



Building and Timber Pest Inspection Report

Inspection Date: Wed, 18 Feb 2026

Property Address: 7/3 Prince

St,OATLANDS,NSW,2117,Australia



Contents

	The Parties
Section A	Results of inspection - summary
Section B	General
Section C	Accessibility
Section D	Significant Items
Section E	Additional comments
Section F	Annexures to this report
	Definitions to help you better understand this report
	Terms on which this report was prepared
	Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on.

This Report reflects the opinion of the inspector based on the documents that have been provided.

This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail.

We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist.

If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection.

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Original Inspection Date Wed, 18 Feb 2026

Modified Date Wed, 18 Feb 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 7/3 Prince St,OATLANDS,NSW,2117,Australia

Client's Email Address:

Client's Phone Number:

Consultant:

Company Name:

Company Address and Postcode:

Company Email:

Company Contact Numbers:

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: • The electrical switchboard was not accessible at the time of inspection as the property forms part of a strata complex. Accordingly, the condition of internal protective devices, RCDs and circuit breakers could not be confirmed. It is recommended that the purchaser seek confirmation from the strata manager regarding maintenance history and compliance of the common electrical infrastructure.

- The property forms part of a strata complex. The presence, type and currency of any termite management system (if installed) could not be confirmed at the time of inspection. No documentation was provided to verify whether a compliant termite management system in accordance with AS 3660 is in place. It is recommended that the purchaser obtain written confirmation from the strata manager regarding:

- Whether a termite management system exists,
 - The type of system installed,
 - Installation date, and
 - Ongoing maintenance and inspection records.
- Certain areas were inaccessible or partially restricted, including slab edges concealed by decking, artificial turf and landscaping elements. These limitations increase the risk of undetected concealed termite entry.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage		✓
Evidence of wood borer activity and/or damage		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition with some minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. Live activity and/or damage from timber pest activity was not found at the time, however, conditions conducive to timber pest activity were found at the time of inspection. A termite treatment is recommended.

Section B General

General description of the property

Building Type	Residential, Townhouse
Company or Strata title	Yes
Floor	Concrete
Furnished	Furnished
Occupied	Occupied
No. of bedrooms	2
Orientation	West
Other Building Elements	Driveway, Garage, Party Walls, Pergola, Retaining Walls, Water Tanks
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Internal Joinery, Landscaping Timbers and Construction, Skirting Boards, Weatherboards, Window Frames
Roof	Corrugated Iron (e.g. Colourbond), Flat, Timber Framed
Storeys	Single
Walls	Brick Veneer, Brick Veneer (Timber Framed)
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Gardens
- Interior
- Roof Exterior - Part
- Roof Void - Part
- Timber Retaining Walls
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Areas of skillion or flat roof - no access
- Ceiling Cavity - Part.
- Exterior Roof Surface - Second Storey.
- Roof Exterior - Part
- Site - Part.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Areas of skillion or flat roof - no access
- Ceiling linings
- Debris in gutters
- Decking
- Duct work
- External finished ground level
- Fixed Furniture - Built-in Cabinetry
- Floor coverings

- Furniture
- Gutter Guards
- Insulation
- Lack of clearance - subfloor
- Landscaping
- Pipework
- Roof framing - not trafficable
- Sarking
- Stored items
- Vegetation
- Wall linings
- Webbing of roof trusses - not trafficable

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Finding 3.01

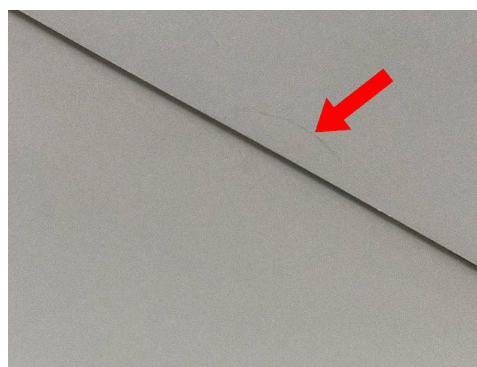
Building: Main Building

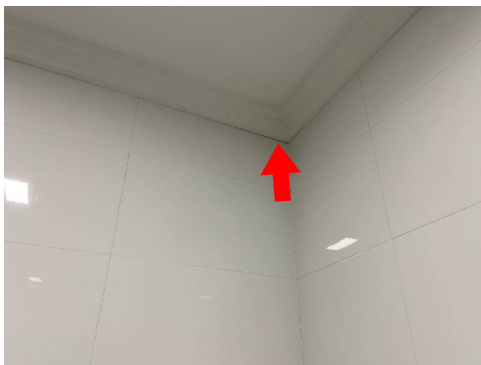
Location: Bedrooms & Garage

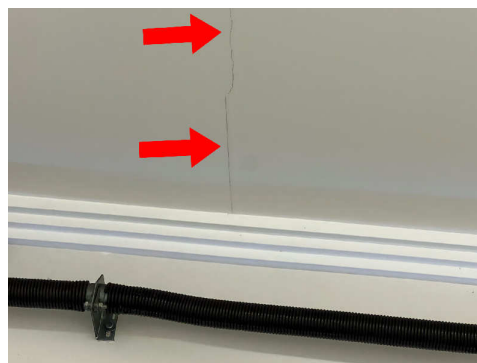
Finding: Garage Ceiling and Internal Wall Surfaces

Information: Minor cracking was observed to the garage ceiling lining and to internal wall surfaces in multiple locations. The cracks appear fine and consistent with typical shrinkage or minor movement; however, they indicate some degree of building movement or material settlement.

Although the cracking currently appears cosmetic in nature, such movement-related cracking can worsen over time if underlying causes persist. No significant displacement or structural distortion was noted at the time of inspection. Monitoring is recommended, and if cracking increases in width, length, or frequency, further assessment should be undertaken. Repairs can be carried out by a qualified plasterer as required.







Finding 3.02

Building: Main Building

Location: Bathroom 2 (Ensuite)

Finding: Deteriorated Grout to Shower Floor Tiles

Information: Deterioration to the grout joints was observed to the shower floor tiles in the bathroom, particularly surrounding the floor waste and along several tile joints. The grout appears patchy and worn in sections. Grout forms part of the surface water barrier within wet areas and assists in limiting moisture penetration beneath the tiled finish. Where grout has deteriorated, moisture may track below the tiles, which can contribute to loosening of tiles, water damage to the substrate, and potential waterproofing concerns over time if not rectified.

This condition is located to the shower recess floor within the bathroom. While no active leaks were evident at the time of inspection, maintaining grout integrity in wet areas is important to preserve the performance of the tiled surface. It is recommended that a licensed tiler assess the affected areas and re-grout as necessary to ensure the shower floor remains adequately sealed. Rectification should be undertaken in the short term as part of routine maintenance.

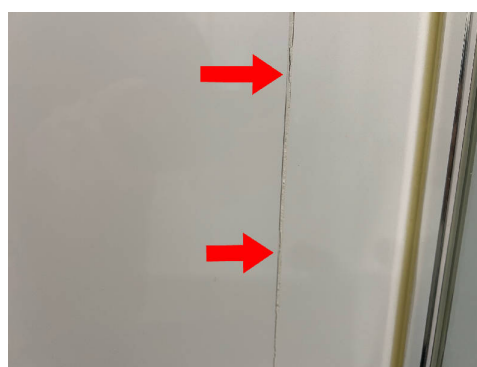


Finding 3.03

Building:	Main Building
Location:	Bathroom
Finding:	Cracked Grout to Bathroom Wall Tiles
Information:	Cracking was observed to the grout joints between wall tiles within the bathroom, primarily adjacent to the shower enclosure. The tiles themselves appear intact, however the grout lines show visible cracking and minor separation along vertical joints. This condition is generally associated with minor building movement, shrinkage, or insufficiently flexible grout at junctions.

Deteriorated or cracked grout can allow moisture penetration behind the tiled surface over time, which may contribute to substrate deterioration, loss of adhesion, and potential water damage if not addressed. While the cracking currently appears minor in nature, it should be rectified to maintain the integrity of the waterproofed wet area.

It is recommended that a licensed tiler remove and replace the affected grout and ensure appropriate flexible sealant is installed at movement joints. Repairs should be carried out in the short term to prevent moisture ingress.



Finding 3.04

Building: Main Building

Location: Roof Void

Finding: Displaced / Missing Roof Insulation

Information: Sections of ceiling insulation within the roof space were observed to be displaced and not evenly covering the ceiling area. It appears insulation batts may have been moved during previous works and not reinstated to their original position.

Gaps or displaced insulation reduce the thermal efficiency of the dwelling and may contribute to heat gain or loss. While this does not represent a structural issue, reinstatement is recommended to maintain energy efficiency and comfort. A suitable tradesperson or insulation contractor should reposition and ensure full coverage to the affected areas.



Finding 3.05

Building: Main Building

Location: Roof Void

Finding: Damaged Roof Sarking – Roof Void

Information: Sections of the reflective roof sarking were observed to be torn and displaced within the roof void space. The sarking is intended to act as a secondary moisture barrier and assist with thermal performance beneath the roof covering. Damage to this material may reduce its effectiveness in directing incidental moisture towards the gutter line and may also impact insulation performance.

The damage appears localised and may have occurred during previous trade access within the roof space. While no active moisture ingress was noted at the time of inspection, compromised sarking can allow condensation or minor water entry to affect ceiling linings or insulation over time. It is recommended that a qualified roofing contractor assess and repair or reinstate the affected sections as required.



Finding 3.06

Building: Main Building

Location: Bedroom 2

Finding: Ceiling Sagging

Information: Sagging to the ceiling lining was observed in Bedroom 2, with a noticeable dip to the plasterboard sheeting. The owner advised that a roof leak had previously occurred in this area and has reportedly been repaired. Sagging ceilings typically occur where plasterboard has been affected by moisture, which can cause loss of structural integrity, softening of the board and potential loosening of fixings over time.

Although the leak is reported to have been repaired, the ceiling lining remains visibly deformed and may deteriorate further if not properly rectified. Moisture-affected plasterboard can fail without warning in some circumstances. It is recommended that a licensed plasterer assess the ceiling and carry out repairs or replacement as required. Confirmation that the source of the leak has been permanently rectified should also be obtained.



Finding 3.07

Building: Main Building

Location: Garage

Finding: Cracked Tile to Garage Step

Information: A floor tile located to the step within the garage is observed to be cracked through its surface. The cracking appears localised to a single tile at the step junction and is visible along the tile face extending toward the corner. Cracked tiles can worsen over time due to foot traffic and minor movement, potentially leading to loose sections or sharp edges, and may allow moisture penetration into the substrate if left unaddressed.

It is recommended that a licensed tiler assess the affected tile and replace as necessary to prevent further deterioration. Repairs should be carried out in the short term to maintain serviceability and reduce the likelihood of further damage.



Finding 3.08

Building: Main Building

Location: Rear Elevation

Finding: Debris Accumulation to Gutter Guard and Downpipe

Information: Leaves and organic debris were observed accumulating along the gutter guard and at the downpipe entry points to the roof drainage system. This was noted to the external roof line as shown in the attached images. The buildup of debris can restrict the free flow of rainwater, potentially leading to water ponding, overflow into the roof cavity, and increased moisture exposure to fascia and roofing components if not maintained.

It is recommended that the gutters, gutter guard and downpipe inlets be cleaned and cleared by a licensed roof plumber or suitable contractor, and that a regular maintenance schedule be implemented to reduce the likelihood of future blockages. Maintenance should be carried out in the short term.



Finding 3.09

Building: Main Building

Location: Rear Elevation

Finding: Temporary Sealant Repairs to Roof Fixings

Information: Sealant has been applied over multiple roof screw fixings to the metal roof sheeting, observed externally near the wall junction and beneath the window area. This appears to have been installed as a repair following a reported roof leak. While sealant can provide a short-term reduction in water ingress, it is generally considered a temporary measure and may deteriorate over time due to weather exposure, movement of the roof sheeting, and thermal expansion and contraction.

If the underlying cause of the leak (such as failed washers, loose fixings, or flashing deficiencies) has not been permanently rectified, water penetration may reoccur. A licensed roofing contractor should assess the affected area to confirm that the repair is adequate and durable, and carry out more permanent rectification works if required. This is considered a minor defect, however monitoring is recommended, particularly during heavy rainfall.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building: Main Building

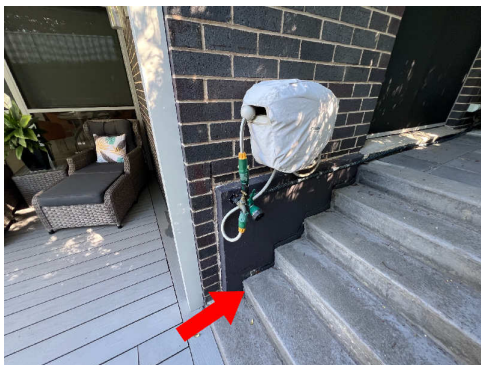
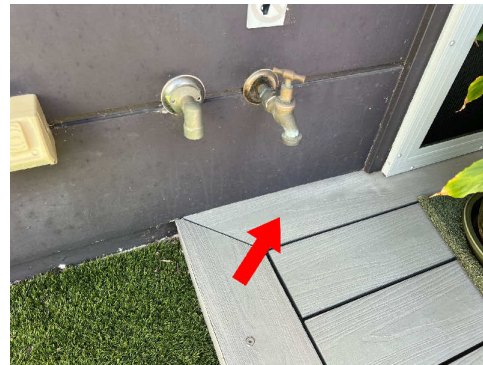
Location: Rear Elevation

Finding: No Drainage Provision to External Taps

Information: External hose taps were observed installed against the dwelling walls without any visible drainage provision beneath. No grated drain, spoon drain or adequate surface fall away from the structure was noted directly below the taps in the areas inspected. This condition allows water discharged from the taps, whether from use or minor leakage, to accumulate at the base of the wall and adjacent slab/footing areas.

The absence of drainage may contribute to ongoing moisture exposure to the wall base and surrounding materials. Prolonged wetting of these areas can increase the risk of moisture ingress, rising damp issues, or create conditions conducive to termite activity. Although no active moisture damage was noted at the time of inspection, the configuration presents a preventable moisture risk.

It is recommended that a licensed plumber assess the external taps and consider installation of an appropriate drainage solution (such as a grated drain connected to stormwater or improved surface grading) to direct water away from the structure. This should be addressed in the short term to reduce the risk of moisture-related deterioration.



Finding 6.02

Building: Main Building

Location: Rear Elevation

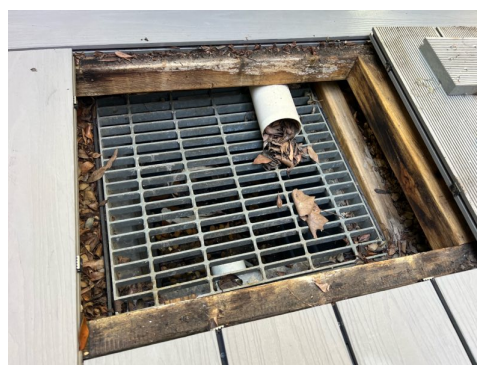
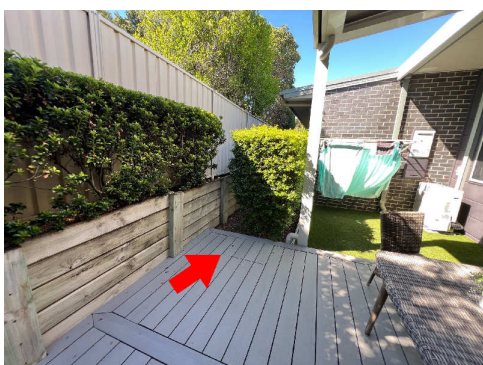
Finding: Restricted Ventilation and Organic Debris Accumulation

Information:

The subfloor area beneath the rear deck was observed to have restricted ventilation, with limited clearance between the ground surface and structural timbers. Accumulation of leaf litter and organic debris was noted on the ground surface, and sections of the supporting timber framing exhibited moisture staining. The limited air movement and build-up of organic material create a damp micro-environment beneath the deck structure.

Inadequate ventilation and the presence of organic debris are conducive to elevated moisture levels, which may increase the risk of timber deterioration, fungal decay and potential termite activity over time. While no active structural failure was observed at the time of inspection, the current conditions are considered unfavourable for long-term durability of the timber elements.

It is recommended that the debris be removed and that subfloor ventilation be improved where practicable to promote adequate airflow. Consideration should be given to consultation with a licensed builder or carpenter to assess options for increasing ventilation openings or modifying the deck configuration if required.



Finding 6.03

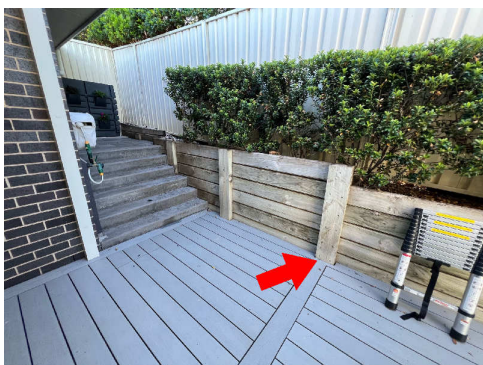
Building: Main Building

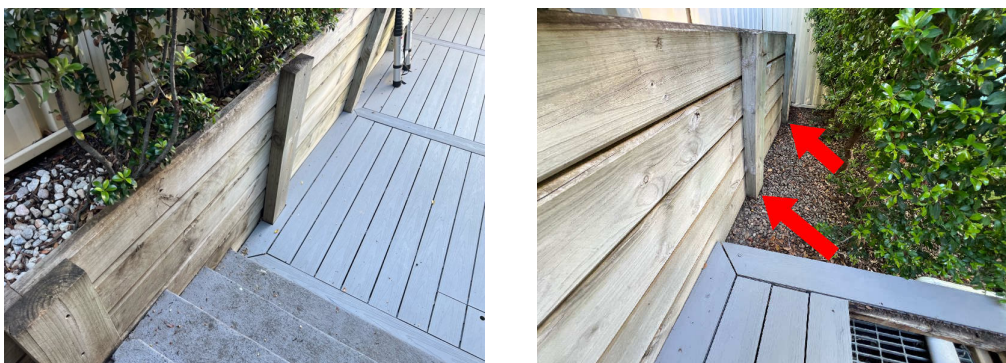
Location: Rear Elevation

Finding: Timber in Direct Contact with Soil

Information: Timber components of the rear retaining wall and garden bed were observed to be in direct contact with soil and garden materials. This was noted along the boundary side of the rear deck area, where treated timber sleepers and posts are retaining soil and supporting planted hedging. Timber elements in constant ground contact are exposed to ongoing moisture and may be susceptible to premature deterioration over time.

Direct soil contact can contribute to timber decay and may create conditions conducive to termite activity, particularly where moisture is retained against structural elements. Although no active timber pest attack was identified at the time of inspection, the current configuration increases long-term risk. It is recommended that a suitably qualified landscaper or builder assess the installation and implement appropriate separation or protective measures. Rectification should be carried out in the short to medium term to reduce the risk of deterioration.





Finding 6.04

Building: Main Building

Location: Front Elevation

Finding: Garden Bed Abutting External Brickwork

Information: A garden bed containing soil, decorative pebbles and dense vegetation is installed directly against the external brickwork to the front elevation of the dwelling. The landscaping appears to be built up against the base of the wall and in close proximity to the slab edge and weep holes. Garden beds in direct contact with external walls can retain moisture, restrict ventilation and potentially bridge damp-proof courses or weep holes, increasing the risk of rising damp, moisture ingress and concealed termite activity.

This condition was observed to the front of the property along the external wall. While no active damage was noted at the time of inspection, the current arrangement presents a conducive environment for moisture-related issues and timber pest activity. It is recommended that a licensed landscaper or builder assess and modify the garden bed to ensure appropriate clearance is maintained between soil levels and the brickwork, including keeping weep holes clear and visible. Rectification should be undertaken in the short to medium term as a preventative measure.



Finding 6.05

Building: Main Building

Location: Rear Elevation

Finding: Garden Bed & Timber Retaining Wall

Information: A raised garden bed with timber retaining wall was observed along the rear boundary of the property, directly adjacent to the decked area. The garden bed contains soil and established vegetation, and a large mature tree is located on the neighbouring property immediately beyond the boundary fence. The timber retaining elements and soil are positioned in close proximity to structural components of the deck.

The presence of soil, garden materials and vegetation against timber elements creates a conducive condition for moisture retention and potential concealed timber deterioration over time. In addition, the large neighbouring tree may contribute to increased leaf debris, root growth and moisture within the area. While no active structural failure was noted at the time of inspection, the current configuration increases the risk of future timber decay and may also attract termite activity due to concealed and moisture-prone conditions.

It is recommended that the garden bed and retaining wall be regularly monitored and maintained to ensure adequate drainage and separation from structural timbers. Consideration should be given to reducing soil levels, improving ventilation, and ensuring no direct soil contact with structural timber elements. Advice from a licensed landscaper or builder may be beneficial if rectification works are considered.



Finding 6.06

Building: Main Building
Location: Rear Elevation
Finding: Air Conditioning Condensate Discharge

Information: The external air conditioning condenser unit is installed to the rear of the dwelling. At the time of inspection, the condensate discharge point was not clearly visible and it could not be confirmed whether the unit drains to an approved stormwater connection or discharges directly onto the surrounding surface. Where condensate is not properly connected to a suitable drainage point, ongoing discharge can contribute to excess moisture accumulation, staining, deterioration of adjacent materials and potential slip hazards.

This condition was observed to the rear external area adjacent to the outdoor living space. Although no active moisture damage was noted at the time of inspection, the drainage arrangement could not be verified. It is recommended that a licensed plumber or suitably qualified air conditioning technician confirm that the condensate line is connected to an appropriate drainage point and modify if required. This should be addressed in the short term as a preventative measure.



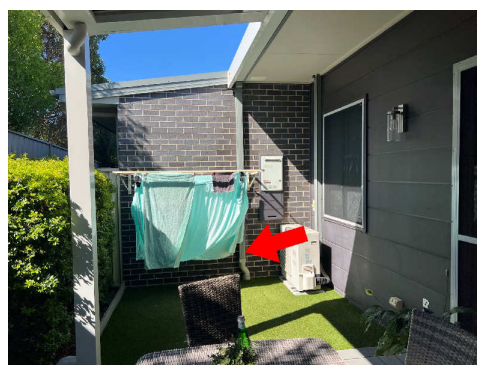
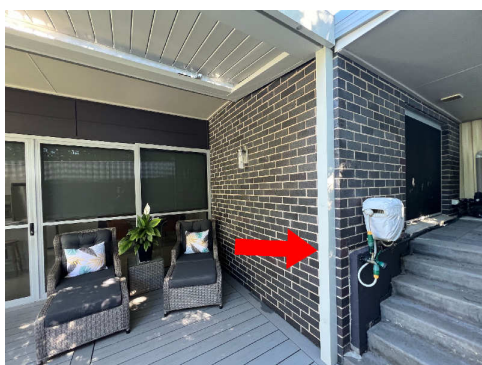
Finding 6.07

Building: Main Building
Location: Rear Elevation
Finding: Bridging to External Walls and Service Penetrations

Information:

At the external wall adjacent to the rear patio and stair area, service pipes and conduits have been installed in direct contact with the brickwork and extend from ground level upward, creating potential bridging points over the slab edge. These penetrations and fittings may allow concealed termite entry pathways by bypassing the visible inspection zone. Termite management systems rely on maintaining a clear and unobstructed inspection gap at the slab perimeter; however, the current arrangement reduces visibility and may conceal termite activity.

This condition was noted to the side wall near the hose connection and service meter location. While no active termite activity was observed at the time of inspection, the configuration presents conducive conditions for concealed entry and future infestation. It is recommended that a licensed pest control specialist assess the area and advise on appropriate rectification measures to reinstate a compliant and visible inspection zone. Any necessary modifications should be carried out in conjunction with a licensed plumber if relocation or adjustment of services is required. Rectification should be undertaken in the short term to reduce risk.



Finding 6.08

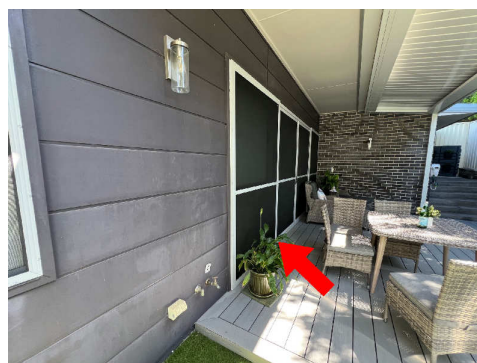
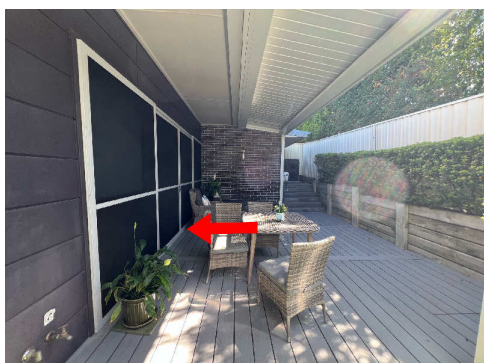
Building:	Main Building
Location:	Rear Elevation
Finding:	Bridging and Reduced Slab Edge Clearance

Information:

At the rear patio area, the external decking and artificial turf have been installed at a height that appears close to the internal finished floor level and slab edge. This configuration reduces the visible slab inspection zone and may constitute bridging over the damp-proof course/termite barrier line. Adequate clearance between external finished ground levels and the internal floor level is required to allow visual inspection for termite activity and to reduce the risk of moisture ingress.

The condition was observed along the rear elevation adjacent to the sliding doors and wall cladding. While no active moisture penetration or termite activity was identified at the time of inspection, the reduced clearance presents a potential risk by limiting inspection visibility and increasing the likelihood of concealed termite entry or moisture-related deterioration over time.

It is recommended that the external surface levels be reviewed and adjusted as necessary to reinstate appropriate slab edge exposure in accordance with current standards. A licensed builder and/or pest control specialist should be consulted to advise on suitable rectification. Works should be undertaken in the short to medium term to minimise ongoing risk.



Evidence of fungal decay activity and/or damage

No evidence was found

Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Licensed Plumber
- Pest Controller
- Registered Roofing Contractor
- Sub Floor Ventilation Specialist
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

At the time of inspection, the dwelling was found to be in good overall condition when compared to other properties of similar age and construction. No safety hazards or major structural defects were identified.

Minor defects were noted throughout the property. These included fine cracking to internal wall and ceiling linings (including garage areas), deteriorated and cracked grout to bathroom tiles, a cracked tile to the garage step, displaced insulation and damaged sarking within the roof void, sagging ceiling lining to Bedroom 2 (reportedly following a prior leak), debris accumulation to gutters, and temporary sealant repairs to roof fixings. These items are considered maintenance-related or minor in nature; however, rectification is recommended in the short term to prevent further deterioration.

Moisture testing to wet areas did not identify abnormal readings at the time of inspection, and no active leaks were observed. It should be noted that the inspection was limited to visual and non-invasive methods in accordance with pre-purchase inspection standards, and a high risk of undetected defects was assigned due to accessibility limitations in certain areas.

Overall, the dwelling presents as a well-maintained property requiring routine maintenance and minor repairs typical for its age and construction type. Prompt attention to the identified items will assist in preserving the condition and long-term performance of the building.

Timber Pest Report Summary:

At the time of inspection, no live timber pest activity and no timber pest damage were identified within the accessible areas of the property.

However, several conditions conducive to timber pest activity were observed. These include:

- External taps without visible drainage provisions.
- Restricted subfloor ventilation and accumulation of organic debris beneath the rear deck.
- Timber retaining elements in direct contact with soil.
- Garden beds abutting external brickwork.
- Raised garden bed and timber retaining wall along the rear boundary in close proximity to structural

elements.

- External service penetrations and pipes creating potential slab-edge bridging points.
- Reduced slab edge clearance due to decking and artificial turf installation.
- Air conditioning condensate discharge point not clearly visible or confirmed to be connected to approved drainage.

While no active infestation was present at the time of inspection, the above conditions increase moisture exposure and reduce inspection visibility to slab edges, thereby elevating the risk of concealed termite entry in the future.

The overall timber pest condition of the property is considered moderately susceptible, primarily due to environmental and configuration factors. Rectification of conducive conditions is recommended in the short to medium term. In addition, implementation or confirmation of a compliant termite management system in accordance with AS 3660, along with annual timber pest inspections, is strongly advised.

For further information, advice and clarification please contact Greg Hallal on 0418 240 401

The following items were noted as -For your information

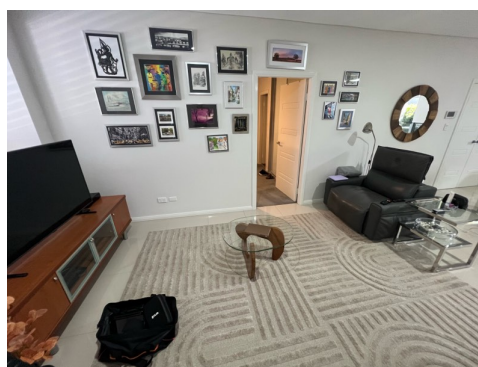
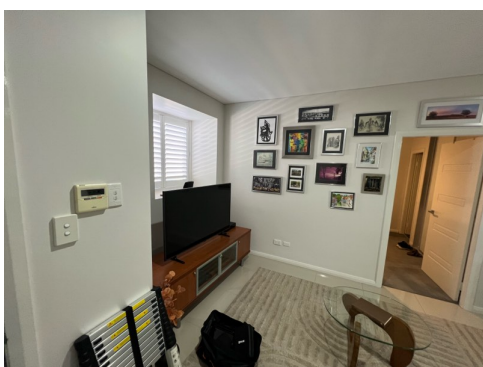
Noted Item

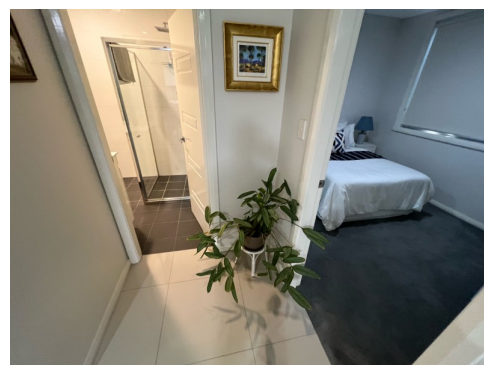
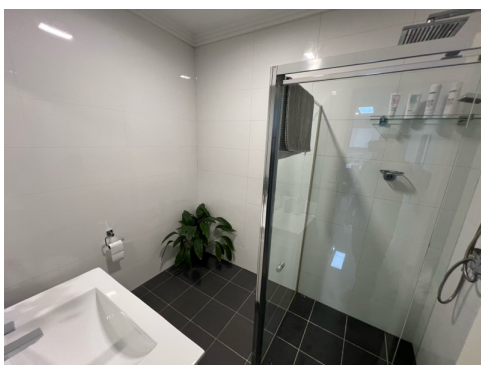
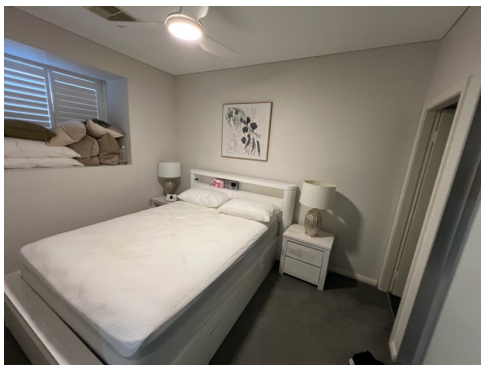
Building: Main Building

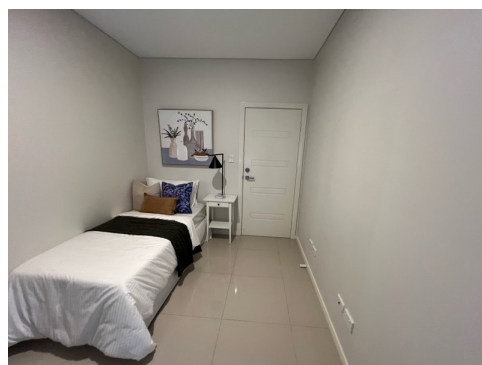
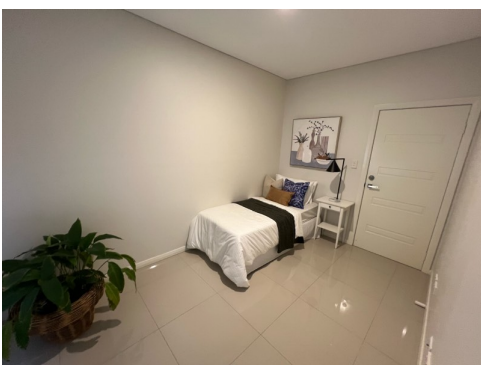
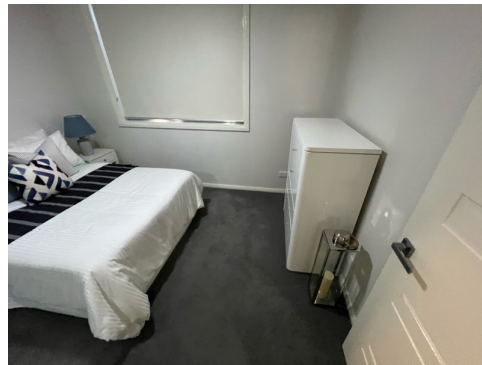
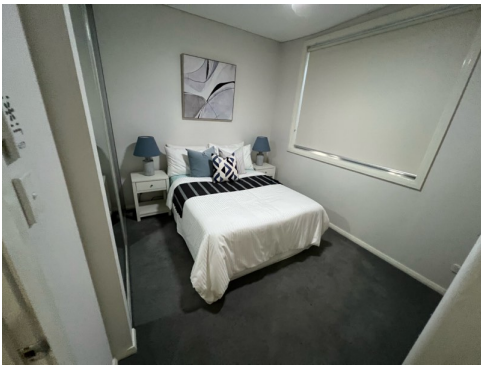
Location: All Internal Areas

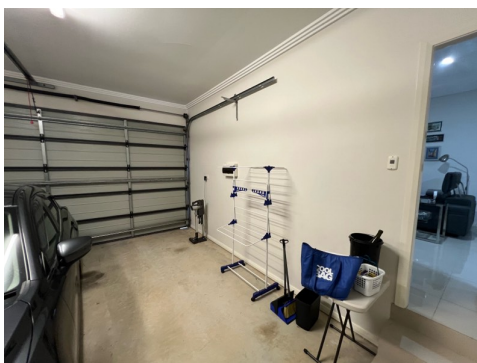
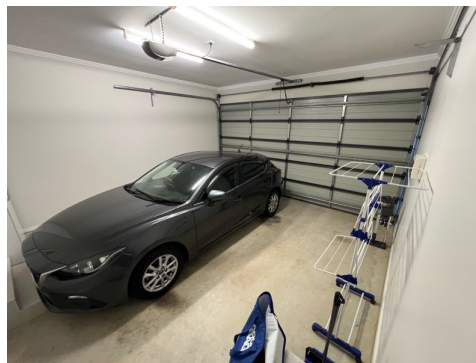
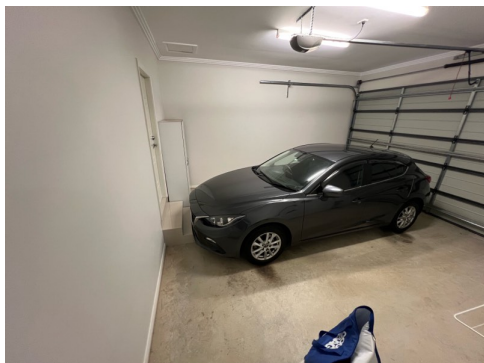
Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.









Noted Item

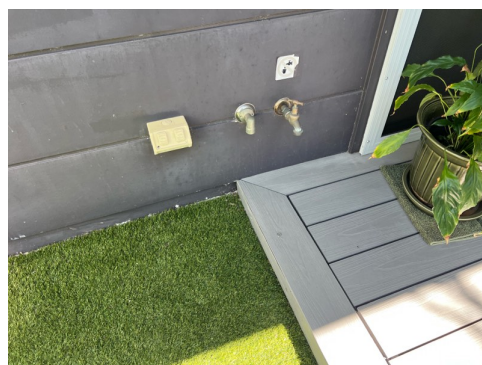
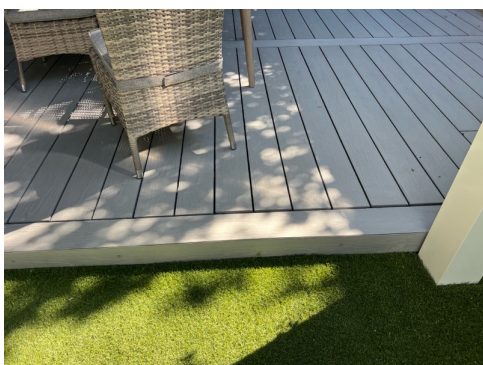
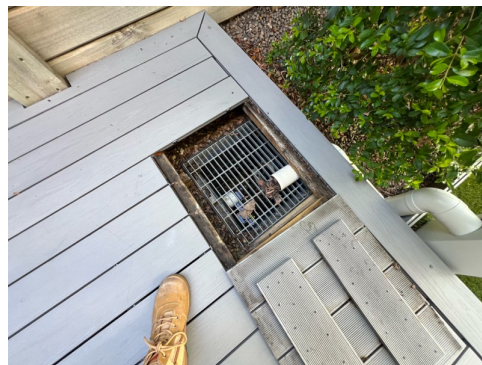
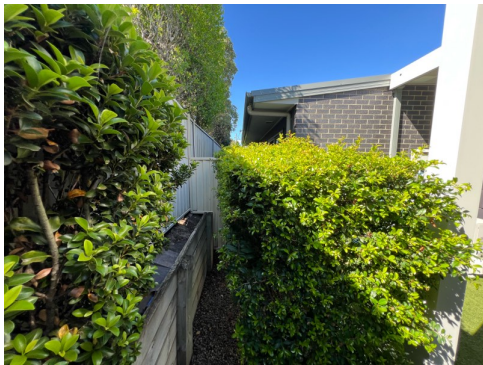
Building: Main Building

Location: All External Areas

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Noted Item

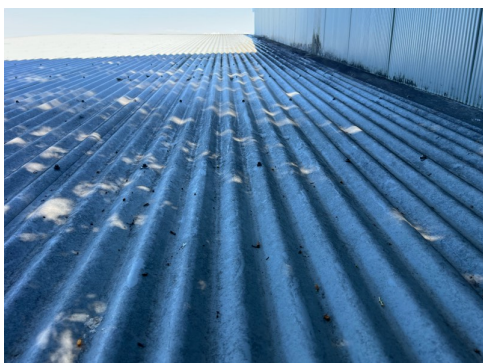
Building: Main Building

Location: Roof Exterior

Finding: Additional Photos

Information: Additional photos are provided for your general reference





Noted Item

Building: Main Building

Location: Roof Void

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Noted Item

Building: Main Building

Location: Bathrooms

Finding: Moisture Meter Readings - For Information Only

Information: Moisture testing was undertaken to selected accessible internal surfaces using a noninvasive moisture meter at the time of inspection. Readings obtained provide an indicative assessment only and are intended as a guide to assist in identifying areas that may warrant further investigation.

No invasive testing was carried out, and moisture readings can be influenced by a range of factors including material type, surface finishes, environmental conditions, and recent use of wet areas. As such, the results are provided for information purposes only and do not constitute a definitive assessment of concealed moisture conditions. Concealed defects may exist that were not evident at the time of inspection.







Noted Item

Building: Main Building

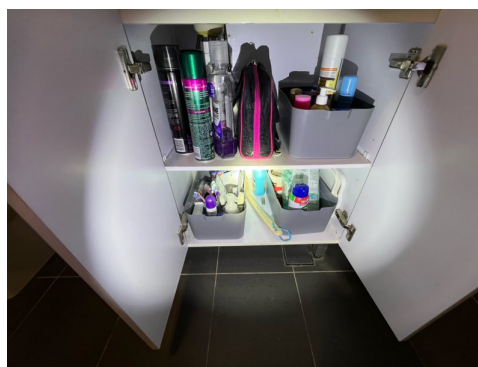
Location: All Wet Areas

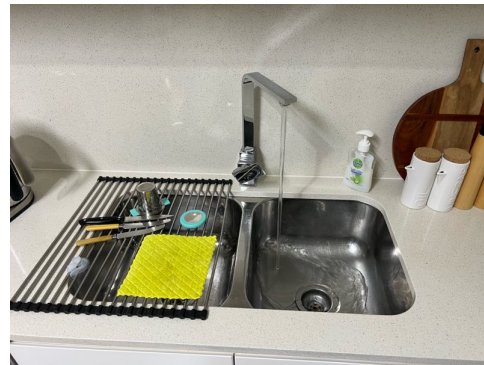
Finding: All wet areas

Information:

All taps, mixers, and toilets were tested for correct operation, except where access was restricted. The shower recess waterproofing was assessed by conducting noninvasive moisture readings to the walls in and around the shower recess. No abnormal or significant moisture variations were detected within the areas tested. In addition, a visual inspection of the surrounding wall surfaces did not reveal any visible signs of recent or ongoing water damage where inspection was possible.

Based on the above observations, there is no conclusive evidence to suggest the presence of an active shower recess leak at the time of inspection, other than any issues already identified elsewhere in this report. It is therefore reasonable to assume that the shower waterproofing is currently performing as intended. However, it should be noted that if the shower has not been used for an extended period prior to the inspection, moisture readings may not accurately reflect underlying conditions and may result in misleading outcomes. As this inspection is limited to visual and noninvasive methods in accordance with pre-purchase inspection standards, it is not possible to definitively confirm the absence of leaks. If a higher level of certainty is required, a specialist invasive inspection is recommended.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber

Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Termites Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.
Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the Civil Law (Sale of Residential Property) Act 2003. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.

b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.