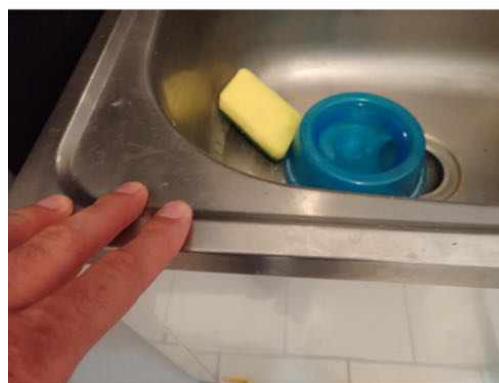
Building:	Main Building
Location:	Laundry
Finding:	Laundry Cabinet Tub Tap Wall Penetrations Not Sealed
Information:	Wall penetrations around the laundry tub tap within the cabinet were not sealed at the time of inspection. Unsealed penetrations may allow water ingress and contribute to deterioration of surrounding building materials. In plain English, the holes around the laundry taps are not sealed properly. A suitably qualified tradesperson should seal all penetrations using appropriate materials to prevent water ingress and maintain the integrity of the surrounding surfaces. Proper sealing and ongoing maintenance will assist in preventing deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.06

Building:	Main Building
Location:	Laundry
Finding:	Laundry Cabinet Tub Not Secured to Wall
Information:	The laundry cabinet tub was found not to be adequately secured to the wall at the

time of inspection. This may result in movement during use and could lead to damage to associated plumbing connections and surrounding finishes. In plain English, the laundry tub cabinet is loose and not fixed properly to the wall. A licensed plumber or suitably qualified tradesperson should secure the unit to the wall in accordance with standard installation practices and check for any associated damage. Proper installation and maintenance will assist in preventing movement and further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.07

Building:	Main Building
Location:	Laundry
Finding:	Laundry Tub Waste Plumbing Poorly Installed with Excessive Silicone
Information:	The laundry tub waste plumbing was found to be poorly installed, with excessive silicone used around pipe penetrations and connections. This may indicate substandard workmanship and could lead to leaks, blockages, or difficulty in maintenance. In plain English, the waste pipes under the laundry tub have been installed poorly and have too much silicone around them. A licensed plumber should assess and rectify the installation as required, which may include refitting pipework and ensuring appropriate fittings and sealing methods are used. Proper installation and maintenance will assist in preventing leaks and ongoing issues. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.08

Building: Main Building

Location: Bathroom

Finding: Toilet Wall Fitting Wrapped with Duct Tape and Wall Damage from Previous Installation

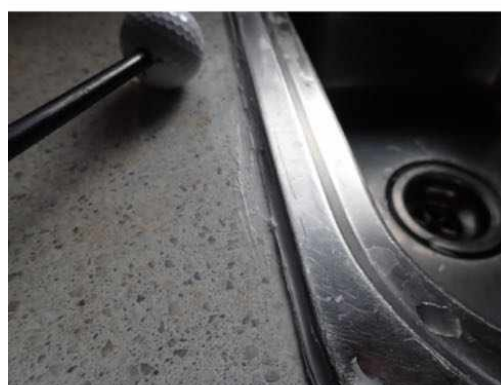
Information: Duct tape was wrapped around the toilet wall fitting at the time of inspection; although no active leaks were observed, this is not an appropriate or compliant repair method. Damage to the wall was also noted from a previous cistern installation. This may indicate prior plumbing issues and substandard repair works. In plain English, tape has been used on the toilet pipe instead of a proper fix, and the wall has been damaged from earlier work. A licensed plumber should assess and carry out proper repairs, which may include replacing or correctly sealing the fitting and repairing the damaged wall surface. Proper installation and maintenance will assist in preventing leaks and further deterioration. Maintenance and repairs should be undertaken where considered necessary.





Finding 3.09

Building:	Main Building
Location:	Kitchen
Finding:	Kitchen Sink and Benchtop Splashback Junctions – Poor and Over-Applied Silicone Work
Information:	Poor and over-applied silicone work was identified around the kitchen sink and benchtop splashback junctions. The sealant appears inadequately finished and excessive in application, which may reduce effectiveness and allow water ingress, leading to deterioration of surrounding cabinetry and building materials. In plain English, too much silicone has been applied around the sink and splashback and it has not been finished properly, which may let water get in. A suitably qualified tradesperson should remove and replace the silicone using appropriate materials and correct application methods to ensure a neat and watertight seal. Proper sealing and ongoing maintenance will assist in preventing water damage and deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.10

Building:	Main Building
Location:	Eaves
Finding:	Timber Eaves – Damage and Deteriorated Paintwork
Information:	Damage and deteriorated paintwork were identified to the timber eaves. The condition

is consistent with age, weathering, and lack of maintenance and may lead to further deterioration of the underlying timber if not addressed. In plain English, the timber eaves are damaged and the paint is worn. A licensed builder or carpenter should assess and carry out repairs as required, which may include repairing or replacing affected sections and repainting to protect the timber. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.11

Building:	Main Building
Location:	Right hand side wall
Finding:	Right Hand Side Wall – Two Damaged Bricks
Information:	Two damaged bricks were identified to the right hand side wall. The damage appears localised and is most likely associated with a previous installation or removal of fixtures. In plain English, two bricks on the side of the house are damaged, likely from something that was previously installed. A suitably qualified tradesperson should assess and carry out repairs as required, which may include replacement or repair of the affected bricks and mortar. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.12

Building:	Main Building
Location:	Right hand side wall
Finding:	Kitchen External Window – Deterioration and Poor Silicone Sealing
Information:	The external kitchen window was found to be deteriorated, with poor silicone work identified around the frame. The sealant appears inadequately applied and may allow water ingress and contribute to deterioration of surrounding building materials. In plain English, the kitchen window is worn and the sealing around it has been done poorly, which may let water in. A suitably qualified tradesperson should assess and carry out repairs as required, which may include repair or replacement of deteriorated components and reapplication of silicone to achieve a proper watertight seal. Proper sealing and ongoing maintenance will assist in preventing water ingress and further deterioration. Maintenance and repairs should be undertaken where considered necessary.





Finding 3.13

Building:	Main Building
Location:	Down pipes
Finding:	Downpipes – Minor Rust and Poorly Applied Silicone Work
Information:	Minor rust and poorly applied silicone work were identified to the downpipes. The condition is consistent with age, weathering, and substandard sealing practices, and may lead to further deterioration or water leakage if not addressed. In plain English, the downpipes have some rust and the sealing around them has been done poorly. A suitably qualified tradesperson should assess and carry out repairs as required, which may include cleaning, rust treatment, sealing, and reapplication of silicone using appropriate methods. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.14

Building:	Yard
Location:	Boundary fences
Finding:	Timber Fence and Rear Gate – Sections in Poor Condition with Timber Decay
Information:	Sections of the timber fence and the rear gate were found to be in poor condition, with timber decay identified. The condition is consistent with age, weathering, and lack of maintenance and may affect functionality and ongoing serviceability. In plain English,

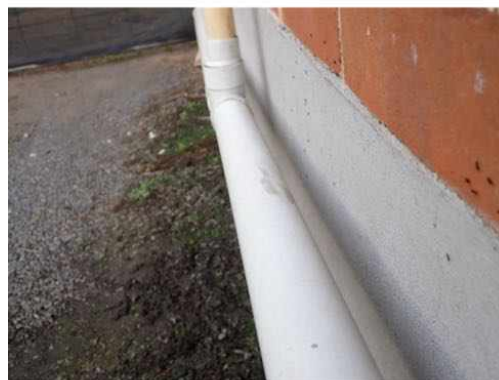
parts of the timber fence and rear gate are worn and have areas of decayed timber. A suitably qualified tradesperson should assess and carry out repairs as required, which may include repair or replacement of affected sections to ensure proper function. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.15

Building:	Main Building
Location:	Left hand wall
Finding:	External Bathroom Plumbing – Poor Installation and Not Secured to Wall
Information:	The external bathroom plumbing was found to be poorly installed and not adequately

clipped or secured back to the wall at the time of inspection. This may result in movement, strain on fittings, and potential for leaks or damage over time. In plain English, the pipes outside the bathroom are not installed properly and are not fixed to the wall. A licensed plumber should assess and carry out rectification as required, which may include securing pipework and ensuring correct installation in accordance with standard practices. Proper installation and maintenance will assist in preventing movement and further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.16

Building:	Yard
Location:	Front brick fence
Finding:	Front Fence Brickwork – Crack Identified
Information:	A crack was identified in the front fence brickwork. The cracking may be associated with movement, minor settlement, or age-related deterioration and is a common defect with structures of this type. A suitably qualified tradesperson should assess and carry out repairs as required, which may include crack repair, re-pointing, or rebuilding of affected sections. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.



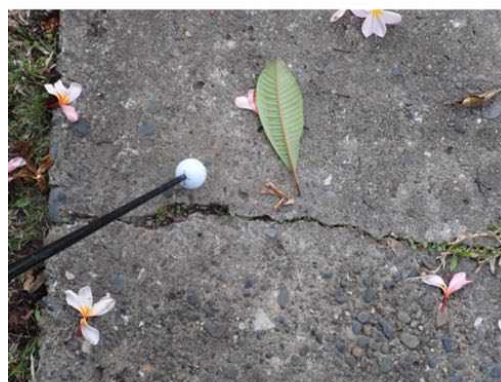
Finding 3.17

Building:	Main Building
Location:	Rear right hand corner
Finding:	Downpipe to Rear Right-Hand Corner – Damaged
Information:	The downpipe to the rear right-hand corner of the building was found to be damaged at the time of inspection. The damage may affect the effective discharge of roof water and contribute to water overflow or localised moisture issues if not addressed. A suitably qualified tradesperson should assess and carry out repairs or replacement as required to ensure proper operation. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Finding 3.18

Building:	Main Building
Location:	Front concrete path
Finding:	Front Concrete Path – Large Cracks Identified
Information:	Large cracks were identified to the front concrete path. The cracking may be associated with ground movement, settlement, or age-related deterioration and is a common defect with concrete of this age. A suitably qualified tradesperson should assess and carry out repairs as required, which may include crack repair, resurfacing, or replacement of affected sections. Ongoing maintenance will assist in preventing further deterioration. Maintenance and repairs should be undertaken where considered necessary.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Yard
Location:	All areas
Finding:	Stored Timber and Structures in Contact with Ground – Conditions Conducive to Termite Attack
Information:	Stored timber was identified lying around the yard, and shed structures and fences were noted to be in direct contact with the ground. These conditions are conducive to termite attack, as they provide a food source and concealed access pathways for termites. In plain English, timber around the yard and structures touching the ground can attract termites. A suitably qualified tradesperson or timber pest specialist should assess and carry out recommendations as required, which may include removal of

stored timber and modifying structures to reduce ground contact. Implementing and maintaining a termite management plan will assist in reducing the risk of infestation. Maintenance and rectification should be undertaken where considered necessary.



Evidence of fungal decay activity and/or damage

No evidence was found

Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- Licensed Plumber
- Licensed Plumber specialising in Roof Plumbing
- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in fair condition when compared to buildings of similar age, type of construction and location.

I recommend reading this report in detail and acting on all recommendations

For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
Location: All areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible. Multiple obstructions and limitations were identified in the internal of the building. No photos provide in the report due to the privacy of the home owners.





The following items were noted as - Evidence of a previous termite management program

Noted Item

Building:	Main Building
Location:	Perimeter of building
Finding:	Multiple Areas Conducive to Concealed Termite Attack and No Subfloor Access
Information:	Multiple areas around the building were identified as being conducive to concealed termite attack, combined with no access to the subfloor area at the time of inspection. Contributing factors may include timber in contact with ground, limited ventilation, obstructions, and inability to inspect critical areas. This significantly limits the ability to detect termite activity or damage. In plain English, there are several areas around the house that could attract termites, and the subfloor could not be checked. A licensed builder or timber pest specialist should assess and carry out further investigation as required, which may include improving access, removing conducive conditions, and implementing a termite management plan. Further invasive inspection is recommended to better understand the condition of concealed areas. Ongoing maintenance and termite protection measures will assist in reducing the risk of infestation. Maintenance and further investigation should be undertaken as soon as possible.



Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.