



# Building and Timber Pest Inspection Report

Inspection Date: Wed, 1 Apr 2026

Property Address: 203 Lang St, Kurri Kurri NSW 2327, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Wed, 1 Apr 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable): Theo Maroulis

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Job Address: 203 Lang St, Kurri Kurri NSW 2327, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Gary Payne Ph: 0412 823 624  
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Company Name: Jim's Building Inspections (Port Stephens)

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Company Address and Postcode: Boat Harbour 2316

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Company Email: Garyp@jimsbuildinginspections.com.au

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Company Contact Numbers: 0412 823 624

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Any area that has been highlighted as being conducive to the concealed entry of timber pests should be rectified.

A high quality moisture meter and thermal imaging camera were used throughout this inspection.

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>	✓	
<b>Timber Pest Damage</b>	✓	
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>		✓
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition for its age generally with safety hazards, minor defects and recommendations.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. Live activity and/or damage from timber pest activity was found at the time. A termite treatment is required.

## Section B General

### General description of the property

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Building Type	Commercial
Company or Strata title	Unknown
Floor	Slab - Infill Slab, Slab - Suspended Slab
Furnished	Furnished
No. of bedrooms	Not Applicable
Occupied	Occupied
Orientation	East
Other Building Elements	Driveway, Party Walls
Other Timber Bldg Elements	Door Frames, Architraves, Doors, Skirting Boards
Roof	Corrugated Iron (e.g. Colourbond), Flat
Storeys	Split Level
Walls	Full Brick
Weather	Fine

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## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Interior
- Roof Exterior - Part
- Subfloor - Part
- The Site
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity.
- Exterior Roof Surface - Second Storey.
- Subfloor - Part.
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

### Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height

- Appliances and equipment
- Ceiling cavity inspection was obstructed by 100% due to excessive heat and related OHS procedures preventing entry to this area. A reinspection is strongly recommended when it is safe to enter this area.
- Ceiling linings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Stored items
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

### Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

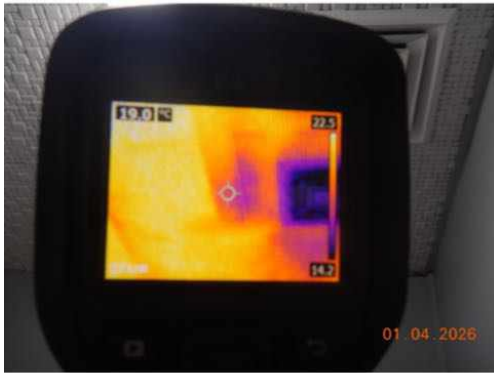
### Safety Hazard

#### Finding 1.01

Building: Main Building  
Location: Nurse 2 / Store Room > All Areas  
Finding: Moisture / Light Fitting  
Information: The moisture detected around the fluorescent light fitting in the Nurse 2 / Store Room is a potential safety hazard. Consultation with a licensed electrician and air conditioning technician is advised immediately.

No other persons should be in contact with this light fitting including maintenance personnel until such time as this has been rectified.





### Finding 1.02

Building: Main Building  
 Location: Staff Room > All Areas  
 Finding: Exposed Electrical Wiring  
 Information: The exposed electrical wiring associated with the hot water system in the downstairs staff room is a potential safety hazard and should be covered immediately.

Consultation with a licensed electrician is required as soon as practicable.



### Finding 1.03

Building: Main Building  
 Location: Roof Exterior > All Areas  
 Finding: Asbestos - Suspected ACM Identified on Site  
 Information: The eaves linings at the rear of the building are suspected of being asbestos containing materials. Please note that a section of the eaves linings were found to be damaged. Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider

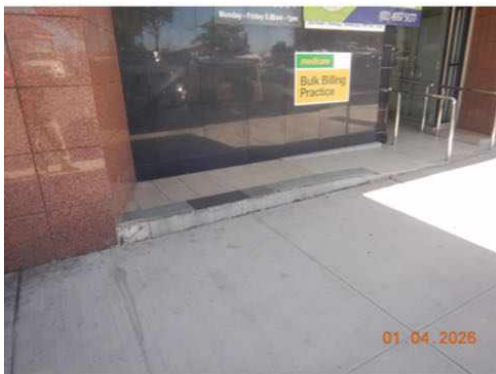
a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



### Finding 1.04

Building:	Main Building
Location:	Front Elevation > All Areas
Finding:	Broken Tiles
Information:	Broken tiles at the front of the building are considered to be a potential safety hazard. Replacement as soon as practicable is advised, consultation with a tiling contractor should be considered.





Finding 1.05

Building: Main Building  
 Location: Front Elevation > All Areas  
 Finding: Damaged Rendered Surfaces  
 Information: Damaged rendered surfaces were noted to the front of the building, repair is advised as soon as practicable to prevent possible falling debris onto the footpath.



### Finding 1.06

Building: Main Building  
 Location: Rear Elevation > All Areas  
 Finding: Car Park - Deteriorated  
 Information: The deterioration to the car parking at the rear is a potential trip hazard and should be rectified as soon as practicable. Consultation with an asphalt contractor is advised at the client's discretion.



## Major Defect

### Finding 2.01

Building:	Main Building
Location:	All Internal Areas upstairs > All Areas
Finding:	Air Conditioning - Leaking
Information:	At the time of inspection water staining and or moisture was detected on the ceiling tiles in selected areas of the medical practice. The moisture detected with the thermal imaging camera indicates that the air conditioning unit and or the associated ducting is leaking.

Please note that the purple images on the screen of the thermal imaging camera highlight the moisture. It is strongly advised that an air conditioning technician be engaged to rectify any issues as soon as practicable.

It is important to note that I overheard a staff member saying that the air conditioning unit is in poor condition and that there is only one technician who is able to service and repair this item.







## Finding 2.02

Building:	Main Building
Location:	Toilet (WC) Downstairs > All Areas
Finding:	Tiles - Cracked or damaged
Information:	Cracking was evident to the tiling in this area at the time of inspection. While the cracking appears to be minor, this area is frequently exposed to water, allowing potential for water penetration into adjoining sections of walls or flooring.

If left unmanaged, water penetration to these areas may lead to subsequent water damage, which is likely necessitate repair work to affected building elements.

A tiling contractor should be appointed to ensure that no further water damage occurs. The re-application of silicone and grouting throughout remaining tile work is also advised, to further protect the area against water penetration.

Where water penetration has led to water damage, appointment of a relevant tradesperson may be required to repair damaged building elements.

It is important to note that the majority of wall tiles in both downstairs toilet areas are cracked and or damaged.









Finding 2.03

Building: Main Building  
Location: Toilet (WC) Downstairs > All Areas  
Finding: Mould - Present  
Information: What appears to be mould was noted to the toilet ceiling in the downstairs women's toilet, Moisture was detected in this area. Where evidence of mould growth was noted, there may be environmental, biological or health issues associated with the report. A specialist inspection by a suitably qualified environmental health inspector is warranted, where mould is extensive or where any queries regarding air quality spores or other related issues apply.

Generally, the client is advised to ensure that the general environment is free of moisture and humidity to aid in the prevention of mould formation and development. Any mould found during the inspection should be cleaned immediately by a cleaning contractor or the homeowner as applicable.

Please note that severely affected building elements may require replacement by a registered builder or qualified carpenter.

Please note that the highest detectable surface reading on this device is 999, the wet range starts at 200, the reading detected was 289.





### Finding 2.04

Building: Main Building  
 Location: Pathology Waiting Room > All Areas  
 Finding: Water Damage  
 Information: Water damage to the melamine wall linings was noted from the subfloor access door towards the staff lunch room door. Excessive moisture was detected in the affected areas due to an active leak from the subfloor area. Please note that it is strongly advised that this room be closed off due to the concern of concealed mould between the melamine wall lining and the rendered brickwork and under the carpet flooring.

Consultation with a mould specialist and plumber is strongly advised as soon as practicable. Please note that the highest detectable surface reading on this device is 999, the wet range starts at 200.







**Finding 2.05**

Building: Main Building  
Location: Roof Exterior > All Areas  
Finding: Roof Exterior  
Information: The roof sheets and the roofing screws on the awning roof were found to be in rusted and deteriorated condition. Replacement is advised, consultation with a metal roofing contractor is advised.





**Finding 2.06**

Building: Main Building  
Location: Subfloor > All Areas  
Finding: Active Leak  
Information: An active plumbing leak was noted in the subfloor area. It is important to note that this leak is causing the excessive moisture in the pathology waiting room.

A plumber is required as soon as practicable to rectify this leak.





## Minor Defect

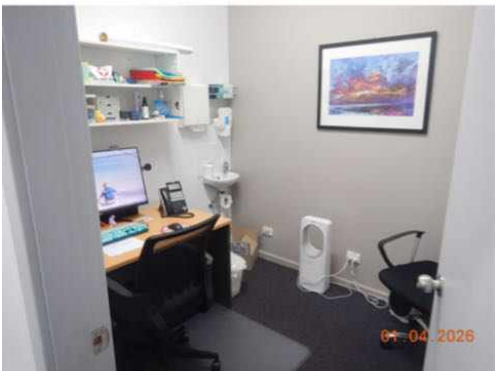
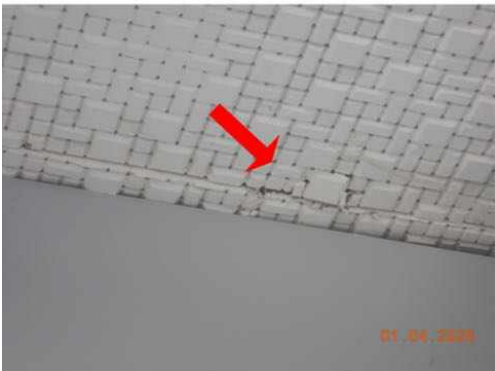
### Finding 3.01

Building:	Main Building
Location:	All Internal Areas upstairs > All Areas
Finding:	Ceiling Tiles - Damaged / Deteriorated
Information:	Damaged and or deteriorated ceiling tiles were noted throughout the medical practice areas. While some of the damage is related to leaks from the air conditioning unit and associated ducting ( Please refer to defect related to Air Conditioning- Leaks ) the majority of the damage and or deterioration appears to be age appropriate.

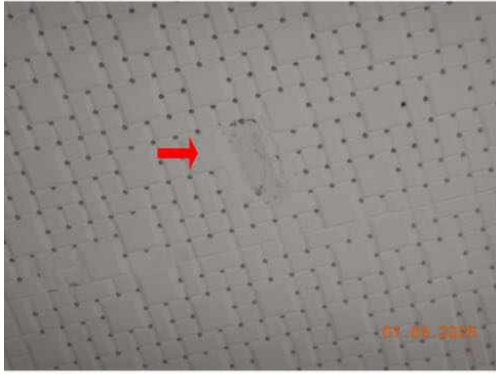
Repair and or replacement of the affected ceiling tiles is at the client's discretion, consultation with a building contractor is advised.













### Finding 3.02

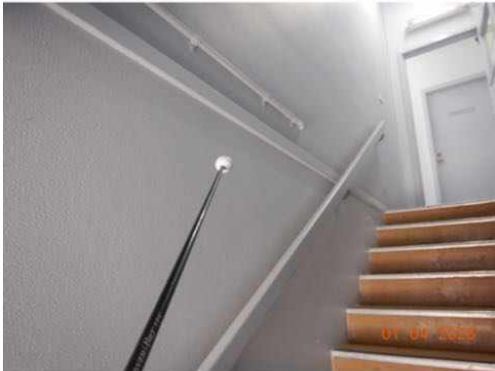
Building:	Main Building
Location:	All Internal Areas > All Areas
Finding:	Render - Drummy
Information:	Drummy rendered areas were identified at the time of inspection. The term 'drummy' refers to render that has become detached from its fixing, despite it still being solid. Such defects are generally caused by physical or moisture damage to the area. Drummy render may also be a direct result of poor workmanship during the construction process.

Render may swell and shrink with changes in air humidity if the area has sustained moisture damage. Any exposure to moisture is capable of causing rendered areas to become drummy and/or cracked over a prolonged period of time. Drummy render generally requires chipping off and re-rendering or painting.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive, or if secondary building defects have resulted. Immediate action is recommended to ensure that no further damage is sustained in the affected area.

Please note that no moisture was detected in any of the affected areas.







**Finding 3.03**

Building: Main Building  
Location: All Internal Areas upstairs > All Areas  
Finding: Minor Damage  
Information: Minor damage associated with general wear and tear was noted to architraves, skirtings and the bottom edge of a door. Replacement is at the client’s discretion.

Please note that the attached photos are not an exhaustive list, they are however an indication of the damage to these items throughout the medical practice.





Finding 3.04

Building: Main Building  
Location: Toilet (WC) Upstairs > All Areas  
Finding: Tiles - Cracked or damaged  
Information: Cracking was evident to the tiling in this area at the time of inspection. While the cracking appears to be minor, this area is frequently exposed to water, allowing potential for water penetration into adjoining sections of walls or flooring.

If left unmanaged, water penetration to these areas may lead to subsequent water damage, which is likely necessitate repair work to affected building elements.

A tiling contractor should be appointed to ensure that no further water damage occurs. The re-application of silicone and grouting throughout remaining tile work is also advised, to further protect the area against water penetration.

Where water penetration has led to water damage, appointment of a relevant tradesperson may be required to repair damaged building elements.



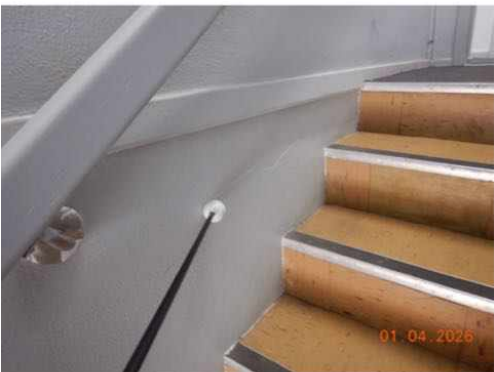
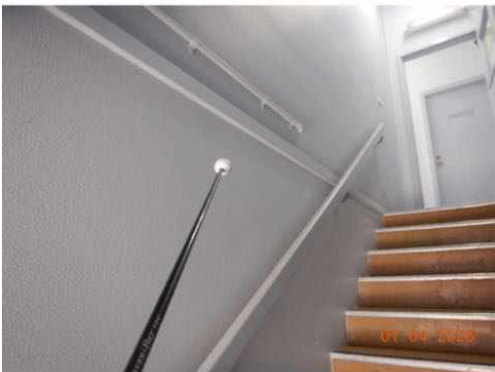


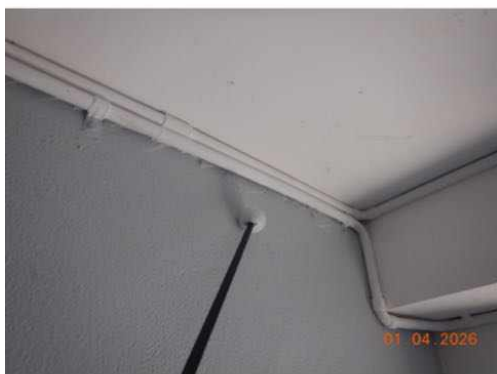
**Finding 3.05**

Building: Main Building  
Location: Stairs - Internal > All Areas  
Finding: Cracks to internal render - Category 3  
Information: It has been observed that cracking to internal rendered surfaces has occurred. The degree of damage falls within Category 3, described as cracks which can be repaired with consideration that a section of wall may need to re-rendered.

The cracks are generally 5-15mm in width, or may present as a number of cracks 3mm or more in a group. Damage of this category is a defect that requires rectification work, which may be more extensive.







### Finding 3.06

Building:	Main Building
Location:	Toilet (WC) Downstairs > All Areas
Finding:	Tiles - Drummy
Information:	Drummy tiled areas were identified at the time of inspection. The term 'drummy' refers to tiles that have become detached from their fixing, despite otherwise being in relatively good condition. Such defects are generally caused by physical or moisture damage to the area. Drummy tiled areas may also be a direct result of poor workmanship during the construction process.

Tiled areas may swell and shrink with changes in air humidity if the area has sustained moisture damage. Any exposure to moisture is capable of causing tiled areas to become drummy and/or cracked over a prolonged period of time. Drummy tiled areas generally require removal and replacement of affected tiles, with adequate sealant and grouting.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive or if secondary building defects have resulted. Otherwise, it is advised that a tiling contractor be appointed to perform works as necessary. Immediate action is recommended to ensure that no further damage is sustained in the affected area.

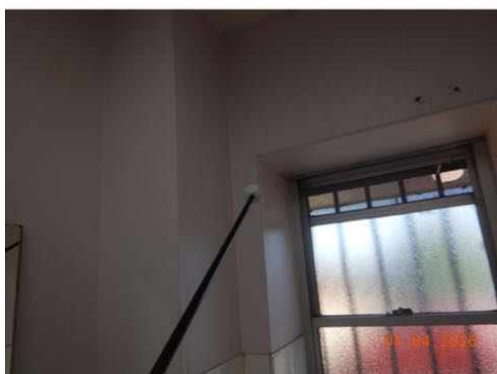




### Finding 3.07

Building: Main Building  
 Location: Toilet (WC) Downstairs > All Areas  
 Finding: Cracks to internal render - Category 1  
 Information: It has been observed that cracking to internal rendered surfaces has occurred. The degree of damage falls within Category 1, described as fine cracks that do not need repair and which are less than 1.0mm in width limit.

Damage of this category is not considered a defect for rectification. Always contact your building inspector should cracks widen, lengthen, or become more numerous.



### Finding 3.08

Building: Main Building  
 Location: Toilet (WC) Downstairs > All Areas  
 Finding: Windows - Sash balances broken  
 Information: Sashes are the moveable panes of windows that primarily slide vertically over each other to expose one half of the window area. Each sash is provided with springs balances and/or compression weather-stripping, which act to hold the window in place in one position.

The sash balance mechanism will need replacement to allow the window to function as intended. Such works may be completed by a qualified carpenter or registered builder.



**Finding 3.09**

Building: Main Building  
Location: Roof Exterior > All Areas  
Finding: Awning Roof  
Information: The paint finish to the underside of the awning roof was found to be peeling and deteriorated. Consultation with a painting contractor is required to prevent further deterioration.





### Finding 3.10

Building:	Main Building
Location:	Roof Exterior > All Areas
Finding:	Roof Exterior
Information:	A flashing covering the top of an external brick wall on the right hand side of the building ( when looking from the rear of the building ) was found to have dislodged. Rectification is advised to prevent any damage from occurring. Consultation with a metal roofing contractor as soon as practicable is strongly advised.

It is important to note that the roof exterior was unable to be safely accessed, there is therefore a high risk of undetected defects in that area.



### Finding 3.11

Building:	Main Building
Location:	Exterior walls - rear > All Areas
Finding:	Brickwork - Deterioration
Information:	Deterioration was evident to sections of the brickwork in this area at the time of inspection. Commonly referred to as brick corrosion or erosion, the bricks are aged and likely to have been affected by a variety of factors, including weather exposure, damage, salt-based deterioration, and more.

Overtime, these factors can affect the bricks, causing them to become brittle and appear corroded or eroded. The mortar in the brickwork may also become powdery, further detracting from the structural integrity of the brickwork. If left unmanaged, potential implications include further deterioration of the building materials, the development of secondary defects, and potential development of structural instability of the wall.

Where this degree of damage has already occurred, you should consult a Building Surveyor or Engineer to seek advice regarding the structural stability and load bearing capabilities of the wall. Such consultation is always required prior to performing any remedial works on the affected brickwork.





**Finding 3.12**

Building: Main Building  
Location: Exterior walls - rear > All Areas  
Finding: Concrete - Cracked  
Information: Cracking to the suspended concrete slab was noted at the rear of the building. Please note that the paint finish to the exposed part of the slab has deteriorated. Consultation with a painting contractor is advised.





### Finding 3.13

Building: Main Building

Location: Exterior walls - rear > All Areas

Finding: Brickwork - Cracking [Fine]

Information: Although fine cracks are quite noticeable, they are often only considered to be an appearance defect and usually do not indicate any structural damage. Generally, the cause of a fine crack is indicative of a separation between brickwork and mortar throughout the structure, but single bricks may also show cracks of this nature.

Cracking of this nature can generally be repaired with minor filling and should be conducted by a qualified bricklayer.

Always contact a building inspector should cracks widen lengthen or become more numerous.





**Finding 3.14**

Building: Main Building  
Location: Rear Elevation > All Areas  
Finding: Plumbing Inspection Point  
Information: The cap associated with a plumbing inspection point was found to be broken , replacement is advised. Consultation with a plumber is advised.



**Finding 3.15**

Building: Main Building  
Location: Subfloor > All Areas

**Finding:** Asbestos - Suspected ACM Identified on Site

**Information:** The bitumen coated Malfoid flashing in the subfloor area is suspected of being an asbestos containing material. Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



## Live Timber Pest Activity

### Finding 4.01

**Building:** Main Building

**Location:** Rear Elevation > All Areas

**Finding:** Evidence of live *Nasutitermes* Spp termite activity was identified

**Information:** Active termites were located in a fence railing at the rear of the building. Confirmation of species must be made by a lab. Based on in field observations the species identification is preliminary in nature only. *Nasutitermes* spp are a mound-building termite family that are distributed Australia-wide. Although a slightly less common species the *nasutitermes* family can be exceptionally destructive to timber building elements in domestic and commercial properties.

This species is unique in that it generally only feeds on wood that is in a decaying state rather than attacking structural timbers that are in a good condition. The attack of this species therefore highlights the importance of a well-ventilated subfloor space. Nesting habits of this species involve the building of a mound around or over a stump

or other timber building element that may be in a decayed state and in direct contact with the ground.

If evidence of live *nasutitermes* spp activity is found during inspection treatment is required immediately to prevent any further damage that will inevitably ensue if left unattended. Treatment options include the installation of bait stations with the view of directly eradicating the colony or the installation of a post-construction chemical barrier which is designed to prevent the reoccurrence of termite infestation. Remedial works or replacement of affected timber builder elements may also be required.

In future it is highly advised that all timber elements throughout the property particularly if external and in contact with the ground are free of wood rot and / or decay. Creating greater ventilation to the subfloor space may help to ensure the adequate condition of structural timbers.



### Timber Pest Damage

#### Finding 5.01

Building: Main Building  
Location: Rear Elevation > All Areas  
Finding: Fencing - Deteriorated

Information: It was noted at the time of inspection that sections of the fencing throughout the property have deteriorated. Typically fencing deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

If left unattended, it is likely that further damage will occur. It is suspected that repair of several elements of the fencing may be required however replacement may be a consideration of the client also.

A licensed fencing contractor should be appointed to provide further advice and perform rectification works as necessary. Please note that the timber rails and posts have been severely damaged by termites.



## Conditions Conducive to Timber Pest Activity

### Finding 6.01

Building: Main Building  
Location: All Internal Areas > All Areas  
Finding: Excessive moisture - identified  
Information: Excessive moisture can attract termites and produce conditions that promote fungal

growth and wood decay.

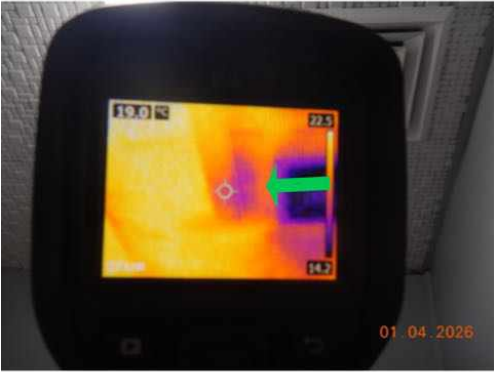
Excessive moisture is generally caused by deteriorated inadequate or missing roof drainage leaking plumbing pipes or fixtures poorly plumbed HWS overflows or condenser units and poor site drainage.

If mould growth has been found there may be environmental biological or health issues involved. In these cases an appropriately qualified inspector should also be contacted.

Prior to any remedial works being performed a qualified plumber should be appointed to further inspect the property and to identify the cause of the excessive moisture. Works to remove affected building elements may then be necessary and should be performed by an appropriate tradesperson.

Please note that the highest detectable surface reading on this device is 999, the wet range starts at 200.









**Finding 6.02**

Building: Main Building  
 Location: Subfloor > All Areas  
 Finding: Excessive moisture - identified  
 Information: Excessive moisture can attract termites and produce conditions that promote fungal growth and wood decay.

Excessive moisture is generally caused by deteriorated inadequate or missing roof drainage leaking plumbing pipes or fixtures poorly plumbed HWS overflows or condenser units and poor site drainage.

If mould growth has been found there may be environmental biological or health

issues involved. In these cases an appropriately qualified inspector should also be contacted.

Prior to any remedial works being performed a qualified plumber should be appointed to further inspect the property and to identify the cause of the excessive moisture. Works to remove affected building elements may then be necessary and should be performed by an appropriate tradesperson.



### Finding 6.03

Building:	Main Building
Location:	Subfloor > All Areas
Finding:	Damp
Information:	Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. Generally, structural damp is caused by rain penetration, rising damp, and leaks from plumbing pipes.

Unmanaged damp facilitates the formation and development of mould, fungi growth and wood rot, decaying associated building materials and compromising their structural integrity. Damage to finishes is also likely to occur, including lifting, bubbling, peeling and staining of paint, plaster and wallpaper.

It is important to address damp conditions, as the World Health Organisation notes

that excess moisture leads - on almost all indoor materials - to growth of microbes such as moulds, fungi and bacteria, which subsequently emit spores and other matter into the indoor air. Exposure to these contaminants is associated with a wide range of respiratory and other health-related problems. Additionally, the development of damp in timber building elements also provides an environment that is conducive to termite / timber pest attack.

The first step in addressing damp is to diagnose the cause. The identified cause should be addressed first prior to repairing the appearance and other defects which have resulted from the rising damp. If the original cause is not resolved, further cases of damp are likely to ensue, resulting in secondary defects.

Consultation with a qualified plumber is advised immediately to identify the cause of damp and perform remedial works as required. Where excessive mould growth is present, further inspection by a specialist environmental health inspector should also be considered.



### **Evidence of fungal decay activity and/or damage**

No evidence was found

### **Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Licensed Plumber
- Licensed Plumber specialising in Roof Plumbing
- Licensed Electrician
- Licensed Bricklayer
- Certified indoor environmental consultant
- Mould Remediation Specialist
- Registered/Licensed Builder
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- This building when compared to other commercial building of a similar age appears to be in a good condition Structurally.

Safety hazards that will require attention as soon as practicable along with major defects were noted. Live termite activity was noted to a fence railing against the rear of the building and conditions conducive to the concealed entry of timber pests were also noted.

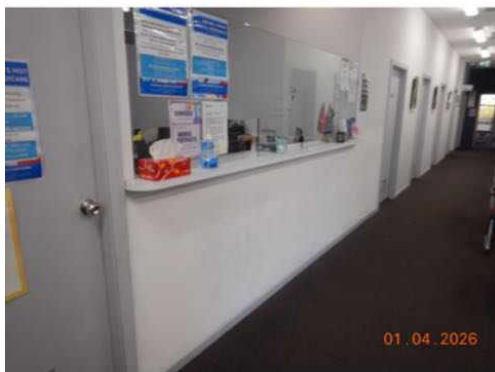
For further information, advice and clarification please contact Gary Payne on: 0412 823 624

## Section D Significant Items

### The following items were noted as - For your information

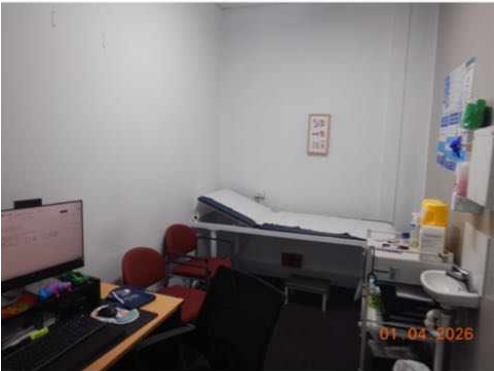
#### Noted Item

Building: Main Building  
Location: All Internal Areas upstairs > All Areas  
Finding: Additional Photos - Obstructions and Limitations  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible. At the time of inspection staff and patients limited the access throughout.











Noted Item

Building: Main Building  
Location: All Internal Areas Downstairs > All Areas  
Finding: Additional Photos - Obstructions and Limitations  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible. At the time of inspection staff and patients limited the access throughout.





## Noted Item

Building: Main Building  
 Location: Downstairs - Locked Room > All Areas  
 Finding: Additional Photos - Obstructions and Limitations  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.

One of the downstairs rooms was found to be locked, I was advised by staff that Dr Ola lost the key to this room several years ago. As this room could not be accessed there is a very high risk of undetected defects within that area. A locksmith should be

engaged to allow access to enable this area to be inspected.



## Noted Item

Building:	Main Building
Location:	All Internal Areas > All Areas
Finding:	Asbestos - Suspected ACM Identified on Site
Information:	The vinyl flooring in the old bank safe and on the internal stairs are suspected of being asbestos containing materials. Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



**Noted Item**

Building: Main Building  
Location: All Internal Areas > All Areas  
Finding: Fire Extinguisher Locations  
Information: Fire Extinguisher Locations



**Noted Item**

Building: Main Building  
Location: Roof Void > All Areas  
Finding: Roof Void  
Information: Please note that the roof void was unable to be safely accessed. The inspection of this area was strictly limited to photos from the top of the ladder in two locations. The ceiling tiles were not able to be removed to allow access.

Please note that there is a high risk of undetected defects within the roof void. A more invasive inspection of this area is required.







**Noted Item**

Building: Main Building  
Location: Subfloor > All Areas  
Finding: Additional Photos - Obstructions and Limitations  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





**Noted Item**

Building: Main Building  
Location: Subfloor > All Areas  
Finding: Additional Photos  
Information: Additional photos are provided for your general reference





## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.