



## Building Inspection Report

Inspection Date: Tue, 13 Jan 2026

Property Address: 12 Ferntree Ave, WARBURTON, VIC, 3799,  
Australia



## Contents

	The Parties
<b>Section A</b>	Results of inspection - summary
<b>Section B</b>	General
<b>Section C</b>	Accessibility
<b>Section D</b>	Significant Items
<b>Section E</b>	Additional comments
<b>Section F</b>	Annexures to this report

Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 13 Jan 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 12 Ferntree Ave, WARBURTON, VIC, 3799, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Mark Thorpe Ph: 0456 295 434  
Email: Croydon@jimsbuildinginspections.com.au

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DBU-13373

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Company Name: Jim's Building Inspections (Croydon)

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Company Address and Postcode: Lilydale 3140

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Company Email: Croydon@jimsbuildinginspections.com.au

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Company Contact Numbers: 0456 295 434

### Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: N/A

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>		✓
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in poor condition with major and minor defects found.

## Section B General

### General description of the property

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Building Type	Residential
Company or Strata title	No
Floor	Suspended Timber Frame, Slab on ground
Furnished	Furnished
No. of bedrooms	3
Occupied	Occupied
Orientation	South West
Other Building Elements	Carport, Driveway, Pergola, Shed
Other Timber Bldg Elements	Fascias, Floorboards, Skirting Boards, Deck, Architraves, Door Frames, Doors, Window Frames
Roof	Corrugated Iron (e.g. Colourbond), Flat
Storeys	Double
Walls	Weatherboards, Plastic weatherboards
Weather	Overcast

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## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Subfloor due to lack of access.
- Ceiling Cavity.
- Areas of skillion or flat roof - no access

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

### Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Areas of skillion or flat roof - no access
- Debris in gutters
- Decking
- Floor coverings
- External concrete or paving
- Lack of clearance - subfloor
- Furniture

- Subfloor was not able to be inspected - there was no access to this area.
- Stored items
- Solar Panels
- Unsafe to Access Roof - No Fall Protection System

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

No evidence was found

### Major Defect

#### Defects 2.01

Building:	Building 1
Location:	Upper front deck and balustrade and roof over > All Areas
Finding:	Front deck - balustrading and roof
Information:	The front deck area balustrade and roof over showed signs of poor building practices and were highly suspected to be not built to meet the National construction code (NCC) and Australian Standards. This report does not cover non-compliance issues however it is the opinion of the inspector that the front balcony deck, balustrade and roof do not appear to have been built or inspected by the relevant authorities. These areas are deemed to be unsafe for occupants and young children and will require action and remedial work to rectify to ensure the front deck, balustrade and roof over meets the required compliance and building codes.

Poor trade practices are generally cause of these types of suspected structural defects and issues. Further inspection will be required by a structural engineer and licensed builder, they should be appointed to further inspect the structural integrity of the affected areas and to assess the safety of the associated structures. The engineer can also nominate a scope of works required for rectification and the licensed builder can appoint the relevant contractors to provide the necessary works to all of these areas deemed to be necessary.

Deck areas, balustrades and roof areas throughout the property: - This inspection of the front deck areas, balustrade and roof does not in any way indicate that these areas has or has not been built with council approval or to the Australian building standards at the time of this inspection. The deck, balustrade and roof structure over these areas, whilst appearing to be providing enough adequate structural support, did not appear to be in a stable condition, it is highly suspected that these areas will not hold the amount of persons the decks total area would hold.

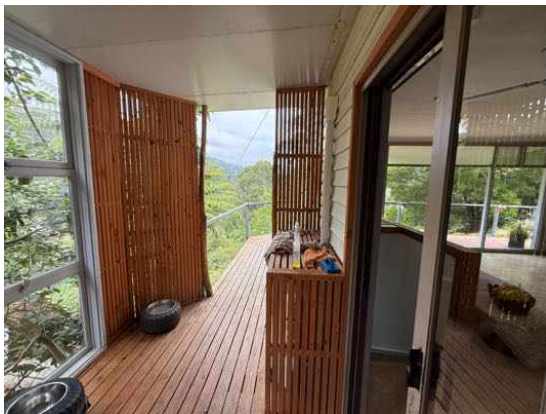
The client is highly recommended to ensure these deck, balustrade and roof structures be inspected by Structural engineer to ensure that these areas complies and meets all council requirements, all contemporary building practices and the current Australian building Standards.

Nothing contained in this report should be taken as an indicator that an assessment has been made, on the deck structure, as to if it is suitable for any specific number of people or purpose, this can only be done by a qualified engineer. For the purpose of

this report, the structure includes elevated decks, balustrading, roof areas, pergolas, balconies, handrails, and stairs.

Where any elevated structures, such as a (deck, balustrading, balcony, verandah, stairs etc) are present, these types of structures are designed to accommodate people. Client is therefore highly recommended to, and **MUST** ensure this structure has been checked by an engineer or other suitably qualified person to ensure it is suitable for purpose. Client is also recommended to ensure that any maintenance or other building elements, that may be required or deemed necessary, is rectified immediately or in the very short term future. Care must be taken, not to overload these areas and structures.

Deck structures, balustrades stairs etc, should be checked on a yearly basis to ensure that the structural integrity does not falter over time.



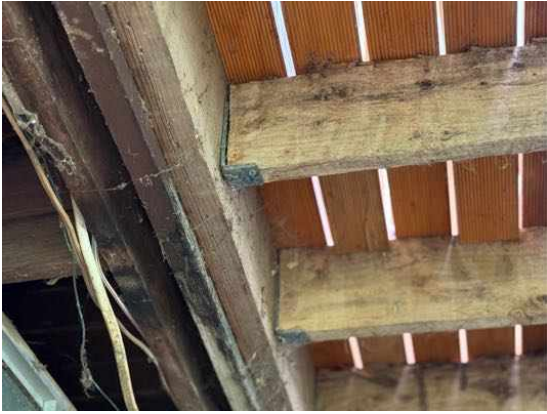


















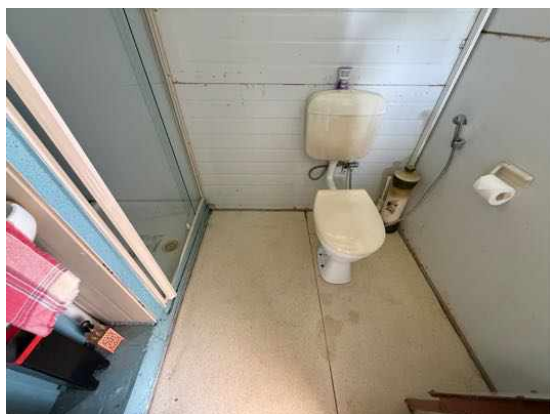


**Defects 2.02**

Building: Building 1  
Location: Lower storey bathroom > All Areas  
Finding: Lower bathroom was not adequately waterproof and does not meet Australian standards  
Information: The lower bathroom was observed to not be tiled or adequately sealed or waterproofed to meet current Australian standards and requirements. The lower bathroom areas require remedial work to prevent major structural damage and structural issues overtime. It is highly recommended that the client appoint a licensed builder to carry out remedial work to rectify to meet current building standards.







## Minor Defect

### Defects 3.01

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Gutters
Information:	Upon inspection of the roof gutters were observed to have excessive leaf matter and debris. Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained. Consultation with a licensed roof plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a relevant tradespersons in the near future.



Defects 3.02

Building: Building 1  
Location: All Areas > All Areas  
Finding: Roof sheets - Not secure  
Information: Upon inspection of the exterior roofing it was found that the roof sheets have had previously been fixed, however these fixings have been dislodged and the roofing iron is no longer adequately secured to the adjoining roof structure. Loose roof sheets are susceptible to water penetration, exposing the surrounding associated area to internal roof leaks and water damage.

Adequate fixing of all loose roof sheets should be conducted as soon as possible to ensure no further damage is incurred in the future. The client should appoint a roof plumber or engage the appropriate tradesperson to perform necessary works deemed to be necessary to rectify these areas. This is required in the short term future.







**Defects 3.03**

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Roof flashing - non-standard  
 Information: The roof flashing that has been installed fireplace chimney roof pipe is not the correct flashing that should be used and not considered to be adequate as a chimney flashing. This type of flashing is normally used as a bottom timber window flashing, it is not suitable as a roof flashing. However at the moment the roof flashing does appear to be in an acceptable condition, (fulfilling its purpose for the moment) in ensuring the roof covering is weather-tight. Client should appoint a roof plumber to remove and replace this flashing as soon as possible, in the short term future.





**Defects 3.04**

Building: Building 1  
Location: All Areas > All Areas  
Finding: Flashings, gutter and downpipe missing  
Information: Numerous flashings, gutters and downpipes to numerous structures throughout the property were observed not to have been installed and missing Flashing, gutters and downpipes are designed to keep under roof areas water tight and to direct water flow from the roof structures away and into the stormwater drainage system to prevent excess water and moisture away from the exterior of the home, subfloor and surrounding areas.

Where flashings, gutters and downpipes have not been fitted or are missing, these roof structures will not adequately sealed against water and external weather conditions. It is therefore always necessary to ensure flashings, gutters and downpipes and other relevant drainage is installed around your home.













### Defects 3.05

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Building elements that are rusted, corroded and or show wood rot
Information:	Some exterior building elements and materials that show evidence of rust, corrosion or wood rot has likely developed as a result of excessive exposure to moisture, harsh weather conditions and or inadequate coatings. A surface that is found to be rusted or wood rot has damage and is deteriorating, is likely to worsen if not addressed and left unmanaged, it is therefore recommended that the relevant tradespersons remove and rectify these areas as much as possible, clean and re-paint these areas.

Where possible, the use of galvanized (treated) metals or aluminium coated metals aid in rust prevention, as does regular general maintenance. Rust formation can be controlled with coatings, such as paint, that isolate the iron from the environment. Rusting and corrosion should be managed by ideally removing or limiting the affected surface from exposure to moisture and harsh weather conditions. A qualified painter or other relevant tradespersons may be appointed to paint affected areas and a qualified carpenter to replace any building elements that have been severely affected by rust or water damage.

Wood rot is suspected to be affecting building elements around the exterior areas. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. it is

suspected to be due to frequent exposure to rain and other weather conditions that make these building elements susceptible to accelerated deterioration.

Early intervention and regular maintenance such as painting will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the wood deterioration or rot should be identified and addressed in a suitable manner. Replacement of the affected building elements may be a necessary step in protecting surrounding areas from secondary defects and deterioration. A qualified carpenter or registered builder may also be required to replace affected building materials deemed to be necessary.



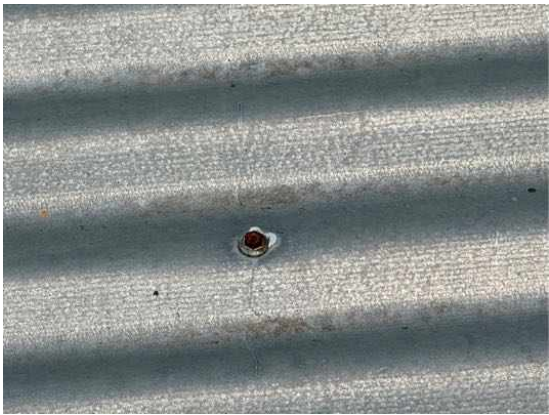














**Defects 3.06**

Building: Building 1  
Location: All Areas > All Areas  
Finding: Numerous broken, dislodged and deteriorated wall linings  
Information: The back room wall linings to the rear of the home, are suspected to have been constructed with the use of a plastic weatherboard construction material. The observable areas of wall sheeting showed numerous areas of observed damage, dislodged or deterioration, indicating that wall linings are not currently adequately sealed and protected from the ingress of vermin, spiders, insects and other pests.

Where the client elects to leave these damaged and deteriorated wall linings, further damage or deterioration to the wall and floor structures is suspected. Remedial work is required to repair these areas in the short- to medium-term as solution to reduce the risk presented by excessive water and moisture.











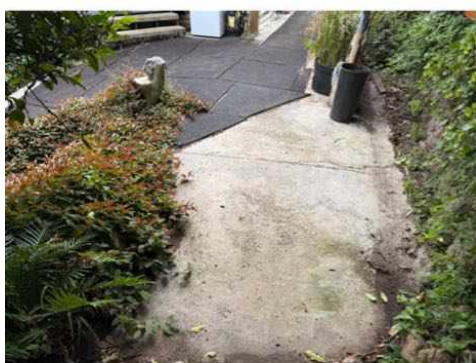




### Defects 3.07

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Exterior paving - Numerous areas of unevenness and undulations
Information:	Numerous areas throughout the exterior areas of paving and paths showed numerous areas of unevenness and undulations. These numerous areas of the external paths and paving were considered to be creating potential trip hazards for children and occupants in these areas. These areas are suspected to have been subjected to tree roots, poor installation, or paving sections have dropped or lifted due poor preparation in the substrate before paving is laid.

Where paving creates a trip hazard, personal injury may ensue if due caution is not taken by occupants and all other persons within this area. Client may consider re-paving of these areas, where required or deemed necessary to remedy these types of situations. Further consultation with a landscaper or other specialists in these areas is recommended.









**Defects 3.08**

Building: Building 1  
Location: All Areas > All Areas  
Finding: Site stormwater drainage  
Information: Due to the numerous levels throughout the property, it is important for the excess water and moisture to be drained into exterior perimeter aggy drains or stormwater drainage system. If excessive water and moisture is not restricted it is highly suspected that it will travel under the home and throughout the subfloor areas. It is highly recommended that the client ensure that site drainage is working and free from excess leaf matter, dirt and debris.

The subfloor areas were not able to be adequately inspected however it is highly

suspected to be travelling throughout the subfloor areas. The subfloor areas were not able to be accessed at the time of the inspection, making it impossible to see if adequate stormwater drainage had been installed. These areas are suspected to be highly susceptible to excessive water and moisture from the hill run- off, it will therefore require adequate stormwater drainage - aggy drains directed away from these perimeter exterior walls.

These aggy and stormwater drainage will need to be cleared periodically, all surface drainage and sub soil drainage systems must be protected from debris, soil, sand or any other material which may impede the operation of the site drainage. The purpose of the stormwater drainage is to drain off ground, surface and some sub-surface water and moisture and ensure it gets carried away from areas where secondary defects are possible if left unmanaged.







### Defects 3.09

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Flyscreens
Information:	Numerous flyscreens were found to be missing to the windows throughout the home at the time of inspection. Whether the flyscreens have not been installed or have been removed for maintenance and or painting purposes, this missing building element detracts from the operational state of the window.

Where not replaced, missing flyscreens allow pest and insect ingress into the adjoining room/s. It is advised that all missing building elements be installed or replaced in order to ensure the full function of all building structures.

A qualified carpenter may be appointed to replace flyscreens at the discretion of the client.



### Defects 3.10

Building:	Building 1
Location:	Lower bottom storey areas > All Areas
Finding:	Floor levels
Information:	The lower storey floors throughout the lower areas of the home were observed to be showing signs of dips, minor movement, out of level and uneven. Uneven and out of level floors in some areas were considered excessive and are considered to require an immediate invasive inspection to ascertain the extent of any defects and problems. The uneven and out of level floors is highly likely to indicate, poor subfloor structure, subsidence and or movement in the associated subfloor structures.

Floor levels can have complex and varying causes, which will influence the required remedial works. It is highly recommended to begin by consulting a registered builder to determine the required scope of works that may be deemed necessary when an invasive inspection is carried out. This may include remedial work and some floor replacement in some areas, at the same time as addressing the underlying cause of the uneven and out of level floors. Client may also consider consultation with a geotechnical engineer to understand what and how the surrounding soil is reacting to surrounding moisture.

A Registered Builder would generally carry out these types of works or can be guided and advised by an geotechnical or structural engineer where deemed to be required. If left unmanaged it is recommended that the floors be closely monitored to identify any

further defects. Where floors become uneven further or show excessive movement, an invasive inspection of the subfloor and floor structures is immediately recommended and required. Where these types of defects are encountered it is highly likely to require floor coverings and flooring to be removed due to the close proximity to the ground.



### Defects 3.11

Building:	Building 1
Location:	Kitchen > All Areas
Finding:	Kitchen cabinet doors.
Information:	Several kitchen cabinet doors are showing signs of moisture damage and minor misalignment. While this may detract from the appearance of the cabinetry, the

operational state of the cabinetry appears to be working correctly. To improve operation of the affected cabinets, a qualified cabinet maker may be appointed to provide maintenance and repair where deemed to be necessary. Such works can be completed at discretion of the client.







### Defects 3.12

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Broken and cracked glass
Information:	Broken and cracking glass was observed at the time of inspection, this damage is suspected to have been from impact damage at sometime. While the cracked or broken window may be in some cases considered to be minor, any further impact damage sustained to the glass may lead further damage and deterioration or more serious injury to occupants and or additional cracking.

As the cracking provides potential secondary damage to the glass or associated building elements and building materials, repair of the glass may be deemed necessary in the future. Consultation with a glazier to repair or replacement or other remedial works may be required to protect against any further damage.



## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Licensed Plumber specialising in Roof Plumbing
- As identified in summary and defect statements
- Registered/Licensed Builder
- Licensed Electrician
- Local Government Authority
- Sub Floor Ventilation Specialist
- Structural Engineer
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- In summary the home compared to others of a similar age the home appeared to be in an average condition with major suspected building compliance issues throughout the home, numerous defects and numerous maintenance items for the client to consider. There are numerous areas which are considered to be unfinished and show poor trade practices and suspected to be not up to Australian building standards and requirements.

Client must be aware that when buying this home and suspecting building codes and non compliance issues, any unapproved or non-compliant structures may become the clients legal and financial responsibility after purchase.

For the full summary of defects please refer to defects and pictures held within this Building Inspection report.

For further information, advice and clarification please contact Mark Thorpe on: 0456 295 434

### Section D Significant Items

The following items were noted as - For your information

#### Noted Item

Building: Building 1  
Location: All Areas > All Areas  
Finding: Additional Photos  
Information: Additional photos are provided for either future maintenance items for clients attention and or general reference. Arrows may have been included to highlight areas of importance. Please discuss these photos with your building consultant for clarification.



















Noted Item

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Termite Management System  
 Information: At the time of the inspection, an existing application which was installed during the construction of the home was observed at the time of the inspection. Barrier will only be effective for X number of years and client is advised to keep these treatments current and or according to the termite company's recommendations or the durable notice in the meter box. Such barriers are highly effective in preventing termite attack on any timber and other building elements throughout the property.

A durable notice was observed to be placed in the in the meter box area that should indicate when the termite barrier is current to. At the client's discretion, client may make contact with the termite company to ensure home is protected into the future and the procedures involved with the future protection and or reapplication.



### Noted Item

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Fireplace and chimney sweep  
 Information: Reporting on the fireplace and or the associated chimneys, including as to whether they are working or not and their legislative requirements, is outside the Scope of this Report. Please note that this is highlighted as a caution only. It is highly recommended

the fireplaces and associated chimneys get checked periodically and even before use when they may not have been used in a while. If left unmaintained and not cleaned adequately a fireplace and chimneys may be or become a fire hazard.

We suspect, based on our experience in the building industry, that fireplaces and the associated chimneys get over looked and do not get chimney swept or any maintenance for long periods of time. The chimney may therefore be in a poor condition, so we recommend that they always ensure that these areas be addressed prior to their use, this is to ensure home and occupant safety.



## Noted Item

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Fireplace and chimney sweep
Information:	Reporting on the fireplace and or the associated chimneys, including as to whether they are working or not and their legislative requirements, is outside the Scope of this Report. Please note that this is highlighted as a caution only. It is highly recommended the fireplaces and associated chimneys get checked periodically and even before use when they may not have been used in a while. If left unmaintained and not cleaned adequately a fireplace and chimneys may be or become a fire hazard.

We suspect, based on our experience in the building industry, that fireplaces and the

associated chimneys get over looked and do not get chimney swept or any maintenance for long periods of time. The chimney may therefore be in a poor condition, so we recommend that they always ensure that these areas be addressed prior to their use, this is to ensure home and occupant safety.



**Noted Item**

Building: Building 1  
Location: All Areas > All Areas  
Finding: Smoke detectors and alarms  
Information: Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report. Please

note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that smoke detectors are sometimes get overlooked, or they may be in a poor condition, so we recommend that they always should be addressed prior to occupation to improve occupant safety.

Always ensure sufficient working and suitable smoke detectors are installed prior and during to occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.



### Noted Item

Building:	Building 1
Location:	Lower bottom storey areas > All Areas
Finding:	Lower storey areas are suspected to not meet building codes and standards or council compliance requirements
Information:	It is highly suspected that the lower storey areas have been built and installed under the current Australian building codes or do not meet the council compliance requirements.

Where these areas are suspected not to meet the Australian building codes and standards they are deemed to be a major defect which may have serious defects and safety issues when uncovered. These types of issues will affect the over all performance in these areas.

These areas showed numerous areas of poor trade practices that will require solutions involving building surveyors, local council authorities. These are suspected to at sometime impact property resale in the future.



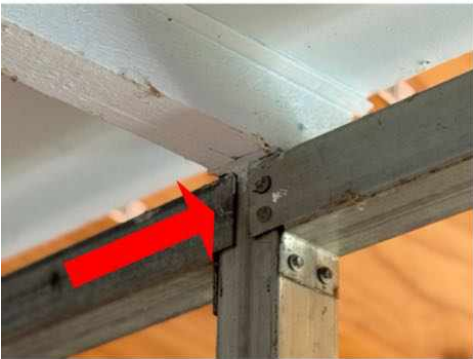














## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

**NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

**RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.