



Building and Timber Pest Inspection Report

Inspection Date: Tue, 24 Feb 2026

Property Address: 2N Derby St, Walcher and 1E Fitzroy St,
Walcher

Contents

	The Parties
Section A	Results of inspection - summary
Section B	General
Section C	Accessibility
Section D	Significant Items
Section E	Additional comments
Section F	Annexures to this report

Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 24 Feb 2026

Modified Date: Wed, 25 Feb 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 2N Derby St, Walcher and 1E Fitzroy St, Walcher

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections (Yamba)

Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

This inspection is only a visual inspection and multiple areas through out the building are not able to be inspected. Live timber activity and further damage maybe located in these areas. A further invasive inspection is recommended to gain a better understanding of the buildings condition and to the extent of any timber pest activity.

Any home built before 1990 has the potential to have been built with materials containing asbestos

The detection of asbestos containing materials is out of the scope of works for this inspection. I recommend a separate asbestos inspection and report, with samples of suspected asbestos containing materials taken and laboratory tested to, confirm or rule out the presents of asbestos.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity		✓
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Commercial
Company or Strata title	Unknown
Floor	Brick Stumps or Piers, Chipboard, Concrete, Masonry Foundations, Part Slab and Part Subfloor, Slab on ground, Timber with concrete areas, Timber with hardboard areas
Furnished	Furnished
No. of bedrooms	Not Applicable
Occupied	Occupied
Orientation	West
Other Building Elements	Footpath
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Eaves, Fascias, Floorboards, Internal Joinery, Skirting Boards, Stair Railing, Staircase, Timber Wall Panelling, Veranda Posts, Window Frames
Roof	Timber Framed, Corrugated Iron (e.g. Colourbond)
Storeys	Double
Walls	Brick Veneer, Cavity Brick, Light Weight Wall Clad, Fibre Cement Sheets, Rendered, Solid Masonry, Timber Framed and Clad, Weatherboards
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Posts
- Roof Exterior - Part
- Roof Void - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Roof Exterior - Part
- Subfloor.
- Subfloor due to lack of access.
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Areas of skillion or flat roof - no access
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- Debris in gutters
- Degree of roof incline too steep for safe access
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Lack of clearance - subfloor
- Rugs
- Sarking
- Stored items
- Stored items, built in cabinetry, furniture and personal items obscured approximately 25% of every room.
- Subfloor was not able to be inspected - there was no access to this area.
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Finding 2.01

Building: Main Building

Location: Subfloor

Finding: Weathered Timber Flooring – No Subfloor Access

Information: The visible timber flooring within the rear single-storey building appeared to be in weathered condition consistent with age. In simple terms, the timber floors look worn and aged. This is a common problem with buildings of this age. No access was available to inspect any subfloor areas at the time of inspection. The subfloor area is low to the ground with limited ventilation, which may contribute to accelerated timber deterioration over time. Due to the restricted access, the condition of subfloor framing and supports could not be confirmed. It is recommended that a qualified builder provide access to the subfloor for further assessment if concerns arise, and that a licensed timber pest controller be consulted to assess for any potential termite risk. Further investigation can be undertaken at the owner's discretion.





Finding 2.02

Building:	Main Building
Location:	Windows to rear single story building building
Finding:	Windows to Rear Single-Storey Building in Poor Condition
Information:	<p>The windows to the rear single-storey building were found to be in poor condition. Defects observed include surface rust to steel security screens, timber decay (wood rot) to window components, sections that were unable to be opened during normal operation, and deteriorated glass pane trims. In simple terms, the rear building windows are run down, with rust, rotting timber and parts that don't open properly. This condition is consistent with age and prolonged weather exposure and is a common issue with buildings of this age. If left unaddressed, deterioration may progress and affect functionality, weatherproofing and security. It is recommended that a qualified carpenter repair or replace the affected timber components, that a glazier replace deteriorated trims as required, and that a suitably qualified tradesperson treat or replace rusted security screens. Rectification can be undertaken at the owner's discretion depending on the desired standard of repair or replacement.</p>



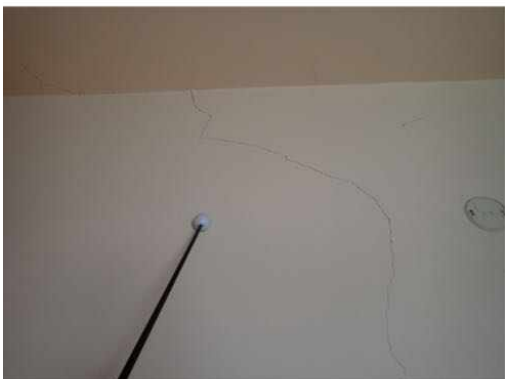


Finding 2.03

Building: Main Building
Location: Internal walls to rear single story building
Finding: Major and Minor Cracks to Internal Brickwork and Render
Information: Major and minor cracking was identified to sections of the internal brickwork and rendered surfaces. The cracks vary in size and pattern, with some consistent with minor settlement and shrinkage, and others of greater width that may indicate movement within the structure. In simple terms, there are both small and larger cracks in the internal brick and rendered walls. Cracking of this nature is commonly associated with building movement, settlement, thermal expansion and age, and is a common issue in buildings of this age. Ongoing or progressive movement may lead to

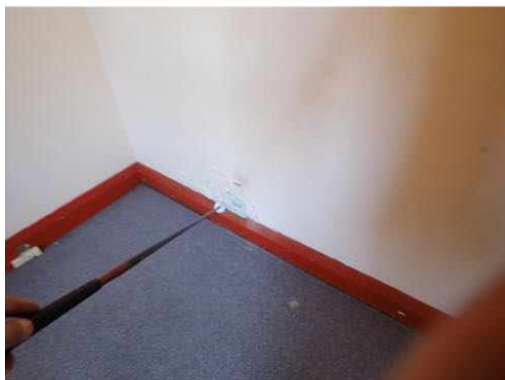
further cracking over time. It is recommended that a suitably qualified builder assess the cracks to determine whether they are cosmetic or structural in nature and carry out repairs as required. For significant or progressive cracking, consultation with a structural engineer is recommended to further assess structural implications and provide rectification advice. Monitoring of larger cracks for signs of movement is advised. Rectification can be undertaken at the owner's discretion depending on the severity and progression of cracking.





Finding 2.04

Building:	Main Building
Location:	Internal walls to rear single story building
Finding:	Internal Wall Paintwork in Poor Condition
Information:	The paintwork to internal walls was found to be in poor condition. Defects observed include general wear, scuffing, patching and areas of deterioration consistent with age and use. In simple terms, the inside wall paint is worn and run down. This is a common condition in buildings of this age and with normal occupancy. While primarily cosmetic, deteriorated paint may reduce protection to underlying surfaces over time. It is recommended that a qualified painter prepare and re-coat the affected areas as required. Repainting can be undertaken at the owner's discretion.



Finding 2.05

Building:	Main Building
Location:	Front awning
Finding:	External Awning in Poor Condition – Likely Leaking
Information:	<p>The external awning was found to be in poor condition. Defects observed include rusted and lifted roof sheeting, rusted box guttering and damaged/deteriorated eave sheets. The level of corrosion and displacement of the roof sheeting indicates that the awning is most likely leaking at the time of inspection. In simple terms, the awning is run down, with rusted and lifted metal that is likely allowing water to enter. This condition is commonly associated with age, prolonged weather exposure and lack of ongoing maintenance. If left unaddressed, deterioration is likely to continue and result in ongoing water ingress and further structural damage. It is recommended that a licensed roofing contractor or suitably qualified builder assess the awning, confirm the extent of leakage and carry out repairs or replacement of affected components as required. Rectification should be undertaken to prevent further deterioration and can be arranged at the owner's discretion.</p>







Finding 2.06

Building:	Main Building
Location:	External walls
Finding:	Major and Minor Cracks to Internal Brickwork and Render
Information:	Major and minor cracking was identified to sections of the external brickwork and rendered surfaces. The cracks vary in size and pattern, with some consistent with minor settlement and shrinkage, and others of greater width that may indicate movement within the structure. In simple terms, there are both small and larger cracks in the internal brick and rendered walls. Cracking of this nature is commonly associated with building movement, settlement, thermal expansion and age, and is a common issue in buildings of this age. Ongoing or progressive movement may lead to further cracking over time. It is recommended that a suitably qualified builder assess the cracks to determine whether they are cosmetic or structural in nature and carry out repairs as required. For significant or progressive cracking, consultation with a structural engineer is recommended to further assess structural implications and provide rectification advice. Monitoring of larger cracks for signs of movement is advised. Rectification can be undertaken at the owner's discretion depending on the severity and progression of cracking.









Finding 2.07

Building:	Main Building
Location:	Rear/side of single story building
Finding:	Brickwork Knocked Out Poorly to Accommodate Air Conditioning Unit
Information:	Brickwork has been poorly cut and removed to accommodate the installation of an air conditioning unit. The opening appears roughly formed and inadequately finished, which may affect the structural integrity, weatherproofing and overall appearance of the wall. In simple terms, bricks have been knocked out roughly to fit the air conditioner, and the work looks untidy. This type of alteration, if not properly supported or sealed, may allow moisture ingress or ongoing cracking around the opening. It is recommended that a qualified builder or bricklayer assess the

modification and carry out appropriate rectification works, including proper support, flashing and sealing as required. Rectification can be undertaken at the owner's discretion.



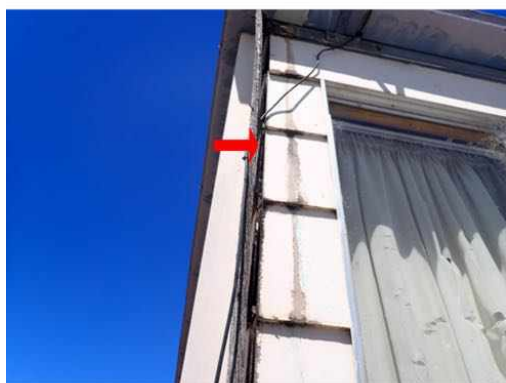
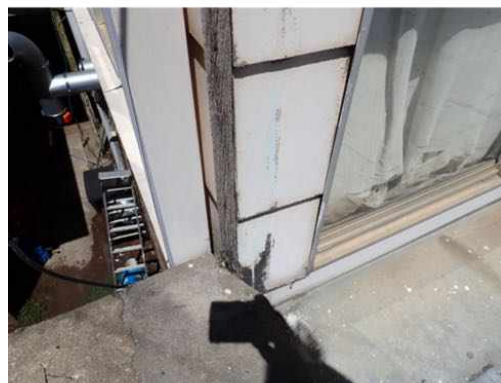
Finding 2.08

Building: Main Building
 Location: Front awning
 Finding: Corrosion to Front Awning Support – Engineering Consultation Recommended
 Information: Corrosion was identified to the front awning support structure. The rust observed is more than minor surface corrosion but no immediate failure was noted at the time of inspection. In simple terms, all the metal supports at the front awning are noticeably rusted. This condition is commonly associated with prolonged weather exposure and deterioration of protective coatings. If left unaddressed, corrosion may continue and potentially affect the long-term durability of the support. It is recommended that a qualified builder or metal fabricator assess the extent of deterioration and carry out repairs or treatment as required. Consultation with a structural engineer is recommended to confirm the structural adequacy of the support if concerns remain. Rectification can be undertaken at the owner's discretion to prevent further deterioration.



Finding 2.09

Building: Main Building
Location: Second story external cladding
Finding: Wood Rot to Timber Trims and Deterioration to Weatherboard Cladding
Information: Wood rot was identified to sections of the external timber trims, along with deterioration to areas of the weatherboard cladding. The timber shows signs of decay and breakdown consistent with age and weather exposure. In simple terms, parts of the external timber trims and cladding are rotting and wearing out. This is a common defect in buildings of this age due to ongoing exposure to the elements and maintenance requirements. If left unaddressed, deterioration may progress and allow moisture ingress into wall cavities. It is recommended that a qualified carpenter remove and replace affected timber components as required and that the external surfaces be properly prepared and re-coated to maintain protection. A licensed timber pest controller should also be consulted where decay is present to assess for any associated termite risk. Rectification can be undertaken at the owner's discretion to prevent further deterioration.





Finding 2.10

Building:	Main Building
Location:	Second story windows
Finding:	Second-Storey External Windows in Deteriorated Condition
Information:	<p>The second-storey external windows were found to be in deteriorated condition. Defects observed include age-related wear, breakdown of protective coatings and general deterioration of window components. In simple terms, the upstairs outside windows are run down and showing their age. This is a common condition in buildings of this age due to prolonged weather exposure and maintenance requirements. Access limitations typical of second-storey windows may restrict detailed inspection of all elements. If left unaddressed, deterioration may progress and affect operation, weatherproofing and durability. It is recommended that a qualified carpenter or window specialist assess the affected windows and carry out repairs, re-coating or replacement as required. Rectification can be undertaken at the owner's discretion to prevent further deterioration.</p>



Finding 2.11

Building:	Main Building
Location:	Second story roof
Finding:	Second-Storey Roof Cladding and Plumbing in Poor, Rust-Affected Condition
Information:	The second-storey roof cladding and associated plumbing components were found to be in poor, rust-affected condition. Defects observed include corrosion, age-related deterioration and general wear consistent with prolonged weather exposure. In simple terms, the upstairs roof sheeting and plumbing are significantly rusted and run down. This is a common condition in buildings of this age. If left unaddressed, continued corrosion may lead to water ingress, ineffective stormwater discharge and further structural damage. It is recommended that a licensed roofing contractor and/or licensed plumber assess the affected areas and carry out repairs or replacement as required. Rectification can be undertaken at the owner's discretion to prevent further deterioration.







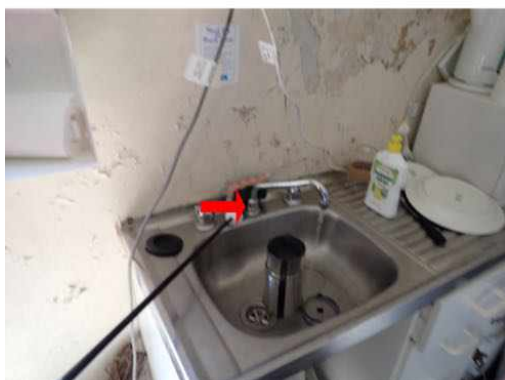
Minor Defect

Finding 3.01

Building:	Main Building
Location:	Kitchen area rear single story building
Finding:	Minor leak in Kitchen Tap and Average Condition Kitchen – Rear Single-Storey Building
Information:	The kitchen tap within the rear single-storey building was observed to have a minor leaking at the time of inspection. Continued leakage may result in water wastage and potential moisture-related damage to surrounding cabinetry or fixtures. It is

recommended that a licensed plumber repair or replace the tap and check associated fittings for leaks.

The kitchen overall was found to be functional but in average condition, with general wear and age-related deterioration noted. In simple terms, the kitchen works but is older and shows signs of use. This is common for a building of this age. Upgrades or refurbishment can be undertaken at the owner's discretion depending on desired standard and future plans for the building.



Finding 3.02

Building:	Main Building
Location:	Kitchen area rear single story building
Finding:	Door Hardware to Kitchen Area in Poor Condition
Information:	The door hardware to the kitchen area, although operational at the time of inspection, was found to be in poor condition. Components show signs of wear, age-related deterioration and possible loosening. In simple terms, the door handles and fittings work but are worn and run down. This condition is commonly associated with age and regular use. If left unaddressed, hardware may fail or become difficult to operate. It is recommended that a qualified handyman or carpenter repair or replace the affected hardware as required. Rectification can be undertaken at the owner's discretion.



Finding 3.03

Building: Main Building
Location: Findex tenancy
Finding: Water-Stained Ceiling Tiles to Findex Tenancy
Information: Several water-stained ceiling tiles were identified within the Findex tenancy at the time of inspection. The staining indicates past or possible moisture ingress; however, no active leaks were observed to the accessible areas during the inspection. In simple terms, some ceiling tiles show water marks from previous moisture. This condition is commonly associated with roof leaks, plumbing leaks or condensation events. It is recommended that a qualified contractor investigate the source of the staining to confirm whether the issue is historical or ongoing, and replace affected ceiling tiles as required. Further action can be undertaken at the owner or tenant's discretion depending on lease arrangements.





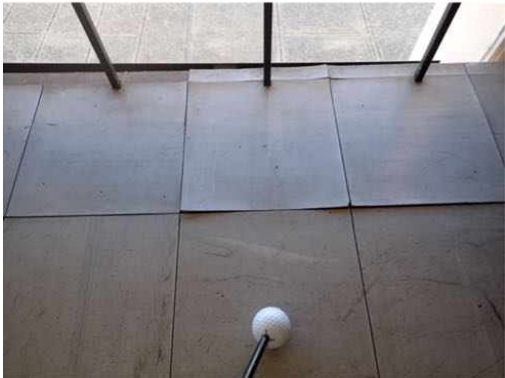
Finding 3.04

Building: Main Building

Location: Foyer

Finding: Age-Related Deterioration to Vinyl Floor Tiles

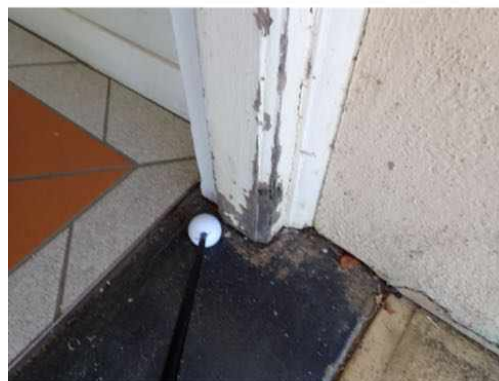
Information: Age-related deterioration was identified to sections of the vinyl floor tiles. The flooring shows signs of wear, surface scuffing and minor breakdown consistent with long-term use. In simple terms, the vinyl flooring is worn and showing its age. This condition is common in buildings of this age and with regular foot traffic. While generally cosmetic at this stage, continued wear may lead to lifting or further surface damage over time. It is recommended that a suitably qualified flooring contractor assess and repair or replace affected sections as required to prevent further deterioration. Rectification can be undertaken at the owner's discretion.

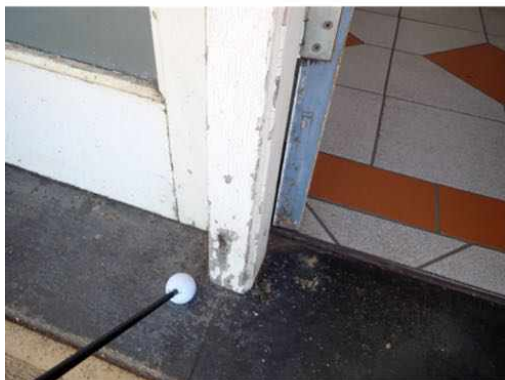




Finding 3.05

Building:	Main Building
Location:	External foyer entry
Finding:	Timber Door and Window Framing to External Foyer Entry Weathered Condition
Information:	The timber door and window framing to the external foyer entry were found to be in weathered condition. The timber shows signs of age-related wear and exposure to the elements. In simple terms, the timber around the entry door and windows is worn and weathered. This is a common condition due to ongoing sun and weather exposure. If left unmaintained, the timber may deteriorate further and become susceptible to decay. It is recommended that a qualified carpenter repair any damaged sections as required and that a qualified painter prepare and re-coat the timber to provide adequate protection. Maintenance can be undertaken at the owner's discretion to prevent further deterioration.





Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

No evidence was found

Evidence of fungal decay activity and/or damage

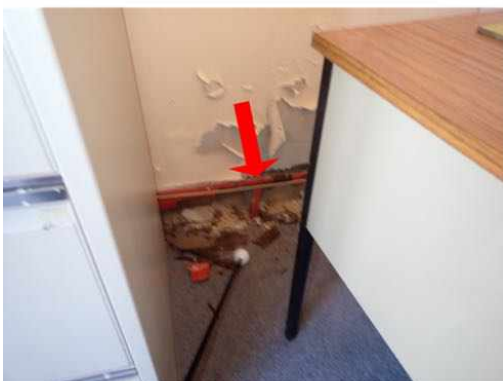
Finding 7.01

Building:	Main Building
Location:	Rear/side veranda.
Finding:	Wood Rot/Deterioration to Side/Rear Veranda Post and Surrounding Framing
Information:	Wood rot and deterioration were identified to the side/rear veranda post and the framing around the base of the post. The timber shows signs of decay consistent with prolonged moisture exposure and age-related wear. In simple terms, the timber post and surrounding frame at the veranda are rotting. This condition is commonly associated with weather exposure. If left unaddressed, deterioration may worsen and affect the structural stability of the veranda support. It is recommended that a qualified carpenter or builder remove and replace the affected timber components and ensure the area is adequately sealed and protected from moisture. A licensed timber pest controller should also be consulted to assess for any associated termite risk. Rectification should be undertaken to prevent further structural deterioration and can be arranged at the owner's discretion.



Finding 7.02

Building:	Main Building
Location:	Single story building
Finding:	Wood Rot and Damage to Skirting Board – Single-Storey Building (Room with Glass Door)
Information:	<p>Wood rot and associated damage were identified to the skirting board within the single-storey building, specifically in the room containing the glass door. The timber shows signs of decay consistent with moisture exposure and age-related deterioration. In simple terms, the skirting board in that room is rotting and damaged. This condition is commonly caused by moisture ingress, condensation or prolonged contact with damp surfaces. If left unaddressed, deterioration may progress and affect adjoining wall linings. It is recommended that a qualified carpenter remove and replace the affected skirting board and investigate the source of moisture if applicable. A licensed timber pest controller should also be consulted to assess for any associated termite risk. Rectification can be undertaken at the owner's discretion to prevent further deterioration.</p>





Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- Licensed Bricklayer
- Licensed Plumber specialising in Roof Plumbing
- Registered Roofing Contractor
- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections
- Structural Engineer
- Sub Floor Ventilation Specialist
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in fair condition when compared to homes of similar age, type of construction and location.

I recommend reading this report in detail and acting on all recommendations

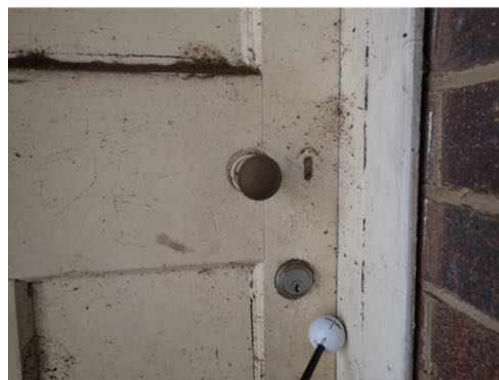
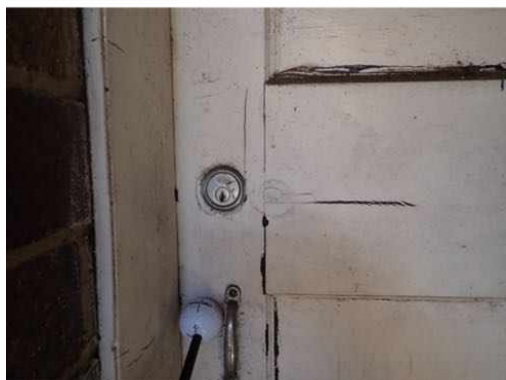
For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Section D Significant Items

The following items were noted as - For your information

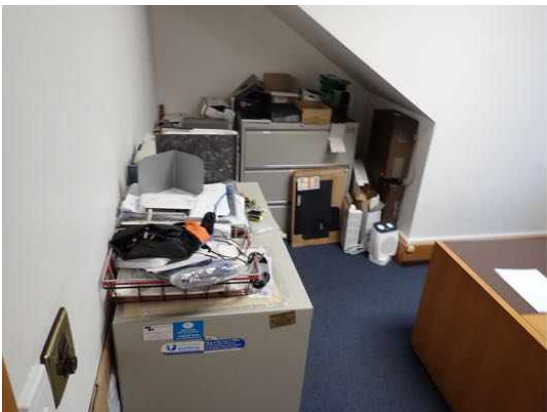
Noted Item

Building:	Main Building
Location:	Rear/side of single story building
Finding:	Side Timber Doors Locked at Time of Inspection – Fair Condition for Age
Information:	The side timber doors were locked at the time of inspection and internal faces/operation could not be fully assessed. Based on external visual observations only, the doors appear to be in fair condition consistent with their age. In simple terms, the side timber doors were locked so they couldn't be properly checked, but from what could be seen they look reasonable for their age. This is a common limitation where access is restricted. It is recommended that the doors be fully inspected once access is available to confirm condition and operation. Further assessment can be undertaken at the owner's discretion.

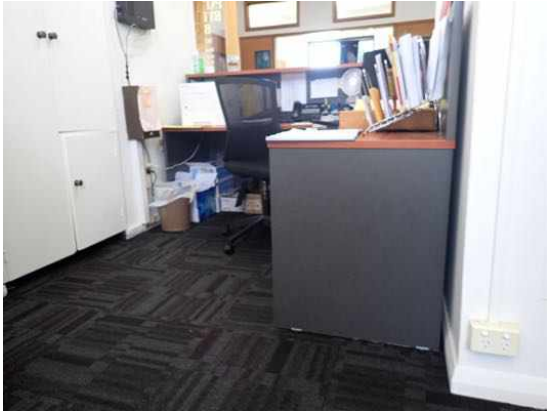


Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Additional Photos - Obstructions and Limitations
Information:	These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.













Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.