



## Building Inspection Report

Inspection Date: Wed, 28 Jan 2026

Property Address: 167B Glenwood Park  
Dr, GLENWOOD, NSW, 2768, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on.

This Report reflects the opinion of the inspector based on the documents that have been provided.

This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail.

We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist.

If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection.

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Original Inspection Date    Wed, 28 Jan 2026

Modified Date                Tue, 03 Feb 2026

## The Parties

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Name of the Client: Dylan Kelly

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Name of the Principal(If Applicable):

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Job Address: 167B Glenwood Park Dr,GLENWOOD,NSW,2768,Australia

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Company Address and Postcode: West Pennant Hills 2125

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Company Email: Baulkhamhills@jimsbuildinginspections.com.au

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Company Contact Numbers: 0418 240 401

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## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

## Section B General

### General description of the property

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Building Type	Duplex, Residential, Semi-Detached
Company or Strata title	Unknown
Floor	Concrete
Furnished	Furnished
Occupied	Occupied
No. of bedrooms	3
Orientation	South East
Other Building Elements	Driveway, Footpath, Garage, Party Walls, Pergola, Retaining Walls
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Internal Joinery, Skirting Boards, Veranda Posts
Roof	Pitched, Tiles, Timber Framed
Storeys	Single
Walls	Brick Veneer, Brick Veneer (Timber Framed)
Weather	Fine

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## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Interior
- Roof Exterior - Part
- Roof Void - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity.
- Roof Exterior - Part
- Site - Part.
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

### Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling linings
- Debris in gutters
- Duct work
- Evidence of recently painted walls or ceilings
- External concrete or paving
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Landscaping
- Solar Panels
- Stored items
- Vegetation

- Wall linings
- Webbing of roof trusses - not trafficable

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

## Section D Significant Items

### Safety Hazard

#### Defects 1.01

Building:	Main Building
Location:	Yard - Back
Finding:	Electrical Wiring Not Installed Within Protective Conduit (External Covered Area)
Information:	Electrical wiring was observed installed without protective conduit to the underside of the roof structure within the external covered area. The wiring was visibly exposed and not adequately protected against mechanical damage or environmental factors, which is not consistent with good electrical installation practices.

Unprotected electrical wiring is vulnerable to damage from movement, moisture exposure, pests, or accidental contact, increasing the risk of electrical faults, shock, or fire. Electrical cabling in accessible or semi-exposed locations should be adequately enclosed within approved conduit for protection. It is recommended that a licensed electrician assess the installation and carry out rectification works as required. This defect is considered moderate and should be addressed in a timely manner to reduce safety risks.



### Major Defect

#### Defects 2.01

Building:	Main Building
Location:	Bathroom

Finding: Elevated Moisture Readings to Shower Wall Tiles

Information: Elevated moisture readings were recorded to the lower sections of the shower wall tiles when tested using a non-invasive moisture meter, with readings reaching high levels at the time of inspection. The testing was carried out to the tiled wall surfaces within the shower area. It should be noted that the shower appeared to have been recently used prior to the inspection, which is likely to have influenced the moisture readings obtained.

While elevated readings in recently used shower areas can be expected, the presence of other defects within the shower area, including missing sealant and cracked tiles, increases the potential risk of moisture penetration beyond the tiled surface. It is recommended that the shower area be monitored and, if elevated readings persist once the area has had sufficient time to dry, further assessment by a suitably qualified bathroom or waterproofing specialist may be warranted. Rectification of associated defects is recommended to reduce the risk of ongoing moisture-related issues.



## Defects 2.02

Building: Main Building

Location: Roof Void

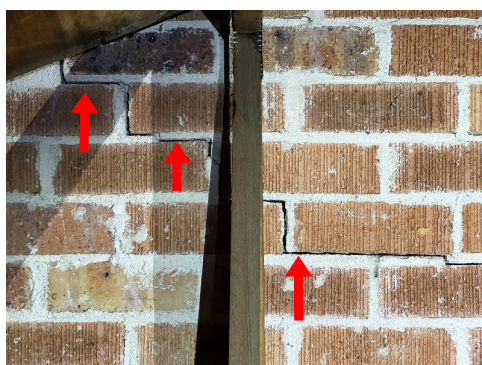
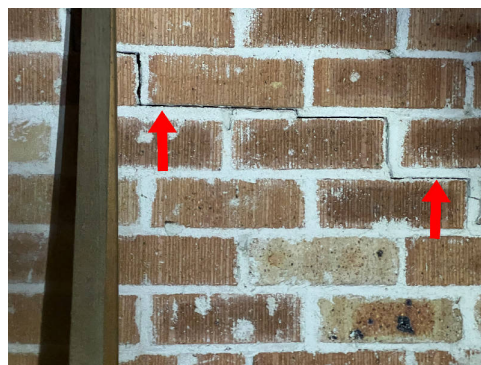
Finding: Major Cracking to Masonry Party Wall Within Roof Space

## Information:

Significant cracking was observed to the masonry party wall within the roof space at the time of inspection. The cracking follows a stepped pattern through the brickwork and mortar joints and is visible across multiple courses. This condition was observed adjacent to roof framing members and is considered more than minor or cosmetic cracking.

Cracking of this nature may be indicative of structural movement, differential settlement, thermal movement, or load-related stresses affecting the party wall. Due to the location and extent of the cracking, further investigation is warranted to determine the cause and assess the structural implications. It is recommended that a suitably qualified structural engineer or experienced builder assess the party wall and provide advice on any required repairs or monitoring. This defect is considered significant and should be addressed as a priority.





## Minor Defect

### Defects 3.01

Building:	Main Building
Location:	All Internal Areas
Finding:	Internal Cracking to Ceiling and Wall Junctions

## Information:

Cracking was observed to the internal ceiling lining and extending down the adjacent wall surface at the junctions between the ceiling, cornice, and wall. The cracking follows ceiling sheet joints and continues vertically down the wall below. This condition is commonly associated with building movement, minor settlement, or thermal expansion and contraction of materials. While this type of cracking is often cosmetic in nature, it can indicate ongoing movement if it continues to worsen or reappears after repair.

It is recommended that the cracking be assessed by a licensed plasterer or suitably qualified builder to confirm whether the issue is cosmetic only or if further investigation is required. Monitoring is advised in the short term, with repairs to be undertaken if the cracking increases, reopens after patching, or if cosmetic improvement is desired.





### Defects 3.02

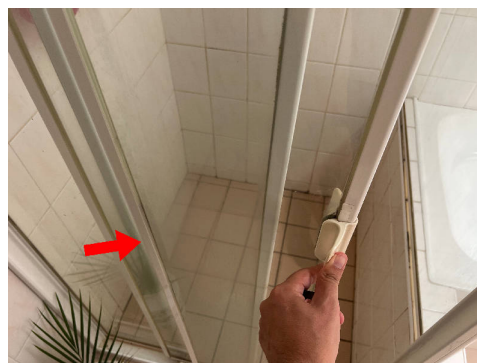
Building: Main Building

Location: Bathroom

Finding: Shower Screen Door Not Operating Correctly

Information: The shower screen door was observed to become stuck and does not open or close smoothly during operation. The door appears to bind within the frame and tracks, which may be due to misalignment, wear to the rollers or guides, or a build-up of debris within the track. This condition affects the normal operation of the shower screen and may lead to further wear or damage if continued to be forced during use.

It is recommended that a suitably qualified glazier or bathroom repair specialist assess the shower screen door to determine the cause of the obstruction and carry out the necessary adjustments or repairs. Rectification is recommended in the short term to restore proper operation and prevent further deterioration of the door components.



### Defects 3.03

Building: Main Building

Location: Bathroom

Finding: Missing and Deteriorated Sealant to Bathroom Wet Area Junctions

Information: Missing and deteriorated sealant was observed at multiple wet area junctions within the bathroom, including the shower wall to floor junction, around the bath tub perimeter, and to the vanity splashback and adjacent junctions. Sealant in these locations is intended to provide a flexible, water-resistant barrier to prevent moisture from penetrating behind tiled finishes and fixtures. The absence or failure of sealant at these junctions compromises this barrier and allows water to migrate into concealed areas.

This condition increases the risk of moisture ingress, deterioration of waterproofing membranes, and concealed damage to wall and floor substrates over time, particularly in regularly used wet areas. It is recommended that a suitably qualified tiler or bathroom repair specialist reapply appropriate waterproof sealant to all affected junctions as a single scope of works. Rectification is recommended in the short term to reduce the risk of ongoing moisture-related issues and potential future damage.





### Defects 3.04

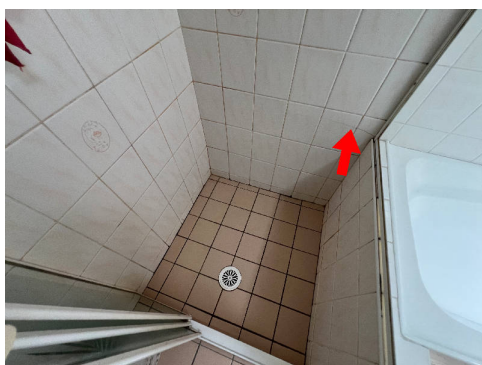
Building: Main Building

Location: Bathroom

Finding: Cracked Wall Tile Within Shower Area

Information: A cracked wall tile was observed within the shower area, located to the tiled wall adjacent to the shower screen. The cracking runs through the tile surface and compromises the integrity of the tile finish. Cracked tiles in wet areas can occur due to building movement, impact damage, or stress within the substrate behind the tile.

This condition may allow moisture to penetrate behind the tiled surface, increasing the risk of water ingress, deterioration of the waterproofing membrane, and concealed moisture damage over time. It is recommended that a suitably qualified tiler assess the affected area and replace the cracked tile in the short term to maintain the integrity of the shower waterproofing system and prevent further deterioration.



### Defects 3.05

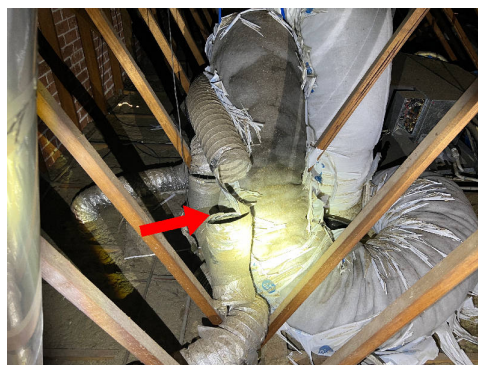
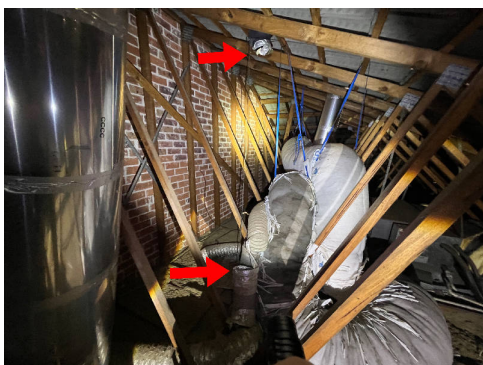
Building: Main Building

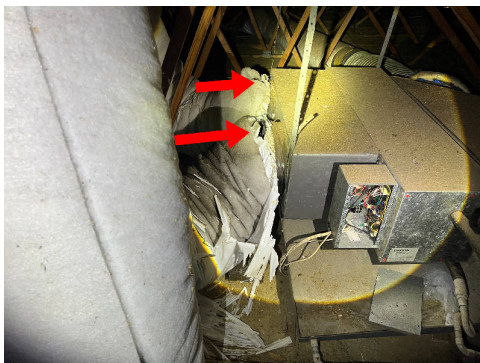
Location: Roof Void

Finding: Disconnected and Damaged Air Conditioning Ductwork Within Roof Space

Information: Disconnected ductwork and tearing to sections of the air conditioning ducts were observed within the roof space at the time of inspection. The affected ducts appear to be partially detached from the main system and show visible damage to the flexible duct material. This condition was identified adjacent to the air handling unit and associated duct runs.

Disconnected and damaged ductwork can significantly reduce the efficiency and effectiveness of the air conditioning system by allowing conditioned air to escape into the roof space rather than being delivered to internal rooms. This may result in poor system performance, increased running costs, and uneven temperature control throughout the dwelling. It is recommended that a suitably qualified air conditioning technician assess and repair or replace the affected ducting as required in the short term to restore proper system operation.





### Defects 3.06

Building: Main Building

Location: Roof Void

Finding: Air Conditioning Unit Not Securely Fixed Within Roof Space

Information: The air conditioning indoor unit was observed to be inadequately secured within the roof space at the time of inspection. The unit exhibited noticeable movement and was able to swing when lightly contacted, indicating that the supporting fixings or hanging straps are insufficient or not properly secured.

An unsecured air conditioning unit may place strain on associated ductwork, refrigerant lines, and electrical connections, increasing the risk of damage, disconnection, or reduced system performance over time. It is recommended that a suitably qualified air conditioning technician assess the installation and securely fix the unit in accordance with manufacturer requirements. Rectification is recommended in the short term to prevent further movement and potential damage to the system components.



### Defects 3.07

Building: Main Building

Location: Roof Void

Finding: Bathroom Exhaust Fan Venting Into Roof Space

Information: The bathroom exhaust fan was observed to discharge air directly into the roof void rather than being ducted to an external vent. The fan unit and associated ducting were located within the roof space, with no effective connection to an external outlet evident at the time of inspection.

Venting moist air into the roof space can lead to a build-up of condensation, which may contribute to moisture-related issues such as mould growth, deterioration of insulation, and potential damage to roof timbers over time. It is recommended that a suitably qualified contractor or electrician install appropriate ducting to vent the bathroom exhaust fan to the exterior of the building. Rectification is recommended in the short to medium term to reduce the risk of ongoing moisture-related issues within the roof space.



### Defects 3.08

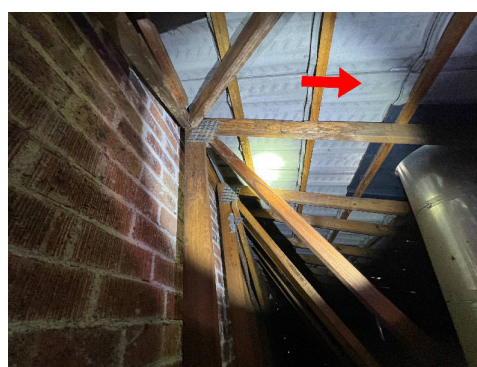
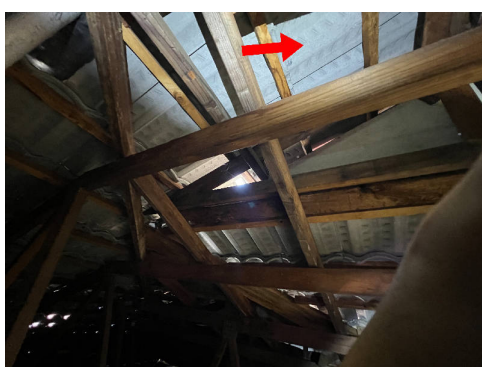
Building: Main Building

Location: Roof Void

Finding: No Sarking Installed Beneath Roof Covering

**Information:** No sarking was observed beneath the roof covering within the roof space at the time of inspection. The underside of the roof tiles and roof battens were visible, with no reflective foil or breathable membrane installed. This condition appears consistent with the original method of construction for dwellings of this age and type.

While sarking is not always required in older homes, the absence of sarking can allow wind-driven rain, dust, and condensation to enter the roof space and may reduce thermal efficiency. It is recommended that this condition be noted for future reference, particularly if roof works or re-roofing are undertaken, at which time the installation of sarking could be considered to improve weather protection and energy performance.

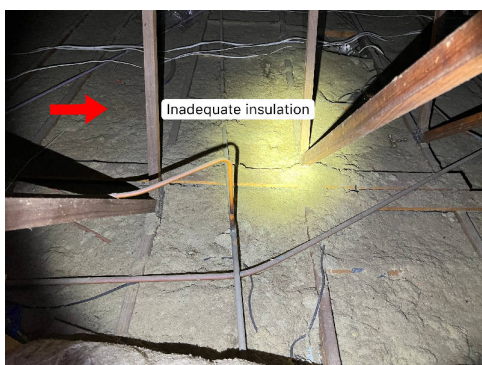


### Defects 3.09

**Building:** Main Building  
**Location:** Roof Void  
**Finding:** Inadequate Ceiling Insulation Within Roof Space

**Information:** Ceiling insulation within the roof space was observed to be limited and uneven in coverage at the time of inspection, with areas of the ceiling lining either insufficiently insulated or not insulated at all. This condition was evident across multiple sections of the roof space and appears consistent with older-style construction or insulation that has not been upgraded over time.

While this condition does not present a structural concern, inadequate insulation may reduce the thermal efficiency of the dwelling and contribute to increased heating and cooling costs. It is recommended that the insulation be upgraded or supplemented to improve energy efficiency and internal comfort. This item is considered a minor defect and is noted for client awareness and future improvement.



### Defects 3.10

Building: Main Building

Location: Roof Void

Finding: Gap to Roof Tile Coverage Allowing Daylight Entry

Information: A visible gap was observed through the roof tile covering within the roof space, allowing daylight to be seen between tiles. This condition indicates that roof tiles are either displaced, inadequately overlapped, or missing in this area. The gap was evident from within the roof void during the inspection.

Gaps in roof tile coverage can allow wind-driven rain, dust, pests, and debris to enter the roof space and may increase the risk of moisture-related damage over time. It is recommended that a licensed roofing contractor assess the affected area and reinstate proper tile positioning or replace any damaged or missing tiles as required. Rectification is recommended in the short term to maintain the weatherproof integrity of the roof covering.



### Defects 3.11

Building: Main Building

Location: Yard - Back

Finding: Uneven and Displaced Pavers to Rear Yard

Information: Several areas of the paved surface within the rear yard were observed to be uneven, with individual pavers having settled or become displaced over time. This condition was evident across multiple sections of the paved area, resulting in an inconsistent walking surface and visible gaps between some pavers.

Uneven pavers may present a minor trip hazard and can worsen over time due to ground movement, tree root activity, or inadequate base preparation. It is recommended that a suitably qualified landscaper or paving contractor re-level and re-bed the affected pavers to improve safety, functionality, and appearance. This item is considered a minor defect and is noted for maintenance and future rectification.





### Defects 3.12

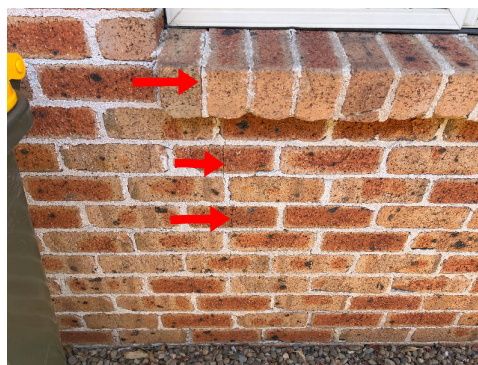
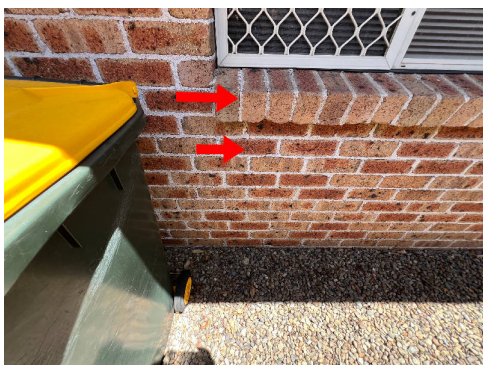
Building: Main Building

Location: Yard - Back & Side

Finding: Cracking to External Brickwork at Rear Corner and Side Elevation

Information: Cracking was observed to the external brickwork at the rear corner and along the side elevation of the dwelling at the time of inspection. The cracking appears predominantly vertical and extends through several courses of masonry, including areas beneath a window opening. The cracking was visible externally and appears consistent with movement-related stresses rather than isolated mortar shrinkage.

Cracking of this nature may be associated with footing movement, soil reactivity, thermal expansion, or long-term settlement. While no immediate signs of structural failure were evident at the time of inspection, the extent and location of the cracking warrant further assessment to determine the cause and whether repairs or monitoring are required. It is recommended that a suitably qualified builder or structural engineer inspect the affected areas and provide advice on appropriate rectification. This defect is considered moderate and should be addressed to prevent further deterioration.



### Defects 3.13

Building: Main Building  
Location: Yard - Back  
Finding: Pergola Structure Not Adequately Secured

## Information:

The pergola structure was observed to be inadequately secured at the time of inspection, with visible gaps and insufficient fixing between the pergola framing members and the adjacent structure. The connection appears loose, and movement was evident, indicating the pergola is not firmly anchored as intended.

An inadequately secured pergola may become unstable over time and could pose a safety risk, particularly during strong winds or adverse weather conditions. It is recommended that a suitably qualified carpenter or builder inspect the pergola and install appropriate fixings or bracing to ensure the structure is securely anchored and compliant with expected construction practices. This defect is considered moderate and should be rectified to reduce the risk of movement or damage.

**Defects 3.14**

Building: Main Building

Location: Yard - Back

Finding: Sagging Ceiling Lining to External Covered Area

Information: The ceiling lining to the external covered area was observed to be sagging and uneven at the time of inspection. This condition indicates that the lining has lost rigidity and may no longer be adequately supported or fixed to the framing above. The issue was visually evident across the affected section of the ceiling.

Sagging ceiling linings can occur due to age-related deterioration, moisture exposure, or failure of fixings, and may worsen over time if not addressed. There is a risk that sections of the lining could further deform or detach. It is recommended that a suitably qualified carpenter or builder inspect the ceiling structure to determine the cause and carry out appropriate repairs or replacement as required. This defect is considered minor and should be rectified to prevent further deterioration and potential safety concerns.



### Defects 3.15

Building: Main Building

Location: Roof Exterior

Finding: Gutters Blocked by Leaf and Debris Build-Up

## Information:

The roof gutters were observed to be significantly blocked with accumulated leaves and organic debris along sections of the roof perimeter at the time of inspection. This condition restricts the effective flow of rainwater and prevents the guttering system from operating as intended.

Blocked gutters can lead to water overflow during rainfall, which may contribute to moisture penetration to eaves, fascia boards, external walls, and potentially internal areas over time. Ongoing blockage may also accelerate deterioration of gutter components. It is recommended that the gutters be cleaned and maintained by a suitably qualified contractor or competent person. Regular maintenance should be undertaken, particularly in areas surrounded by vegetation, to prevent recurrence. This item is considered a maintenance defect and should be addressed in the short term.





### Defects 3.16

Building: Main Building

Location: Roof Exterior

Finding: Roof tiles - Weathered

Information: The exterior tiled roof covering was generally observed to be in fair condition for its apparent age; however, isolated deterioration was noted to the mortar bedding and pointing, particularly within valley areas. Minor cracking and areas of loose or degraded mortar were evident at the time of inspection, indicating that previous pointing materials have begun to break down due to age and weather exposure.

Deteriorated or cracked mortar within roof valleys can compromise the weatherproofing performance of the roof covering and may allow water ingress during heavy rainfall. If left unaddressed, this condition may lead to secondary defects such as minor roof leaks and moisture exposure to internal roofing components. Re-pointing and re-sealing of affected areas may be considered as an interim maintenance measure to assist in preserving and extending the service life of the existing roof tiles. It is recommended that a suitably qualified roofing contractor assess the roof and provide advice regarding appropriate remedial works required in the short to medium term.



### Defects 3.17

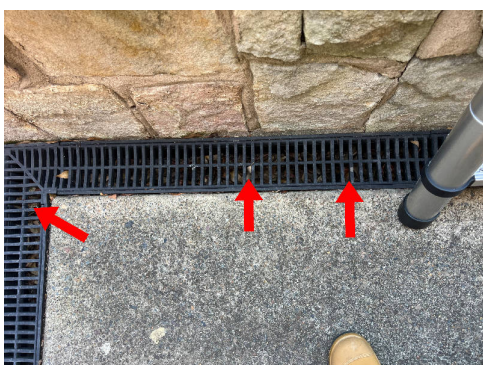
Building: Main Building

Location: Yard - Front

Finding: Surface Drainage Impeded by Debris Blocked Drainage Grates

Information: The surface drainage system adjacent to the dwelling was observed to be impeded at the time of inspection due to drainage grates being blocked with accumulated leaf debris. This was noted along the paved pathway adjoining the external wall, where water runoff is directed toward the drains.

Blocked drainage points may prevent effective removal of surface water during rainfall, which can result in water ponding against paving and external walls. Prolonged moisture exposure in these areas may contribute to deterioration of finishes and increase the risk of moisture ingress over time. It is recommended that the drains be cleared of debris and maintained on a regular basis to ensure effective surface water discharge. This item is considered a maintenance issue and should be addressed in the short term.



### Defects 3.18

Building: Main Building

Location: Yard - Front

Finding: Damaged Stone Step

Information: The corner stone to one of the external steps was observed to be cracked and partially broken. The defect is located to the edge of the stone step adjacent to the paved walkway in the front yard area. This damage presents a potential trip hazard to occupants and visitors, particularly where the broken edge is uneven and not readily visible when approaching the step.

If left unattended, the damaged stone is likely to continue deteriorating due to foot traffic and weather exposure, increasing the risk of injury and further material breakdown. It is recommended that a suitably qualified landscaper or concreter repair or replace the damaged stone section to reinstate a safe and even walking surface. Remedial works should be carried out in the short term.



## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Licensed Electrician
- Licensed Plumber
- Licensed Plumber specialising in Roof Plumbing
- Registered Roofing Contractor
- Registered/Licensed Builder
- Structural Engineer

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

#### Report Summary

The inspection of the property identified a combination of major defects, minor defects, and general maintenance items that should be carefully considered by the client prior to purchase. While the dwelling remains generally serviceable for its age, a number of issues were observed that will require rectification to reduce the risk of further deterioration and to improve safety and performance.

Major defects were identified, including significant cracking to the party wall and external brickwork, which may indicate structural movement and requires further assessment by a suitably qualified structural engineer. Roofing defects were also noted, including gaps through roof tiles and deteriorated mortar to ridge capping and valleys, increasing the risk of water ingress. These items should be prioritised and addressed as a matter of urgency.

A range of minor defects were identified throughout the property, including damaged and disconnected air-conditioning ductwork, unsecured air-conditioning unit within the roof void, bathroom ventilation ducting not adequately connected, inadequate insulation coverage, sagging external ceiling linings, unsecured pergola framing, electrical wiring not installed within conduit, uneven paving, damaged external step stonework, blocked gutters, and drainage points obstructed by debris. While not immediately critical, these defects may lead to further damage or safety concerns if not rectified.

Maintenance-related items were also observed, such as general roof tile weathering, leaf debris accumulation to gutters and drains, lack of door stops, deteriorated sealant to wet areas, and staining to internal surfaces consistent with age, usage, or minor moisture exposure. Ongoing maintenance is recommended to preserve the condition of the dwelling.

Overall, the property will require short- to medium-term expenditure to address both structural and non-structural issues. It is strongly recommended that the client obtain further advice and repair quotations from appropriately licensed trades, particularly a structural engineer and roofing contractor, prior to proceeding.

For further information, advice and clarification please contact Greg Hallal on 0418 240 401



## The following items were noted as -For your information

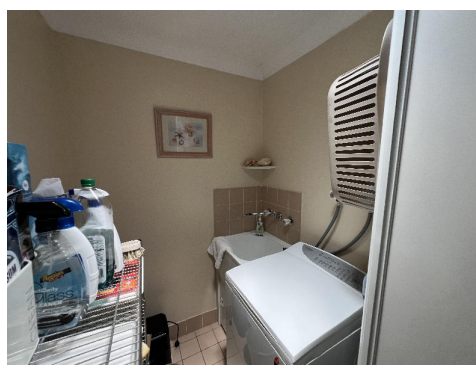
### Noted Item

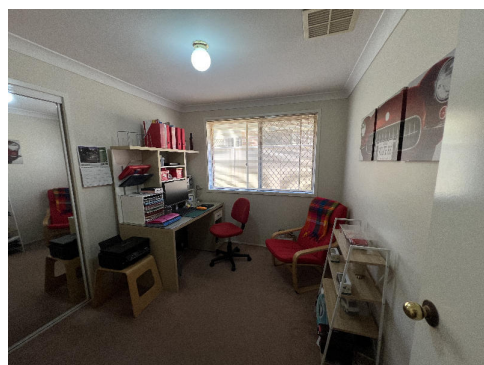
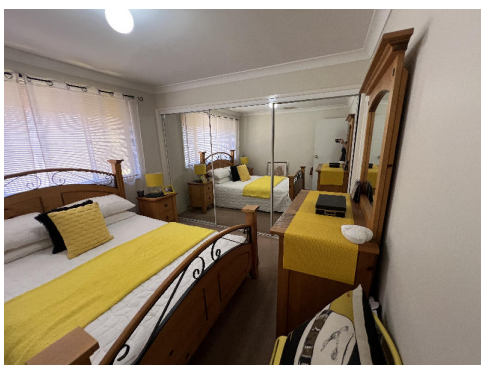
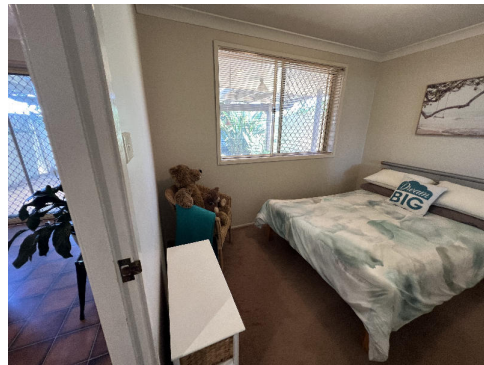
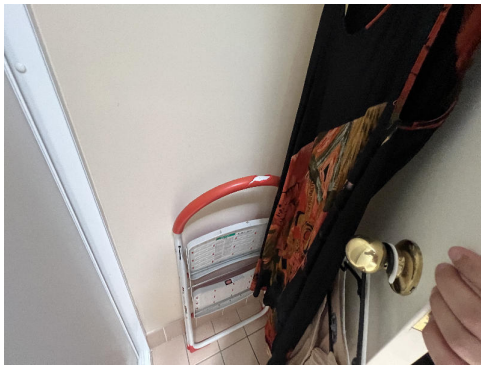
Building: Main Building

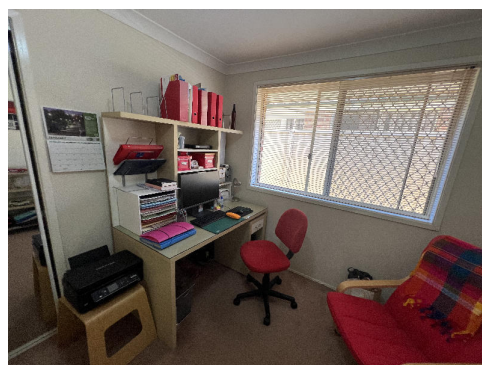
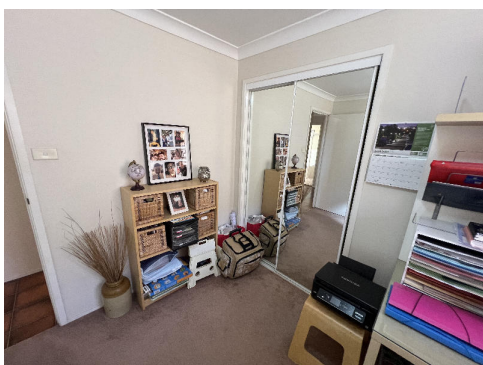
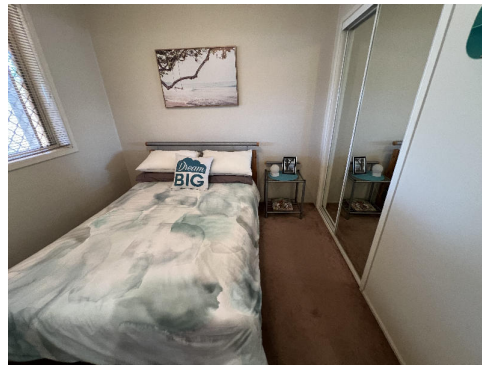
Location: All Internal Areas

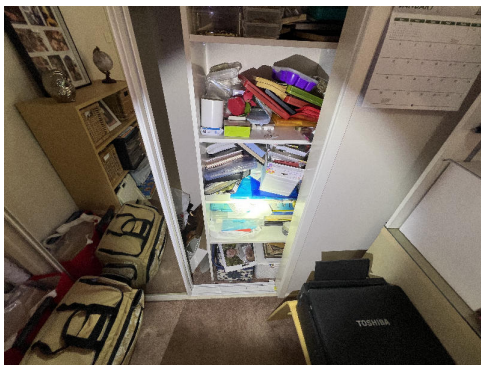
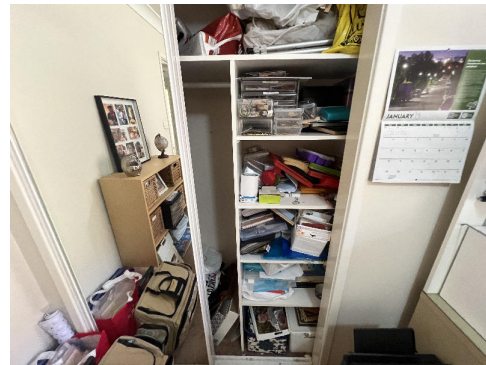
Finding: Additional Photos - Obstructions and Limitations

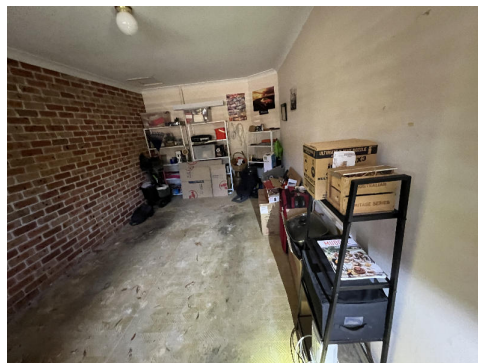
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.











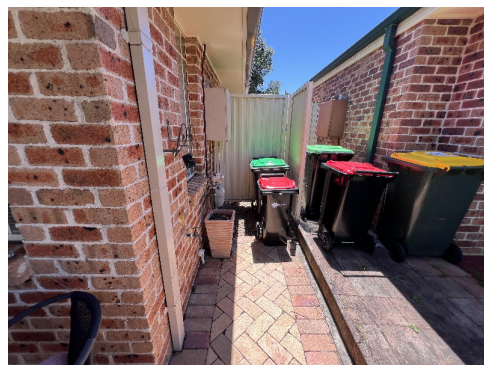
## Noted Item

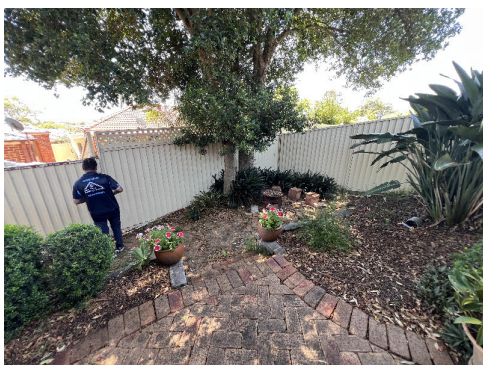
Building: Main Building

Location: All External Areas

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





## Noted Item

Building: Main Building

Location: Roof Exterior

Finding: Additional Photos

Information: Additional photos are provided for your general reference





### Noted Item

Building: Main Building

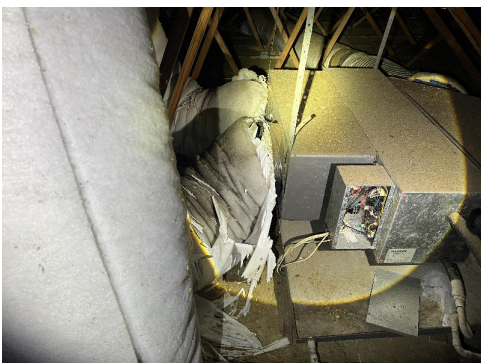
Location: Roof Void

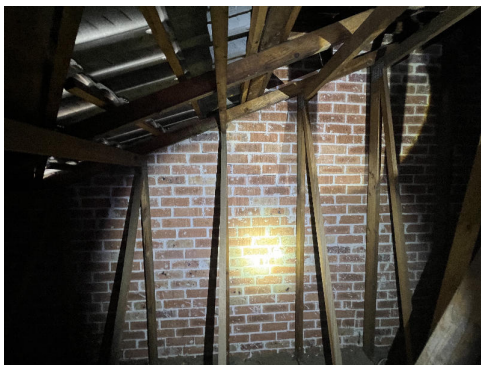
Finding: Additional Photos

Information: Additional photos are provided for your general reference









### Noted Item

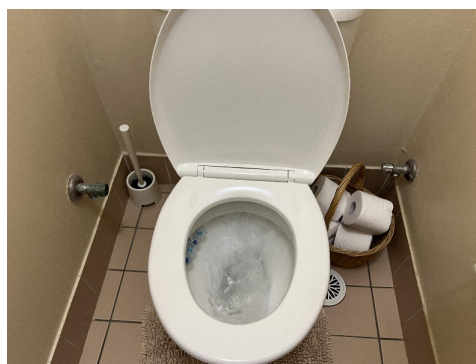
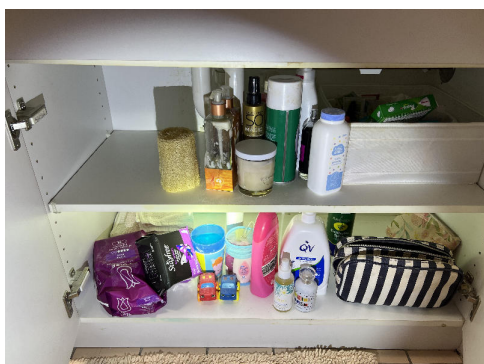
Building: Main Building

Location: All Internal Areas

Finding: Plumbing fixtures

Information: At the time of inspection, all readily accessible plumbing fixtures, including basin mixers, shower mixers, toilets, and visible waste traps, were operated and tested for functionality. All fixtures tested were observed to be functioning as intended, with no visible leaks, blockages, or abnormal operation noted at the time of inspection.

Moisture testing was also carried out to shower walls and adjacent areas using a non-invasive moisture meter. It should be noted that testing is limited to the time of inspection and accessible areas only, and concealed defects may exist that were not evident at the time of inspection.





## Noted Item

Building: Main Building

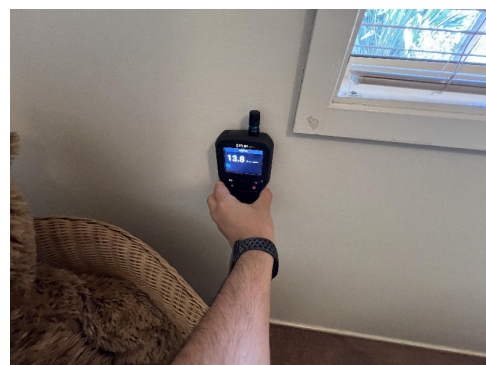
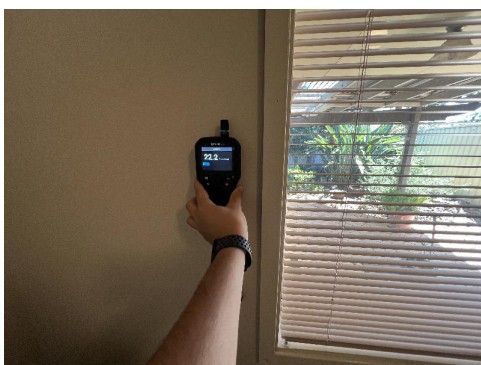
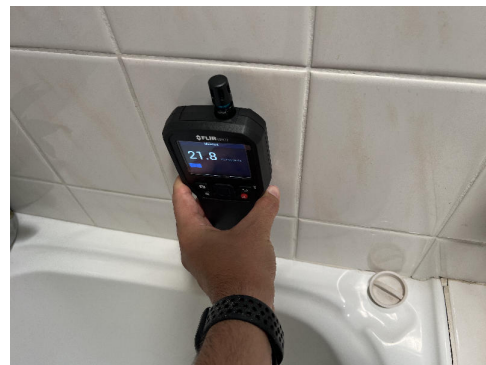
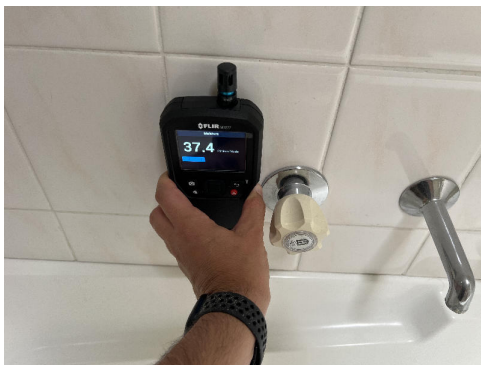
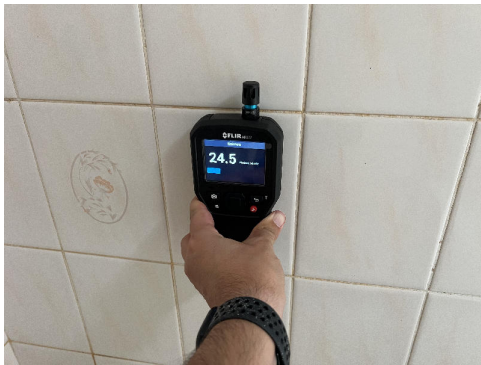
Location: All Internal Areas

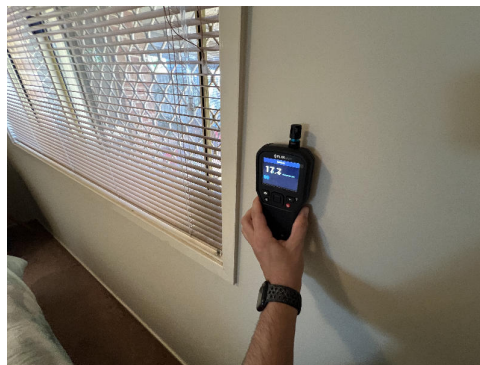
Finding: Moisture Meter Readings - For Information Only

Information: Moisture testing was undertaken to selected accessible internal surfaces using a noninvasive moisture meter at the time of inspection. Readings obtained provide an indicative assessment only and are intended as a guide to assist in identifying areas that may warrant further investigation.

No invasive testing was carried out, and moisture readings can be influenced by a range of factors including material type, surface finishes, environmental conditions, and recent use of wet areas. As such, the results are provided for information purposes only and do not constitute a definitive assessment of concealed moisture conditions. Concealed defects may exist that were not evident at the time of inspection.







### Noted Item

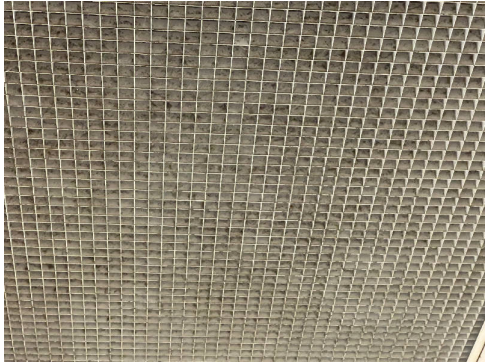
Building: Main Building  
Location: All Internal Areas  
Finding: General Maintenance Items Observed

## Information:

Several general maintenance-related items were observed throughout the property at the time of inspection. These included staining to the ceiling above the kitchen area consistent with a build-up of cooking vapours, the absence of a door stop to one of the bedroom doors, and air conditioning components requiring attention, including a loose ceiling vent and a dirty return air grille and visible ducting. These conditions are commonly associated with normal wear, use, and routine maintenance items rather than structural defects.

While no immediate safety or structural concerns were identified in relation to these items, addressing them would improve the overall presentation, functionality, and longevity of the building components. It is recommended that these matters be attended to as part of routine maintenance, including improving kitchen ventilation where possible, installing an appropriate door stop, securing the air conditioning vent, and cleaning or servicing the air conditioning system as required.





## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

## NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.

- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.