



Building and Timber Pest Inspection Report

Inspection Date: Fri, 9 Jan 2026

Property Address: 305-309 Grey St, Glen Innes NSW 2370,
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Fri, 9 Jan 2026

Modified Date: Wed, 14 Jan 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 305-309 Grey St, Glen Innes NSW 2370, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections (Yamba)

Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

Any building built before 1990 has the potential to be built with asbestos containing materials.

The detection of asbestos containing materials is out of the scope of works for this inspection. I recommend a separate asbestos inspection and report, with samples of suspected asbestos containing materials taken and laboratory tested to, confirm or rule out the presents of asbestos.

The external roof was unable to be inspected at the time of inspection due to the height of the building and lack of safe access to the area.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity		✓
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. A termite treatment is recommended.

Section B General

General description of the property

Building Type	Commercial
Company or Strata title	Unknown
Floor	Concrete
Furnished	Furnished
No. of bedrooms	Not Applicable
Occupied	Occupied
Orientation	West
Other Building Elements	Not Applicable
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Internal Joinery, Skirting Boards
Roof	Timber Framed, Corrugated Iron (e.g. Colourbond)
Storeys	Single
Walls	Timber Framed and Clad, Brick Veneer, Rendered
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Roof Void - Part
- Roof Exterior - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Exterior Roof Surface - Second Storey.
- Roof Exterior - Part
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Areas of low roof pitch preventing full inspection
- Areas of skillion or flat roof - no access

- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- No safe point from which to access roof exterior
- Stored items, built in cabinetry, furniture and personal items obscured approximately 25% of every room.
- Unsafe to Access Roof - No Fall Protection System
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Finding 2.01

Building:	Main Building
Location:	Street awning
Finding:	Street awning poor condition
Information:	The tin cladding to the street awning was found to be in poor condition and in need of replacement. This is typically caused by age-related deterioration, weather exposure, and possible corrosion over time. The cladding may leak during rain, which could lead to water ingress and further deterioration if left unaddressed. Replacement by a suitably qualified contractor is recommended, as soon as possible.



Finding 2.02

Building:	Main Building
Location:	Street awning
Finding:	Steel supports surface rust.
Information:	The steel supports to the street awning were generally in fair condition; however, surface rust was identified. This is a common defect for exposed steel and is typically caused by weather exposure over time. If left untreated, the rust may worsen and lead to further deterioration. Cleaning, treating, and repainting of the affected areas are recommended to help prevent ongoing corrosion. Due to the age of the structure, an inspection by a structural engineer is also recommended to gain a better understanding of the structural integrity of the supports and provide a scope out works if required.



Finding 2.03

Building: Main Building
 Location: Street awning
 Finding: Rust identified to the street awning gutter
 Information: Rust was identified to the street awning gutter. This is a common defect for metal gutters and is typically caused by prolonged exposure to the weather and age-related deterioration. If left unaddressed, the rust may worsen and lead to leaks or failure of the gutter. Repair or replacement by a suitably qualified contractor is recommended.



Finding 2.04

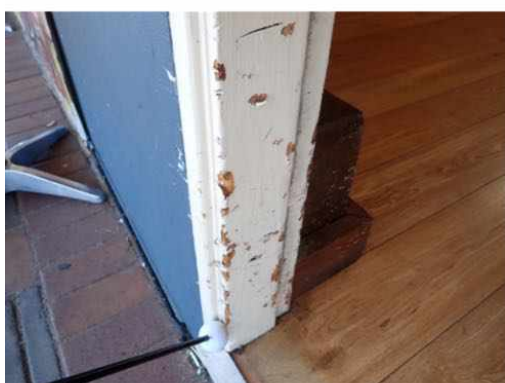
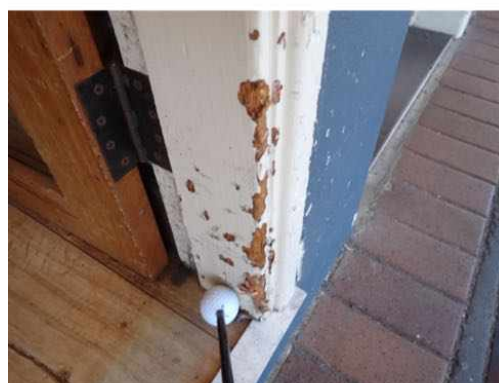
Building: Main Building
Location: Ceiling space
Finding: Water damage to ceiling space
Information: Water damage was identified in the ceiling space and to the ceiling cornice below. This is typically caused by a previous roof or plumbing leak. The affected area was dry at the time of inspection, indicating that the leak has likely been repaired. However, residual damage to the ceiling materials remains and may continue to deteriorate over time. Repair of the affected areas is recommended by a licensed builder, plasterer, and painter. If any further leaks are identified, a roof plumber should also be engaged. Ongoing monitoring is advised to ensure no further moisture issues occur.



Minor Defect

Finding 3.01

Building:	Main Building
Location:	Front entry door
Finding:	Damage to entry door jambs
Information:	Impact-related damage was identified to the front entry door jambs. This is typically caused by accidental knocks, door misuse, or furniture contact. While not considered structurally significant at the time of inspection, the damage is unsightly and may worsen if left unrepaired. Repair or replacement by a suitably qualified carpenter is recommended to restore the appearance and prevent further deterioration.



Finding 3.02

Building:	Main Building
Location:	Front entry door, bathroom, kitchen splash back and front bar area.
Finding:	Damaged tiles
Information:	Multiple damaged and cracked tiles were identified at several locations throughout the property. This is a common defect and is typically caused by minor substrate movement, thermal expansion, replacement of previous fixtures or impact damage. While not considered structurally significant at the time of inspection, the damaged

tiles may worsen and allow moisture ingress. Replacement of the affected tiles and ongoing monitoring are recommended, and if further movement is suspected, a tiling contractor should be engaged as deemed necessary.





Finding 3.03

Building: Main Building

Location: Store room

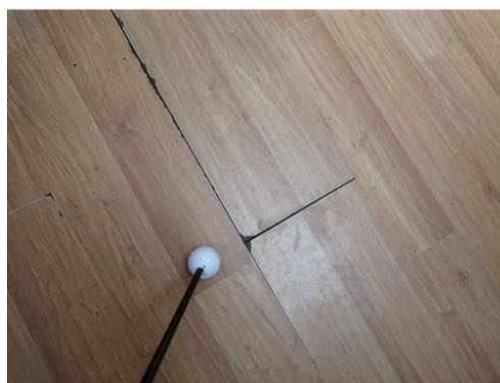
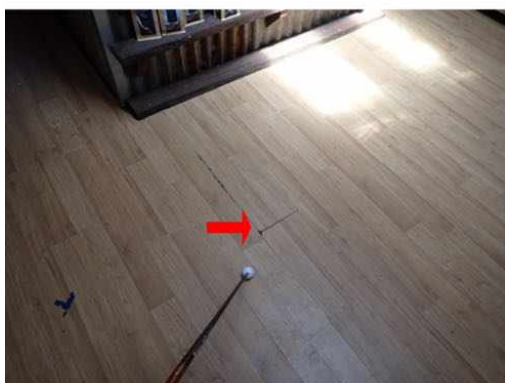
Finding: Cracks in store room concrete floor

Information: Cracks were identified in the concrete floor to the store room. This is a common defect for a slab of this age and is typically caused by natural shrinkage and minor ground movement. While not considered structurally significant at the time of inspection, the cracks may worsen over time and allow moisture ingress. Sealing and ongoing monitoring are recommended, and if the cracking increases, a concreting contractor or structural engineer should be engaged as deemed necessary.



Finding 3.04

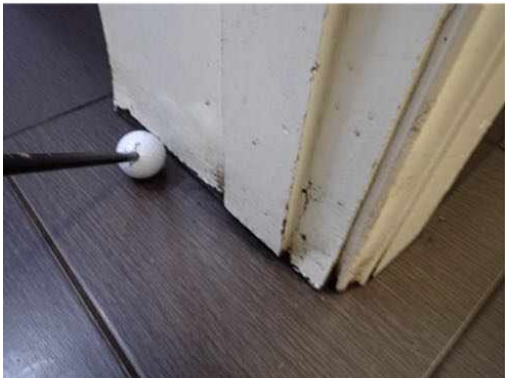
Building:	Main Building
Location:	Timber look flooring
Finding:	Flooring fair condition
Information:	The timber look flooring was generally in fair condition; however, some areas showed signs of wear from general use. This is a common condition for flooring of this age and is typically caused by normal foot traffic and everyday use. While not considered structurally significant, the worn areas affect the overall appearance. Ongoing monitoring is recommended, and repair or replacement can be carried out at the owner's discretion.





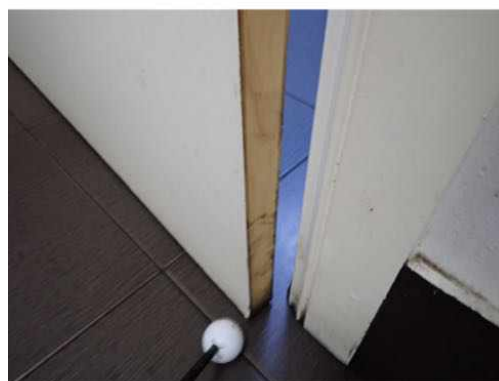
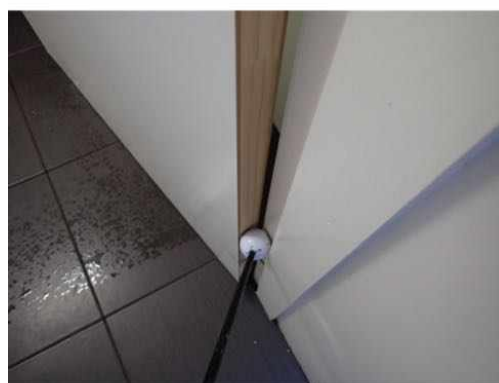
Finding 3.05

Building: Main Building
Location: Bathrooms
Finding: Door jambs swollen at bottom
Information: The MDF door jambs to the bathroom were swollen at the bottom. This is a common defect in wet areas and is typically caused by prolonged moisture exposure and poor moisture resistance of MDF materials. While not considered structurally significant at the time of inspection, the damage may worsen if moisture continues to be present. Repair or replacement with a more moisture-resistant material is recommended, along with addressing any sources of moisture ingress.



Finding 3.06

Building:	Main Building
Location:	Bathrooms
Finding:	Unpainted door ends
Information:	Unpainted door ends were identified to the bathroom doors. This is a common defect and is typically caused by incomplete finishing during installation or previous maintenance works. Unpainted timber is more susceptible to moisture absorption in wet areas, which may lead to swelling or deterioration over time. Painting and sealing of the door ends are recommended to help prevent moisture damage.



Finding 3.07

Building:	Main Building
Location:	Main entry ramp
Finding:	Vinyl flooring minor delaminating at end of ramp
Information:	The vinyl flooring at the end of the ramp was found to be delaminating. This is a common defect and is typically caused by moisture exposure, poor adhesion, or general wear over time. While not considered structurally significant at the time of inspection, the delaminated vinyl may worsen and could present a trip hazard. Repair or replacement by a suitably qualified flooring contractor is recommended.



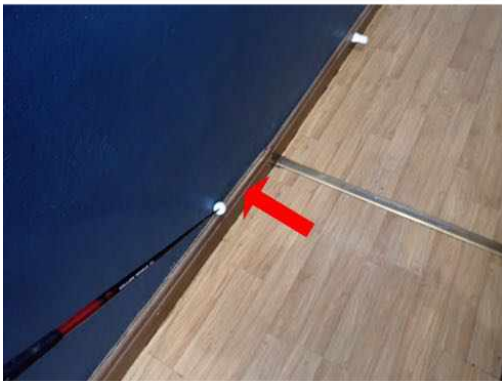
Finding 3.08

Building: Main Building

Location: Timber skirting

Finding: Timber skirting poor condition.

Information: The timber skirting to several locations throughout the property was found to be in poor condition. This is typically caused by general wear and tear, impact damage, and possible moisture exposure over time. The condition of the skirting may worsen if left unaddressed and detracts from the overall appearance. Repair or replacement by a suitably qualified carpenter or handyman is recommended.



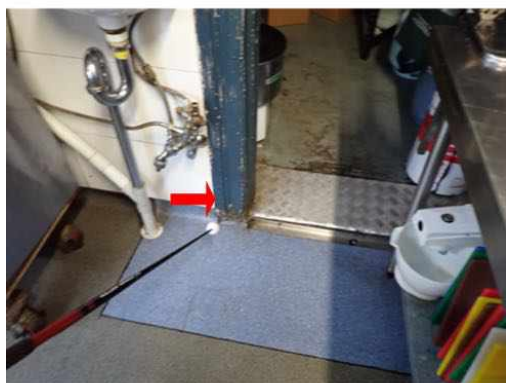
Finding 3.09

Building: Main Building

Location: Door jamb to store room

Finding: Door jamb store room poor condition

Information: The door jamb to the store room was found to be in poor condition. This is typically caused by general wear and tear, impact damage, and possible moisture exposure over time. If left unaddressed, the condition of the jamb may worsen and further detract from the overall appearance. Repair or replacement by a suitably qualified carpenter or handyman is recommended.



Finding 3.10

Building:	Main Building
Location:	Front elevation above street awning
Finding:	Damaged render
Information:	Damaged render was identified to the wall above the street awning. This is typically caused by weather exposure, impact damage, or age-related deterioration. If left unaddressed, the damage may worsen and allow moisture ingress into the underlying structure. Repair by a suitably qualified renderer or handyman is recommended.



Finding 3.11

Building:	Main Building
Location:	Store room
Finding:	Store room cladding damage identified
Information:	Damage was identified to the internal cladding of the store room. This is typically caused by impact damage, general wear and tear, or previous use of the space. If left unaddressed, the damage may worsen and detract from the overall condition of the room. Repair by a suitably qualified contractor or handyman is recommended.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

No evidence was found

Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Main Building
Location:	Front elevation
Finding:	Wood rot front elevation windows
Information:	Wood rot was identified to the front elevation windows located above the street awning. This is typically caused by prolonged moisture exposure, poor sealing, and age-related deterioration of the timber. If left unaddressed, the rot may worsen and lead to further deterioration of the window frames and surrounding building materials. Repair or replacement by a suitably qualified carpenter is recommended, along with addressing any sources of moisture ingress.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- Licensed Plumber specialising in Roof Plumbing
- Registered Roofing Contractor
- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections
- Structural Engineer

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the building was found to be in good condition for its age and location. Multiple minor, expected defects were identified that are typical for a building of this age, as outlined in the report.

The main area of concern is the street awning, where a noticeable amount of rust was identified to the structure, particularly to the awning cladding. Due to the level of deterioration and the age of the structure, further assessment and rectification works are recommended to prevent ongoing deterioration and potential water ingress, as outlined in report.

I recommend reading this report in detail and acting on all recommendations.

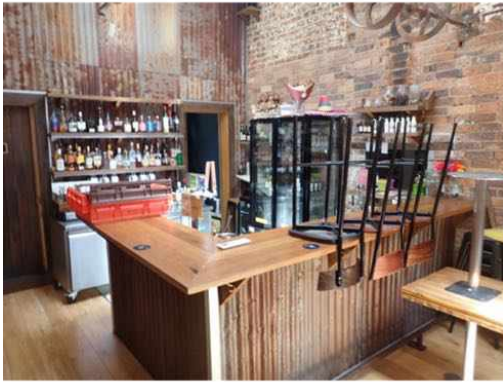
For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.