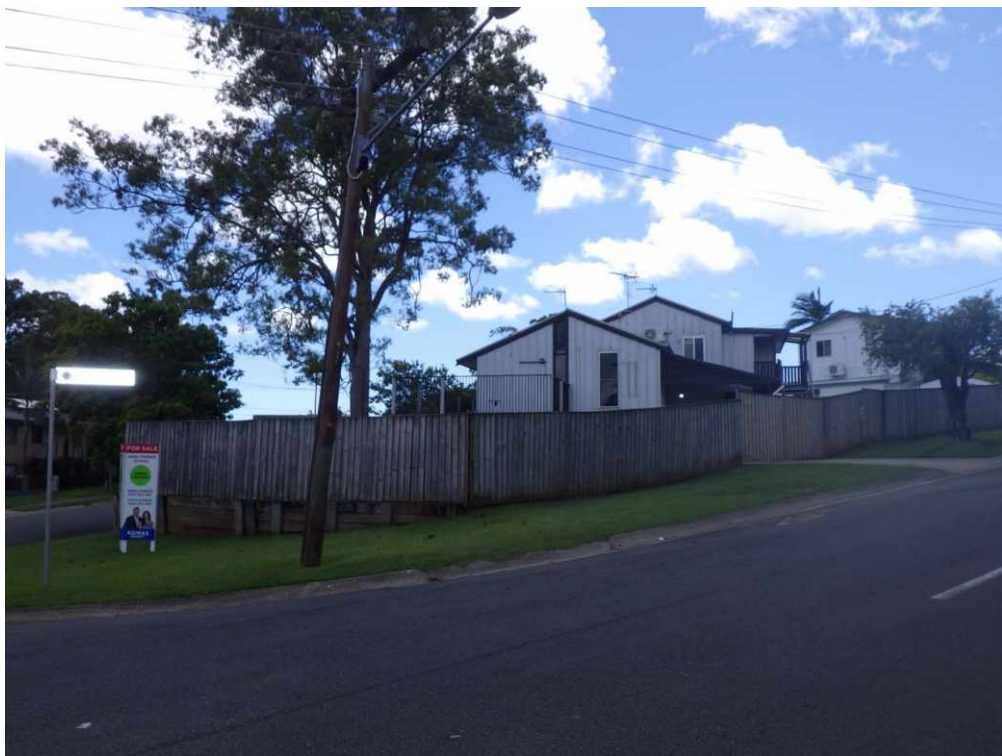




# Building and Timber Pest Inspection Report

Inspection Date: Thu, 8 Jan 2026

Property Address: 2 Warrener St, Nerang QLD 4211, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 8 Jan 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 2 Warrener St, Nerang QLD 4211, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Tony Winders Ph: 0419 662 882  
Email: Ashmore@jimsbuildinginspections.com.au

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QBCC 1149244

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Company Name: Jim's Building Inspections Ashmore

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Company Address and Postcode: Chirn Park 4215

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Company Email: Ashmore@jimsbuildinginspections.com.au

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Company Contact Numbers: 0419 662 882

### Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>	✓	
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

## Section B General

### General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Slab - Monolithic or Slab on Ground, Suspended Timber Frame
Furnished	Unfurnished
No. of bedrooms	4
Occupied	Unoccupied
Orientation	South East
Other Building Elements	Driveway, Fence - Post and Rail Construction, Footpath, Garage, Fence - Fabricated Metal Fence
Other Timber Bldg Elements	Fascias, Skirting Boards, Stair Railing, Floating Floor, Timber Wall Panelling
Roof	Corrugated Iron (e.g. Colourbond), Pitched, Timber Framed
Storeys	Split Level
Walls	Hardi-plank
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Gardens
- Interior
- Landscaping Timbers
- Posts
- Roof Exterior - Part
- The Site
- Timber Retaining Walls
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of skillion or flat roof - no access
- Exterior Roof Surface - Second Storey.
- Outside of the fencing.
- Roof Exterior.
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.
- Subfloor due to lack of access.

- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

## Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of skillion or flat roof - no access
- Ceiling linings
- Debris in gutters
- Evidence of recently painted walls or ceilings
- External finished ground level
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Vegetation
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

## Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the

presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

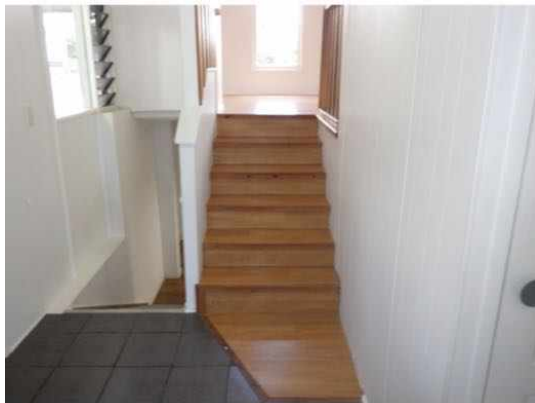
#### Finding 1.01

Building:	Main Building
Location:	Stairs - Internal > Existing
Finding:	Balustrade - Suspected Non-Compliance
Information:	The internal stair balustrade was measured and found to be (.905m high) less than the present building regulation requirement of 1000mm high.

As with all constructions, compliance for a particular dwelling need only meet the regulations of the build date and not necessarily future changes to specific building regulations.

Some changes to the building regulations are made to ensure the safety of all inhabitants and balustrades are definitely one of those crucial regulations.

A registered builder should be contacted to discuss possible rectification solutions.



#### Finding 1.02

Building: Main Building  
 Location: Balcony > Existing  
 Finding: Balustrade - Suspected Non-Compliance  
 Information: The balcony area balustrade was measured and found to be (.950mm high) less than the present building regulation requirement of 1000mm high.

As with all constructions, compliance for a particular dwelling need only meet the regulations of the build date and not necessarily future changes to specific building regulations.

Some changes to the building regulations are made to ensure the safety of all inhabitants and balustrades are definitely one of those crucial regulations.

This defect creates a potential safety hazard and should be rectified to ensure the safety of the area and to meet present building standards and regulations.

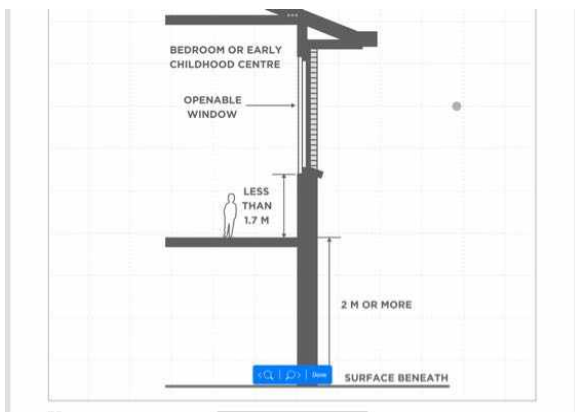
A registered builder should be contacted to discuss possible rectification solutions.



### Finding 1.03

Building: Main Building  
 Location: Bedroom 3 > Existing  
 Finding: Window safety  
 Information: It was noted that the windows of the upper level bedroom 3 are less than 1.7m from the floor and have a fall greater than 2m on the exterior from the sill and as such are required to only open upto 125mm or have security grills fitted.

This is noted as a safety concern and this regulation may not have been in place at the time of construction.



Standards\_and\_Tolerances\_Guide 2016 QLD

### Windows to be protected

Windows are defective if they do not comply with provision 3.9.2.5 of Volume 2 of the BCA that requires that a window opening must have protection if the floor below the window in a bedroom is 2 m or more above the ground surface beneath.

Windows that are located 1.7 m above the floor level are not required to be protected.

Refer to Figure 8.9 in this Guide.

## Finding 1.04

Building:	Main Building
Location:	External Areas > Existing
Finding:	Asbestos - Suspected ACM Identified on Site
Information:	At the time of inspection it was suspected exterior wall cladding and eaves linings may be of an asbestos containing materials.

Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building elements containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



**Major Defect**

**Finding 2.01**

Building: Main Building  
Location: Roof Exterior > Existing  
Finding: Roof Tiles - Rusted  
Information: At the time of inspection it was observed that there is significant deterioration, damage and/or rusting to the decramastic type metal roof tiles exterior surface (as per example photos). Additionally it appears there has been substandard roof repairs, where colourbond roof sheeting has been installed directly on top of existing decramastic

type metal roof tiles.

Decramastic type roof coverings generally comprise numerous individual tiles, which join and overlap. These intersections are particularly prone to lift at the edge and consequently rust at these points.

If left unmanaged, these degrading joints can allow water ingress to the internal roofing structures, potentially leading to secondary damage of building elements. Accelerated deterioration of the roofing tiles and any associated building elements is also likely to occur.

A licensed roofing contractor should be appointed to assess the condition of, or damage to all the roofing coverings and to perform repair or replacement works as necessary.





### Minor Defect

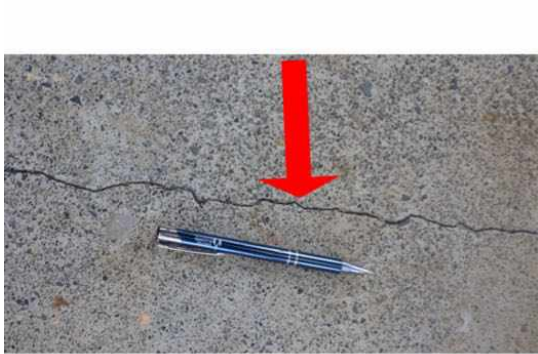
#### Finding 3.01

Building: Main Building  
Location: Driveway > Ground Level  
Finding: Cracking in concrete slab - Category 1  
Information: Cracking coded as Category 1 was identified in the driveway and/or footpaths concrete slab (as per example photos). A Category 1 crack is described as a fine but noticeable crack, with the slab at an otherwise reasonable level.

To be considered Category 1, the approximate width of the crack is less than 1.0mm, or a less than 10mm change in offset when a 3m straight edge is placed over the defect.

Category 1 cracks should be monitored for a period of 12 months. At the end of the monitoring period, identified cracks that are rated greater than Category 2 are considered defects, and require rectification.





**Finding 3.02**

Building: Main Building  
Location: Yard - Side > Existing  
Finding: Retaining wall - Deteriorated  
Information:

The timber retaining wall to the front left side of the property was found to be deteriorated at the time of inspection. Generally, deteriorated retaining walls are caused by poor material use or continuous exposure to weather conditions. However, deteriorated retaining walls may also be a result of substandard construction, poor site drainage or unmanaged stormwater flows.

If left unmanaged, the retaining wall may become a safety hazard. Where retaining walls further rot and decay, an environment is created that is conducive to termite and pest infestation.

A landscaper or retaining wall installer could be appointed to repair the wall, at the discretion of the client.





**Finding 3.03**

Building: Main Building  
Location: Yard - Side > Existing  
Finding: Fencing - Deteriorated  
Information:

It was noted at the time of inspection that sections of the metal fencing to the right side of the property showed signs of impact damage and/or have deteriorated. Typically fencing deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

It is suspected that repair of several elements of the fencing may be required.

A licensed fencing contractor could be appointed to provide further advice and perform rectification works as necessary.





### Finding 3.04

Building:	Main Building
Location:	Yard - Back > Existing
Finding:	Gate - Sticking/ jamming
Information:	At the time of inspection the metal gates to the rear of the property were sticking or jamming during standard operation.

A fencing contractor or general handyman could be engaged to adjust or repair the gate as required.



### Finding 3.05

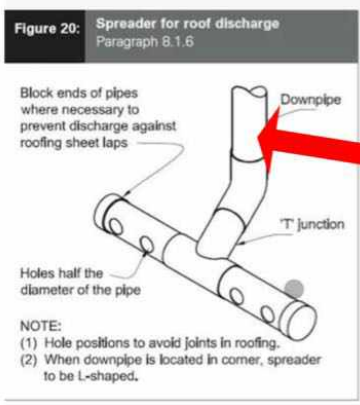
Building:	Main Building
Location:	Roof Exterior > Rear Right
Finding:	Downpipe spreaders - Insufficient
Information:	The down pipe from the upper roof catchment area is not adequately installed onto the lower roof, the current installation allows for discharge water in a concentrated area which may cause roof leaks into the underlying areas, Downpipe spreaders which are not installed correctly are likely to result in excessively damp conditions against the exterior wall surfaces of the building.

Spreaders should ideally discharge roof water away from flashings, ridge capping and

roof sheet side laps and in the direction of the roof grading.

The volume of water discharge should also be considered to ensure appropriate size spreaders are installed.

A registered roofing plumber could be engaged to inspect the area and advise on relevant works required.



**Finding 3.06**

Building: Main Building  
 Location: Kitchen > Existing  
 Finding: Cabinetry - Deterioration  
 Information: At the time of inspection the kitchen cabinetry showed signs of deterioration (as per example photos). The level of damage appears consistent with exposure to moisture, previous alterations or general wear and tear.

A qualified cabinet maker or general handyman could be engaged to undertake repair works at the clients discretion.





**Finding 3.07**

Building: Main Building  
Location: Kitchen > Rear Right  
Finding: Tiles - Chipped  
Information: Chipped tiles to the kitchen floor area were identified at the time of inspection (as per example photos). Chipped tiles are generally caused by impact.

A tiling contractor could be appointed to perform repair works at the clients discretion.



**Finding 3.08**

Building: Main Building  
 Location: Laundry > Front  
 Finding: Tile - Cracked  
 Information: Cracked tiles to the laundry floor area was identified at the time of inspection. Such defects are generally caused by impact. Cracked or broken tiled areas may also be a direct result of poor workmanship during the construction process.

A tiling contractor could be appointed to perform repair works at the clients discretion.



### Finding 3.09

Building: Main Building  
 Location: Laundry > Front  
 Finding: Grout - Missing  
 Information: Grout is missing from a section of floor tiles in the laundry area. Grout is used to protect gaps and crevices in building materials to ensure that they are water-tight and prevent water penetration to the associated structures.

Where grout is missing, a tiling contractor or general handyman should be appointed to apply grout and re-apply any silicone where necessary.



### Finding 3.10

Building:	Main Building
Location:	Laundry > Centre
Finding:	Cabinetry - Door jamming
Information:	Cupboard doors in the laundry area were found to be jamming at the time of inspection. To improve operation of the affected cupboard doors, a cabinet maker or general handyman may be appointed to make adjustments to the hinges of the affected door. Such works should be completed at discretion of the client.



### Finding 3.11

Building:	Main Building
Location:	Laundry > Centre
Finding:	Painted surface - Deteriorated
Information:	At the time of inspection the protective coating or sealer to the timber bench top in the laundry area was found to have deteriorated. Deteriorated internal paint or sealer is generally an indication of a lack of maintenance, excessive moisture or poor workmanship.

It is advised that a qualified painter is engaged to re-apply a protective coating to the affected timber top.



### Finding 3.12

Building: Main Building  
 Location: Laundry > Rear Left  
 Finding: Tiles - Missing  
 Information: It was noted on inspection that wall tiles and sealant are missing from the laundry bench tiled splash back. It is important this area is tiled and sealed to prevent moisture or liquids penetrating the generally unsealed edges. Tiles and sealant also prevents vermin from accessing and or nesting in these areas.

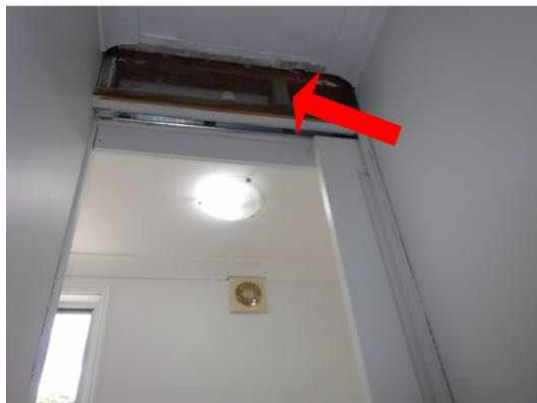
A tiling contractor should be appointed to complete these works as soon as possible.



### Finding 3.13

Building: Main Building  
 Location: Laundry > Centre Right  
 Finding: Incomplete works.  
 Information: At the time of inspection it appeared there were areas of incomplete renovation work to wall and ceiling linings in the laundry area.

A general handyman could be engaged to complete the work, at the clients discretion.



### Finding 3.14

Building:	Main Building
Location:	Bathroom > Front
Finding:	Damaged Door
Information:	The door leading into the bathroom has suffered damage to the bottom edge.

Damage occurs generally when the building materials have aged and decayed, but in this instance the damage appears to be the result of exposure to moisture, possibly from the bottom and/or top edges of the door not being sealed with a suitable paint or sealant at the time of construction.

A qualified carpenter or general handyman could be appointed to repair/replace the door at the clients discretion.



### Finding 3.15

Building:	Main Building
Location:	Bathroom > Front
Finding:	Door Guide
Information:	It was noted that the door guides to the bathroom area sliding door were missing at the time of inspection.

This is noted as a minor defect that you need to be aware of.

A licensed carpenter or general handyman could be engaged to adjust or replace the door guides at the clients discretion.



### Finding 3.16

Building: Main Building  
 Location: Bathroom > Centre Left  
 Finding: Basin - Pop up waste stiff.  
 Information: The right side basin pop up waste was broken or stiff to operate at the time of inspection. It is advised that maintenance is carried out on the waste so as it functions as intended.

A handyman could be appointed to perform any remedial works where required.



### Finding 3.17

Building: Main Building  
 Location: Bedroom 1 > Front  
 Finding: Door stop - Missing  
 Information: The bedroom 1 door stop is missing or is inadequate to stop the door handle from damaging the wall.

Re-installation or replacement of the door stop is advised to prevent any subsequent damage to the wall linings or associated structures.

A general handyman may be appointed to perform these works at client discretion.



### Finding 3.18

Building:	Main Building
Location:	Bedroom 1 > Centre Left
Finding:	Robe Doors
Information:	The sliding robe doors in bedroom 1 were difficult to operate at the time of inspection. The door wheels or rollers may be deteriorated or misaligned with the door track system.

Repair of the robe doors is advised. A sliding robe door installer or general handyman may be appointed to perform these works at client discretion.



### Finding 3.19

Building:	Main Building
Location:	Bedroom 1 > Existing
Finding:	Damaged - Wall
Information:	There is damage to areas of the wall linings in bedroom 1 (as per example photos).

The damage appears minor in nature and generally is only ever an appearance defect. While such damage may be noticeable in some cases, it is quite common and does not indicate any structural damage.

Damage of this nature can generally be repaired with minor filling, sanding and/or repainting. Such works should be performed by a qualified painter or a general handyman.



### Finding 3.20

Building:	Main Building
Location:	Living Room > Centre Left
Finding:	Window
Information:	At the time of inspection the double hung window in the living room area had screw type fixings holding it closed, (reason unknown).

An aluminium window service agent could be engaged to check the operational condition of the window and undertake repair work as required.



### Finding 3.21

Building:	Main Building
Location:	Living Room > Rear Right
Finding:	Door - Binding/Jamming
Information:	Binding and/or jamming of the living room door on the door sill was evident during standard operation. This defect inhibits the functionality of affected door as well as creating potential for secondary defects to associated building elements, such as damage to the door framing.

A door that binds to the associated door frame or sill may have several causes, such as poor installation of the door or deteriorated hinges.

A qualified carpenter or general handyperson could be appointed to perform minor rectification works at client discretion.



### Finding 3.22

Building:	Main Building
Location:	Living Room > Rear Right
Finding:	Timber paint deterioration.
Information:	The paint or protective coating to the living room timber exterior door has deteriorated. The deterioration appears consistent with general wear and tear along

with continual exposure to weather conditions.

A qualified painter could be engaged to undertake maintenance work on the exposed timber door surface at the clients discretion.



### Finding 3.23

Building: Main Building  
 Location: Deck > Existing  
 Finding: Decking - Deteriorated  
 Information:

It was noted at the time of inspection that a section of the timber decking showed signs of deterioration. Typically decking deteriorates due to age and or wear, which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

If left unattended, it is likely that further damage will occur. It is suspected that repair of several elements of the decking may be required.

A licensed builder or carpenter could be appointed to provide further advice and perform rectification works as necessary.



### Finding 3.24

Building:	Main Building
Location:	Deck > Existing
Finding:	Timber - exposed to weather
Information:	At the time of inspection the external timber deck showed signs of weathering.

External decking timbers that are frequently exposed to harsh weather conditions require adequate protection in order to maintain their condition. Where timbers have not been painted or treated adequately, general deterioration is likely to occur at an accelerated rate.

Adequate treatment of the balcony area decking timbers will be required by a painting contractor or general handyman.



### Finding 3.25

Building:	Main Building
Location:	Stair Landing > Centre Left
Finding:	Window - missing latch
Information:	The window latch to the stair landing area aluminium sliding window was found to be missing at the time of inspection. Breakage occurs generally when the building materials have aged and decayed.

Replacement of the missing window catch is advised to improve the operational state of the associated window.

An aluminium window service agent or general handyman should be appointed to replace the window latch at the client's discretion.



### Finding 3.26

Building: Main Building  
 Location: Bedroom 2 > Rear  
 Finding: Damaged Door  
 Information: The exterior door leading into bedroom 2 has suffered damage to the bottom edge.

Damage occurs generally when the building materials have aged and decayed, but in this instance the damage appears to be the result of exposure to moisture, possibly from the bottom and/or top edges of the door not being sealed with a suitable paint or sealant at the time of construction.

A qualified carpenter or general handyman could be appointed to replace the door at the clients discretion.

NOTE - The door appears to be an internal grade door and not suitable for external use.



### Finding 3.27

Building: Main Building  
 Location: Bedroom 2 > Rear Left  
 Finding: Internal walls - Hole  
 Information: A hole was identified in the left hand side wall section in bedroom 2. It is suspected the

hole is the result of impact.

All excessive holes, gaps or cracks should be adequately filled with a suitable sealant to prevent any increased damage.

Such works may be conducted by a general handyman or licensed painter.



### Finding 3.28

Building: Main Building  
 Location: Bedroom 2 > Centre Right  
 Finding: Plumbing Pipe  
 Information: At the time of inspection there was a disused plumbing taps or pipework protruding from the right side wall of the bedroom 2 area. Although the defect is of an appearance type nature only, it is advised the inactive plumbing pipes are removed.

A qualified plumber or general handyman could be engaged to remove or cap the pipework, at the clients discretion.



### Finding 3.29

Building: Main Building  
 Location: Toilet (WC) > Centre

Finding: Cistern not level  
 Information: At the time of inspection the WC toilet cistern had been installed off level.  
 A qualified plumber could be engaged to undertake repair work on the toilet cistern.

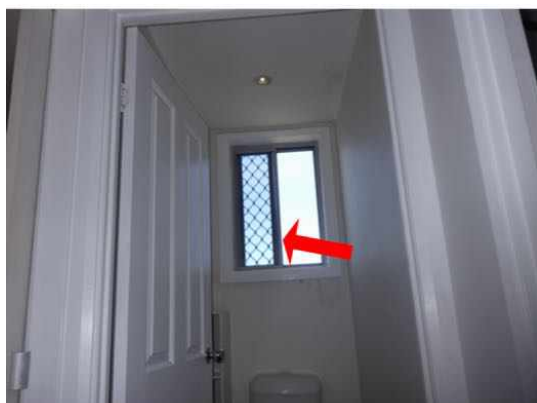


### Finding 3.30

Building: Main Building  
 Location: Toilet (WC) > Rear  
 Finding: Window Catch - Latch missing  
 Information: It was noted that the window catch to the WC area sliding window was missing at the time of inspection. Whilst detracting from the functionality of the window, this minor defect may also be a security risk.

It is suspected that this defect has occurred due general wear and tear, which is expected for building elements of this age.

An aluminium sliding window service agent or general handyperson may be appointed to perform rectification works as necessary, at client discretion.



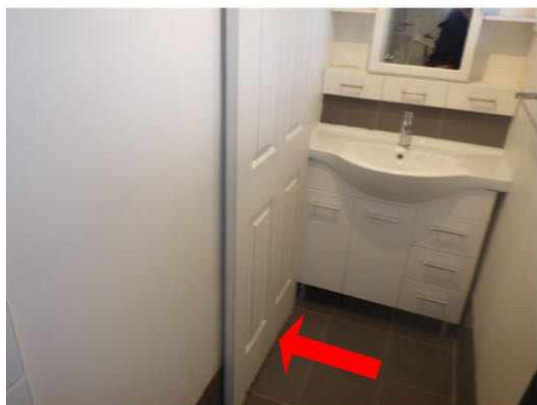
### Finding 3.31

Building: Main Building

Location: Bathroom 2 > Front  
 Finding: Damaged Door  
 Information: The door leading into the upper level bathroom 2 has suffered damage to the bottom edge.

Damage occurs generally when the building materials have aged and decayed, but in this instance the damage appears to be the result of exposure to moisture, possibly from the bottom and/or top edges of the door not being sealed with a suitable paint or sealant at the time of construction.

A qualified carpenter or general handyman could be appointed to repair/replace the door at the clients discretion.



### Finding 3.32

Building: Main Building  
 Location: Bathroom 2 > Front Left  
 Finding: Skirting tiles - Missing  
 Information: Skirting tiles were missing from the wall area under the free standing vanity unit in the upper level bathroom at the time of inspection. Complete tiled skirting is important in preventing water ingress into the adjoining walls and flooring, protecting the areas against potential water damage. The incomplete skirting also detracts from the overall appearance of the area.

It is highly recommended that a tiling contractor be appointed to complete these minor works as soon as possible to prevent such damage from occurring.



### Finding 3.33

Building:	Main Building
Location:	Bathroom 2 > Centre
Finding:	Basin - Pop up waste
Information:	The upper level bathroom basin pop up waste was damaged or missing at the time of inspection. It is advised that maintenance is carried out on the waste so as it functions as intended.

A handyman could be appointed to perform any remedial works where required.



### Finding 3.34

Building:	Main Building
Location:	Bathroom 2 > Rear Left
Finding:	Window - Broken handle
Information:	The window handle to the bathroom 2 area louvre window was found to be broken at the time of inspection. Breakage occurs generally when the building materials have aged and decayed, but may be indicative of impact damage (accidental or deliberate).

Repair and/or replacement of the broken window handle is advised to improve the operational state of the associated window.

An aluminium window service agent or general handyman could be appointed to

repair/replace the window winder handle at the client's discretion.



### Finding 3.35

Building: Main Building  
 Location: Utilities Room 1 > Rear  
 Finding: Windows - Stiff to operate  
 Information: The louvre windows in the ground floor utilities room 1 were stiff to operate at the time of the inspection. Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the windows may also pose as a potential safety hazard if required for emergency egress from the building.

Generally, factors such as general age of the building element and a lack of maintenance are the usual causes for this type of defect.

An aluminium window service agent will be required to repair the affected windows.





### Finding 3.36

Building:	Main Building
Location:	Utilities Room 1 > Centre
Finding:	Internal ceiling - Hole
Information:	Holes were identified in the utilities room 1 ceiling. It is suspected that the hole is the result of impact.

All excessive holes, gaps or cracks should be adequately filled by a suitable sealant or trimmings as soon as possible to prevent any further damage. Such works may be conducted by a general handyperson or licensed painter.



### Finding 3.37

Building:	Main Building
Location:	Utilities Room 1 > Ground Level
Finding:	Floor
Information:	At the time of inspection a section of the internal floor in the ground floor utilities room 1 area was noticeably dipped or uneven.

It is advised that a licensed builder is engaged to further investigate and/or to undertake rectification work on the floor area as required.

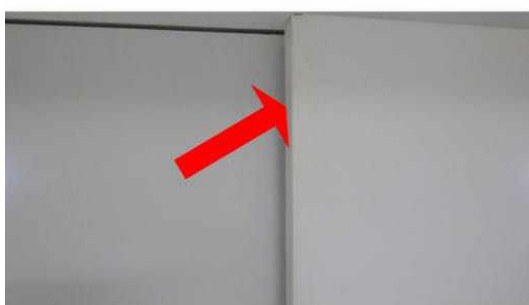


### Finding 3.38

Building: Main Building  
 Location: Utilities Room 2 > Rear Right  
 Finding: Door - Binding/Jamming  
 Information: Binding and/or jamming of the utilities room 2 robe doors was evident during standard operation. This defect inhibits the functionality of affected door as well as creating potential for secondary defects to associated building elements, such as damage to the door framing.

A door that binds to the associated door frame or sill may have several causes, such as poor installation of the door or deteriorated hinges.

A qualified carpenter or general handyperson could be appointed to perform minor rectification works at client discretion.



### Finding 3.39

Building: Main Building  
 Location: Utilities Room 2 > Rear Right  
 Finding: Damaged Door  
 Information: The utilities room 2 robe door has suffered damage to the front and/or back surface.

Damage occurs generally when the building materials have aged and decayed, but

appears to be indicative of impact damage.

A qualified carpenter or general handyman could be appointed to replace the door at the clients discretion.



### Finding 3.40

Building: Main Building  
Location: Utilities Room 2 > Rear Left  
Finding: Wall Paneling - Deteriorated  
Information: It was noted at the time of inspection that a section of the interior wall paneling to the utilities room 2 area of the property have deteriorated. Typically wall paneling deteriorates due to age and or wear which is generally expected for a structure of this age. Sometimes inadequate installation or maintenance can be to blame.

The wall paneling is loose or detached from the wall framing which is suspected to have suffered some type of damage possibly from moisture or previous termite activity.

It is suspected that repair of several elements of the wall cladding and framing may be required.

A licensed builder or qualified carpenter should be engaged to investigate further and undertake repair work as required.



**Finding 3.41**

Building: Main Building  
Location: External Areas > Existing  
Finding: Insect Screens  
Information: At the time of inspection a number of insect screens or doors throughout the property were missing and/or showed signs of damage or general wear and tear (as per example photos).

A insect screen service agent or supplier could be consulted regarding repair or replacement of the damaged screens.



# Live Timber Pest Activity

No evidence was found

# Timber Pest Damage

No evidence was found

# Conditions Conducive to Timber Pest Activity

## Finding 6.01

Building: Main Building  
 Location: Exterior walls - front > Centre  
 Finding: Termite Management System  
 Information: At the time of inspection, it appeared as though a termite management system has been installed on the property,(dated 18.05.2009 expiry 10 yrs) but has since expired. with no evidence to suggest recent preventative works or regular inspections taking place.

The application or re-application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit o the under sink cabinetry to indicate current termite barriers.

The client should consider gaining further advice from a licensed timber termite pest technician as to the costs and procedures involved with this application. It is highly recommended that obtaining such advice be a short-term priority.



## Finding 6.02

Building:	Main Building
Location:	Yard - Front > Ground Level
Finding:	Stormwater downpipes
Information:	The down pipes to the front roof area of the property are not connected to the stormwater drainage on the site. This disconnection negatively impacts the functional capacity of the downpipes and the surrounding ground area.

Where roof plumbing doesn't drain as required, the area at the base perimeter can become excessively damp, potentially creating an environment that is susceptible to flooding and rust or corrosion of surrounding building elements, as well as attracting termites and other pests.

It is recommended that a licensed plumber be appointed to further inspect and to extend the down pipes to the properties stormwater line as necessary.



### Finding 6.03

Building:	Main Building
Location:	Exterior walls - left side > Centre
Finding:	Overflow - Not plumbed for drainage
Information:	The air conditioning unit overflow is not plumbed or connected to suitable drainage, which can result in the surrounding area becoming excessively damp. These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a qualified plumber be appointed to install adequate drainage to the overflow. These works will ensure that the area remains dry and free of any secondary defects.



**Finding 6.04**

Building: Main Building  
Location: Deck > Ground Level  
Finding: In ground contact  
Information:

It was noted at the time of inspection, that the timber posts to the timber deck area at the rear of the property are in direct contact with the ground. The ground area directly around and under the bottom of the timber post should be cleared so as to provide a clear inspection zone to the post and support bracket. It is advised that this area be monitored very closely for signs of wood rot and or timber termite pest activity.

Any timbers in direct ground contact provide opportunity for concealed termite entry and are likely to be subject to premature rot and decay as the soil retains moisture or damp conditions against the timbers. Frequent pest inspections are advised to readily identify any termite activity in these areas.





### Finding 6.05

Building:	Main Building
Location:	Exterior walls - right side > Centre
Finding:	Overflow - Not plumbed for drainage
Information:	The hot water system overflow is not plumbed or connected to suitable drainage, which can result in the surrounding area becoming excessively damp. These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a qualified plumber be appointed to install adequate drainage to the overflow. These works will ensure that the area remains dry and free of any secondary defects.



### Finding 6.06

Building:	Main Building
Location:	Exterior walls - front > Ground Level
Finding:	Slab Edge - Exposure
Information:	At the time of inspection the masonry wall cladding to the front of the property was found to be finished below concrete or ground level and does not achieve the 50mm separation required.

An inspection zone of 50mm in relation to the exposed slab edge between the bottom edge of the wall cladding and the perimeter paving or ground surface is required. This inspection zone should be maintained in order to force termites into the open where they can be detected more readily during regular inspections. The slab edge should not be concealed by anything that may prevent inspection of the area, including render, landscaping, soil, turf, paving, concrete, cladding or other structures. If the slab edge or weep hole line is not properly exposed, it is considered a high risk area of termite attack.

It is highly recommended that timber termite pest inspections be carried out every 6 - 12 months to aid protection of the property against infestation.



### Finding 6.07

Building:	Main Building
Location:	Roof Exterior > Rear
Finding:	Gutters - Leaves in gutters
Information:	At the time of inspection there was leaves and vegetation type debris in the roof gutters to the rear of the property.

Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.



### Finding 6.08

Building:	Shed
Location:	Roof Exterior > Existing
Finding:	Gutters - Leaves in gutters
Information:	At the time of inspection there was leaves and vegetation type debris in the roof gutters of the shed on the right side of the property.

Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.



## Evidence of fungal decay activity and/or damage

### Finding 7.01

Building:	Main Building
Location:	Exterior walls > Existing
Finding:	Wood rot - timber battens.
Information:	The timber cover battens to the exterior wall cladding show evidence of significant wood rot in a number of areas (as per example photos). Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials. Contributing factors also include poor air ventilation.

A qualified builder or carpenter should be engaged to check all exposed timber members and undertake repair work as required.





## Finding 7.02

Building:	Main Building
Location:	Eaves > Existing
Finding:	Fascias - Wood rot
Information:	At the time of inspection wood rot was found to be affecting fascias and barges in a number of areas (as per example photos). Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

Frequent exposure to rain and other weather conditions make fascias and barges susceptible to accelerated deterioration.

Early intervention and regular maintenance will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner.

A registered builder or qualified carpenter should be engaged to check the condition of all fascia's and barge boards and to replace affected fascia's as required.





**Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Asbestos Inspector
- Licensed Plumber
- Registered Roofing Contractor
- Registered/Licensed Builder
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- The building compared to others of a similar age and construction appears to be in fair condition.

It does however have some safety hazards and some major and minor maintenance issues that will require attention and remedial maintenance. Left unmanaged some of these defects may become costly in the future and develop into more major defects over time.

As noted in the report there is a significant amount of damage or deterioration to roof coverings, wall cladding and/or exposed timber components on the exterior of the property.

At the time of inspection there was no timber termite activity found, and evidence of a previously installed, chemical barrier (dated 18.05.2009 now expired) was noted.

It is advised a licensed pest controller is engaged to undertake a pest control treatment of the property as a matter of priority.

For further information, advice and clarification please contact Tony Winders on: 0419 662 882

### Section D Significant Items

The following items were noted as - For your information

#### Noted Item

Building: Main Building  
Location: Bathroom > Centre Right  
Finding: Moisture Level Readings  
Information: At the time of inspection the ground floor bathroom shower cubicle areas checked with the Tramex Moisture Meter returned low - normal moisture level readings.



### Noted Item

Building: Main Building  
Location: Under Stair Void or Storeroom  
Finding: No obvious defect  
Information: No obvious defects found at the time of inspection.



### Noted Item

Building: Main Building  
Location: Bedroom 3  
Finding: No obvious defect  
Information: No obvious defects found at the time of inspection.





**Noted Item**

Building: Main Building  
Location: Bathroom 2 > Centre Right  
Finding: Moisture Level Readings  
Information: At the time of inspection the upper level bathroom 2 shower cubicle areas checked with the Tramex Moisture Meter returned low - normal moisture level readings.





**Noted Item**

Building: Main Building  
Location: Internal Areas  
Finding: Termitracker  
Information: The termitracker itracker was positioned randomly to internal wall, timber skirting and window frame areas checking for signs of termite activity.

No activity was recorded at the time of inspection.







**Noted Item**

Building: Shed  
Location: External Areas > Existing  
Finding: No obvious defect  
Information: No obvious defects found at the time of inspection.



**Noted Item**

Building: Shed  
Location: Internal Areas  
Finding: No obvious defect  
Information: No obvious defects found at the time of inspection.





## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.