



BEFORE YOU BUY

BEFORE YOU BUILD

Building and Timber Pest Inspection Report VR

Inspection Date: Thu, 2 Apr 2026

Property Address: 15 Abelia Ave, Yamba NSW 2464, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 2 Apr 2026

Modified Date: Mon, 6 Apr 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 15 Abelia Ave, Yamba NSW 2464, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections (Yamba)

Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

This inspection is only a visual inspection and multiple areas through out the building are not able to be inspected. Live timber activity and further damage maybe located in these areas. A further invasive inspection is recommended to gain a better understanding of the buildings condition and to the extent of any timber pest activity.

Any home built before 1990 has the potential to have been built with materials containing asbestos

The detection of asbestos containing materials is out of the scope of works for this inspection. I recommend a separate asbestos inspection and report, with samples of suspected asbestos containing materials taken and laboratory tested to, confirm or rule out the presents of asbestos.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity		✓
Evidence of fungal decay activity and/or damage		✓
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. A termite treatment is recommended.

Section B General

General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Concrete
Furnished	Unfurnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	East
Other Building Elements	Driveway, Fence - Fabricated Metal Fence, Fence - Post and Rail Construction, Footpath, Shed
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Internal Joinery, Landscaping Timbers and Construction, Skirting Boards
Roof	Timber Framed, Tiled
Storeys	Single
Walls	Brick Veneer (Timber Framed)
Weather	Overcast

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Gardens
- Interior
- Posts
- Roof Exterior - Part
- Roof Void - Part
- The Site
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Roof Exterior - Part

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Insulation
- Sarking
- Wall linings
- Vegetation

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection

once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Finding 2.01

Building: Main Building
Location: Roof
Finding: Defects To Colorbond Roof Over Outdoor Entertaining Area
Information: Defects were identified to the Colorbond roof over the outdoor entertaining area, including rusted screws, poorly lapped sheets, a poorly installed whirlybird, and general age-related deterioration. These issues are typically associated with weather exposure, ageing materials, and poor installation practices. If left unaddressed, they may lead to water ingress, corrosion, and reduced roof performance. It is recommended that a licensed roofer inspect and carry out necessary repairs or replacement of defective components to prevent further deterioration and potential water damage to the structure.





Finding 2.02

Building:	Main Building
Location:	Out door entertaining room
Finding:	Poorly Constructed And Deteriorated Infill Walls And Door To Outdoor Entertaining Room
Information:	The infill walls and door to the outdoor entertaining room were found to be poorly constructed and in a deteriorated condition. This is likely due to substandard workmanship, weather exposure, and age-related wear. Defects of this nature may compromise overall durability if left unaddressed. It is recommended that a licensed builder or carpenter assess the construction, carry out necessary repairs or replacement, and ensure the structure is built to an acceptable standard. Repairs are recommend to prevent further deterioration.





Finding 2.03

Building: Main Building
Location: Out door entertaining room
Finding: Outdoor Entertaining Room Sink Unit In Poor Condition
Information: The sink unit in the outdoor entertaining room was observed to be in poor condition. This may be due to age-related deterioration, weather exposure, or general wear and tear. Components may continue to deteriorate over time, potentially affecting functionality and leading to further damage if left unaddressed. It is recommended that a licensed plumber or suitably experienced handyman assess the unit and carry out repairs or replacement as required. Repairs can be carried out at the owner's discretion.



Finding 2.04

Building:	Main Building
Location:	Out door entertaining room
Finding:	Water Staining To Outdoor Entertaining Room Ceiling
Information:	Water staining was identified to the ceiling of the outdoor entertaining room, possibly resulting from minor leaks from the Colorbond roof above. This is typically associated with roofing defects, inadequate sealing, or age-related deterioration. If left unaddressed, continued moisture ingress may lead to further damage to ceiling materials and surrounding structures. It is recommended that a licensed roofer inspect the roof and rectify any defects, and that a suitably experienced handyman or painter repair the affected ceiling once the source of moisture has been addressed. Timely repairs are recommended to prevent further deterioration and potential damage.



Minor Defect

Finding 3.01

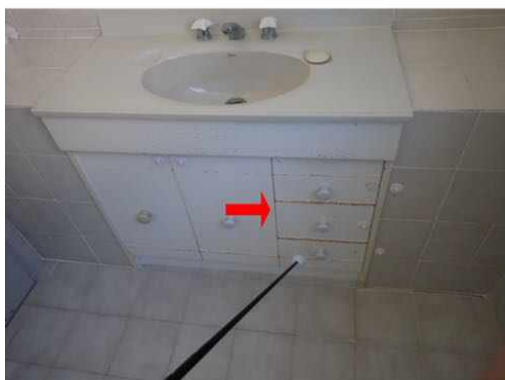
Building:	Main Building
Location:	Toilet (WC)
Finding:	Minor Leak to Toilet Cistern During Flushing

Information: A minor leak was identified to the toilet cistern during flushing. The leak is likely associated with worn internal components such as the inlet valve, outlet seal, or flush mechanism. Continued leakage may lead to unnecessary water wastage and potential deterioration to surrounding building materials over time. It is recommended that a licensed plumber inspect, repair, or replace the defective components as required. Repairs should be undertaken at the owner’s discretion.



Finding 3.02

Building: Main Building
 Location: Bathroom and ensuite
 Finding: Swelling to Bathroom and Ensuite Vanity Doors and Drawer Fronts
 Information: Swelling was identified to the edges of the bathroom and ensuite vanity doors and drawer fronts. This condition is consistent with moisture ingress and age-related deterioration of the materials, likely due to prolonged exposure to humidity and water. This is a common defect in property’s of this age. Continued exposure may result in further deterioration of the cabinetry. A cabinet maker or suitably experienced handyman should be engaged to repair or replace the affected components as required. Repairs should be undertaken at the owner’s discretion.

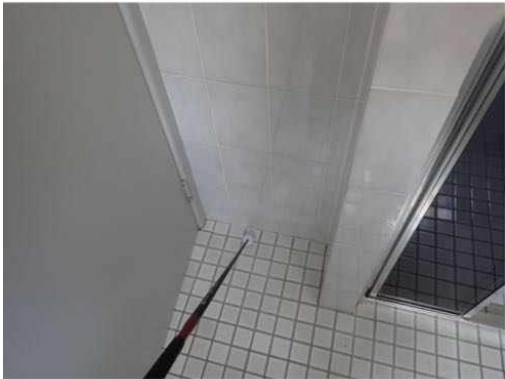




Finding 3.03

Building: Main Building
Location: Bathroom and ensuite
Finding: Deteriorated Grout and Silicone to Bathroom and Ensuite Tiled Surfaces
Information: Deterioration of grout and silicone was identified to the bathroom and ensuite tiled surfaces. This condition is consistent with age-related wear and ongoing exposure to moisture, and is a common defect in wet areas. Deteriorated seals may allow water ingress behind tiles, potentially leading to damage of underlying building materials over time. A licensed tiler should be engaged to re-grout and re-seal the affected areas as required. Repairs should be undertaken at the owner’s discretion.





Finding 3.04

Building: Main Building
Location: All Areas
Finding: Unpainted Timber Trims And Exposed Nail Holes
Information: Timber trims have been installed with visible nail holes and sections left unpainted. This is typically due to incomplete finishing works or poor workmanship during installation. Unsealed timber can absorb moisture over time, leading to deterioration, swelling, or potential timber decay. It is recommended that a painter or suitably experienced handyman fill all nail holes, sand, and apply appropriate primer and paint to seal and protect the timber. Repairs can be carried out at the owner’s discretion.





Finding 3.05

Building: Main Building
Location: Living room
Finding: Flaking Paint To Living Room Ceiling
Information: Paint is flaking in sections of the living room ceiling. This is typically associated with age-related deterioration, moisture exposure, or inadequate surface preparation during previous painting works. Continued deterioration may result in further paint loss and potential exposure of underlying surfaces. It is recommended that a painter or suitably experienced handyman prepare the affected areas, address any underlying cause if present, and repaint as required. Repairs can be carried out at the owner’s discretion.



Finding 3.06

Building:	Main Building
Location:	Bedroom
Finding:	Missing Robe Doors To Bedroom
Information:	Robe doors are missing within the bedroom. This may be due to removal, damage, or incomplete installation. The absence of doors reduces functionality and allows dust accumulation within the robe space. It is recommended that a carpenter or suitably experienced handyman install replacement doors to restore functionality. Repairs can be carried out at the owner's discretion.



Finding 3.07

Building:	Main Building
Location:	Garage
Finding:	Surface Rust To Garage Roller Door Edges
Information:	Surface rust has been identified to the edges of the garage roller doors. This is typically associated with age-related deterioration, exposure to moisture, or breakdown of protective coatings and is a common defect with garage roller doors of this age. If left untreated, rust may progress and lead to further corrosion and deterioration of the metal components. It is recommended that a painter, metal fabricator, or suitably experienced handyman treat the affected areas, remove corrosion, and apply appropriate protective coatings. Repairs can be carried out at the owner's discretion.



Finding 3.08

Building:	Main Building
Location:	Laundry
Finding:	Missing Tiles To Laundry Splashback
Information:	Tiles are missing to the laundry splashback area. This may be due to previous removal, damage, or incomplete installation works. The absence of tiles can expose underlying wall materials to moisture ingress, potentially leading to deterioration over time. It is recommended that a tiler or suitably experienced handyman replace the missing tiles and ensure appropriate sealing to prevent moisture penetration. Repairs can be carried out at the owner's discretion.



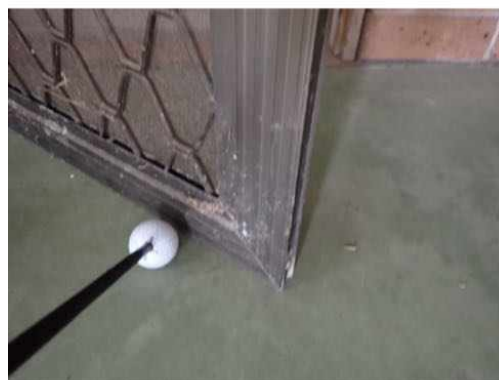
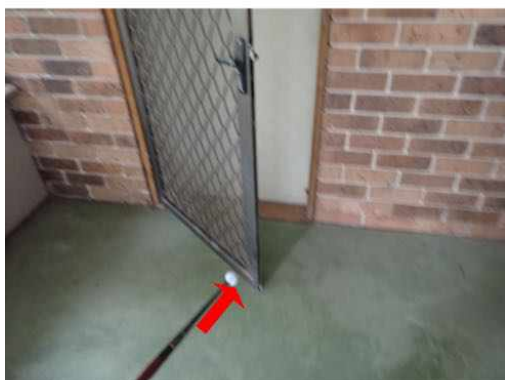
Finding 3.09

Building:	Main Building
Location:	Roof
Finding:	Roof Tiles In Fair Condition With Age Related Fading And Minor Mortar Cracking
Information:	Roof tiles were observed to be in fair condition overall, however age-related fading and minor cracking to the mortar have been identified. This is typical wear and tear for roofing materials of this age. Over time, cracked mortar may allow water ingress or tile movement if deterioration progresses. It is recommended that a licensed roofer inspect, repair, and re-point mortar as required to maintain the integrity of the roof. Repairs can be carried out as deemed necessary.



Finding 3.10

Building:	Main Building
Location:	Out door entertaining room
Finding:	Garage Screen Door Catching On Concrete Floor
Information:	The garage screen door was observed to be catching on the concrete floor. This is typically due to misalignment, settlement, wear to hinges or tracks, or minor movement in the structure. Continued use may cause further damage to the door or floor surface. It is recommended that a carpenter or suitably experienced handyman adjust, repair, or realign the door to ensure smooth operation. Repairs can be carried out at the owner's discretion.



Finding 3.11

Building:	Main Building
Location:	Out door entertaining room
Finding:	Crack To Outdoor Entertaining Room Concrete Floor
Information:	A crack has been identified in the concrete floor of the outdoor entertaining room. This is typically associated with minor movement, shrinkage, or age-related deterioration of the concrete. If the crack worsens over time, it may allow moisture ingress or further deterioration. It is recommended that a concreter or suitably experienced handyman assess and repair the crack as required. Repairs can be carried out at the owner's discretion.



Finding 3.12

Building:	Main Building
Location:	Down pipes
Finding:	Surface Rust To Downpipe And Adjacent Gutter
Information:	Surface rust has been identified to the downpipe and surrounding gutter area. This is typically associated with age-related deterioration, prolonged moisture exposure, or breakdown of protective coatings. If left untreated, corrosion may progress and lead to leaks or failure of the affected components. It is recommended that a licensed plumber or suitably experienced handyman clean, treat, and apply protective coatings, or replace sections as required. Repairs can be carried out at the owner's

discretion.



Finding 3.13

Building:	Main Building
Location:	Rear fascia
Finding:	Poorly Repaired Roof Tile End Capping To Rear Of Building
Information:	The roof tile end capping at the rear of the building has been poorly repaired. This is likely due to substandard workmanship. Defective capping may allow water ingress and lead to further deterioration if left unaddressed. It is recommended that a licensed roofer re-bed and re-point the end capping to ensure a durable and watertight finish. Timely repairs are recommended to prevent further deterioration and potential damage.



Finding 3.14

Building:	Main Building
Location:	Out door entertaining room
Finding:	Missing Gutter To Outdoor Entertaining Room Roof
Information:	A gutter is missing to the outdoor entertaining room roof. This may be due to removal, damage, or incomplete installation. The absence of a gutter can result in uncontrolled water discharge, potentially leading to water ingress, erosion, or damage to adjacent building elements. It is recommended that a licensed plumber or suitably experienced handyman install an appropriate gutter system to manage roof water effectively.



Finding 3.15

Building:	Yard
Location:	Rear timber fence
Finding:	Rear Timber Fence In Average Condition
Information:	The rear timber fence was observed to be in average condition. This is typical for fencing of this age and may include general wear, weathering, and minor deterioration. Ongoing exposure to the elements may result in further deterioration over time. It is recommended that a carpenter or suitably experienced handyman carry out general maintenance and repairs as required to prolong the service life of the fence. Repairs can be carried out at the owner's discretion.



Finding 3.16

Building: Shed

Location: All areas

Finding: Surface Rust To Tin Garden Shed

Information: Surface rust has been identified to the tin garden shed at several locations. This is typically associated with age-related deterioration, weather exposure, and breakdown of protective coatings. If left untreated, corrosion may progress and lead to further deterioration of the metal panels. It is recommended that a painter, metal fabricator, or suitably experienced handyman treat the affected areas, remove corrosion, and apply appropriate protective coatings. Repairs can be carried out at the owner's discretion.



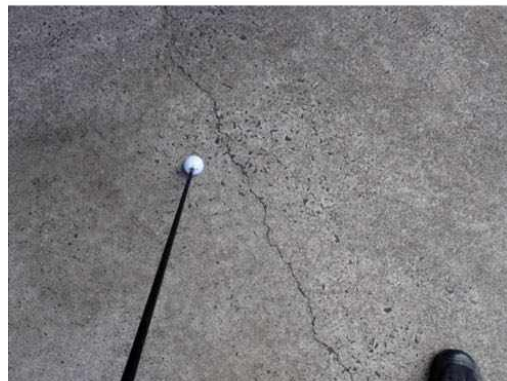
Finding 3.17

Building:	Main Building
Location:	Ceiling space
Finding:	Ceiling Insulation Displaced Within Roof Space
Information:	Insulation within the ceiling space has been moved and is no longer evenly distributed. This may be due to previous works, maintenance activity, or pest movement within the roof space. Displaced insulation can reduce thermal efficiency and may lead to inconsistent temperature control within the building. It is recommended that a suitably experienced handyman or insulation contractor reposition and reinstate the insulation to ensure even coverage. Repairs can be carried out at the owner's discretion.



Finding 3.18

Building:	Yard
Location:	Driveway
Finding:	Minor Cracking To Concrete Driveway
Information:	Minor cracks have been identified to the concrete driveway. This is typically associated with normal shrinkage, minor ground movement, or age-related deterioration and is considered a common defect. If the cracks worsen over time, they may allow moisture ingress and further deterioration. It is recommended that a concreter or suitably experienced handyman monitor and repair the cracks as required. Repairs can be carried out at the owner's discretion.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

No evidence was found

Evidence of fungal decay activity and/or damage

No evidence was found

Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- Licensed Plumber specialising in Roof Plumbing
- Reinspection by Jim's Building Inspections

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in good condition when compared to buildings of similar age, type of construction and location.

I recommend reading this report in detail and acting on all recommendations.

For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.