



Building and Timber Pest Inspection Report VR

Inspection Date: Thu, 5 Feb 2026

Property Address: 8 Moyston Ct, Thornlands QLD 4164,
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 5 Feb 2026

Modified Date: Tue, 17 Feb 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 8 Moyston Ct, Thornlands QLD 4164, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Laurie Thompson Ph: 0423 365 507
Email: Capalaba@jimbuildinginspections.com.au

QBCC 81848

Company Name: Jim's Building Inspections (Capalaba)

Company Address and Postcode: Capalaba 4157

Company Email: Capalaba@jimbuildinginspections.com.au

Company Contact Numbers: 0423 365 507

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage	✓	
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with maintenance items required.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Detached, Residential
Company or Strata title	Unknown
Floor	Slab on ground
Furnished	Unfurnished
No. of bedrooms	4
Occupied	Unoccupied
Orientation	North
Other Building Elements	Driveway, Fence - Post and Rail Construction, Footpath, Garage, Pergola, Retaining Walls, Shed, Water Tanks
Other Timber Bldg Elements	Architraves, Internal Joinery, Landscaping Timbers and Construction, Skirting Boards, Door Frames, Doors, Weatherboards, Window Frames
Roof	Timber Framed, Tiled
Storeys	Single
Walls	Brick Veneer (Timber Framed), Rendered, Weatherboards
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Fencing
- Gardens
- Landscaping Timbers
- Posts
- Roof Exterior
- Exterior
- Roof Void - Part
- Slab
- Interior
- Outbuildings
- The Site
- Timber Retaining Walls
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Areas of skillion or flat roof - no access
- Outside of the fencing.

- Ceiling Cavity - Part.
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.
- Timber retaining walls due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Areas of skillion or flat roof - no access
- Ceiling linings
- Chimney vents and flues
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Evidence of recently painted walls or ceilings
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Insulation
- External concrete or paving
- Landscaping
- Floor coverings
- Vegetation covered approximately 25% of the area for inspection.
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Finding 3.01

Building: Main Building
Location: Yard - Front > Front Left
Finding: Cracking - External Concrete Paving Damage Category 1 - Fine (less than 2mm)
Information: Fine cracks were identified in the front left side external concrete paving, and other areas of this building. Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage. To be considered a Category 1 or fine crack, the crack is found to be less than 2mm in width.

Generally the cause of a hairline crack in existing concrete paving such as driveways and pathways is indicative of the expansion and contraction of the concrete. Such causes are generally due to environmental factors, such as moisture levels, weather conditions, root systems of nearby trees or the soil types on which they are laid.

Fine cracks may also be due to poor original installation of the concrete. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.



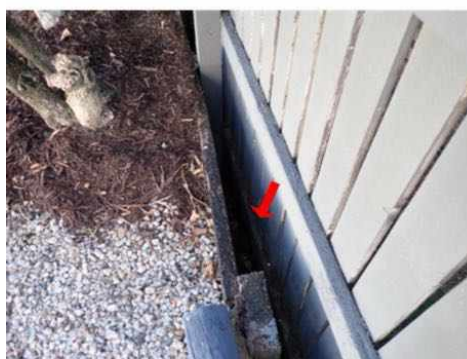


Finding 3.02

Building:	Main Building
Location:	Yard -Left > All Areas
Finding:	Retaining wall - Defective
Information:	The side boundary retaining wall was found to be noticeably leaning and in a minor deteriorated condition, and is defective at the time of inspection. Generally, defective retaining walls are caused by poor original design or material use. However, deteriorated retaining walls may also be a result of substandard construction, poor site drainage or unmanaged stormwater flows.

If left unmanaged, the retaining wall may become a safety hazard if it continues to destabilise. Where retaining walls further rot and decay, an environment is created that is conducive to termite and pest infestation.

Significant repair and replacement should be expected. Where retaining walls are considered structural walls, a structural engineer / surveyor should be consulted regarding required remedial works. Otherwise, a landscaper or retaining wall installer may be appointed to repair or replace the wall, at the discretion of the client.



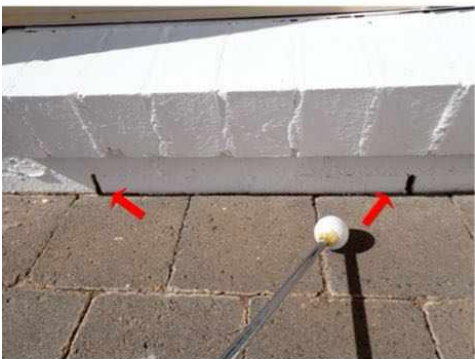


Finding 3.03

Building:	Main Building
Location:	Exterior walls Front/Rear > All Areas
Finding:	Weep holes - Blocked
Information:	It was noted during the time of inspection that some of the weep holes to areas of the brickwork were blocked or covered by landscaping or paving. Weep holes are designed to allow water from leaks or seepages in brickwork to be directed to the external environment, prior to entering the wall cavity or associated building materials. Weep holes should therefore be kept clean and free of debris or blockages.

Blocked weep holes are likely to result in the presence of excessive moisture within the brickwork and associated structures, creating potential for water damage and moisture problems.

Depending on the nature of the blockage, the homeowner may be able to undertake remedial works to remove blockages. Alternatively, appointment of a registered builder may be required to remove blockages. Preventative works are necessary in ensuring the structural integrity of the affected brickwork and should be performed as soon as possible.





Finding 3.04

Building:	Main Building
Location:	Exterior walls - right side > Centre Right
Finding:	Hot water unit to close to wall.
Information:	The electrical hot water unit has been installed too close to the external wall and enclosed in a fixed timber screen that restricts inspection for termite activity and general servicing. This is conducive to termite activity, and it is recommended it be moved away from the wall to create a visual barrier for inspection purposes. A plumbing contractor could complete this task.



Finding 3.05

Building: Main Building
Location: Roof Exterior > All Areas
Finding: Roof Condition
Information:

The concrete tiled roof on this building appears to have been fully serviced and re coated in the past many years, and is in fair condition at the time of this inspection.

Isolated areas of the painted tile surfaces are showing signs of minor environmental deterioration, and should be recoated to reduce the risk of further deterioration occurring.

A handyman can complete this job.





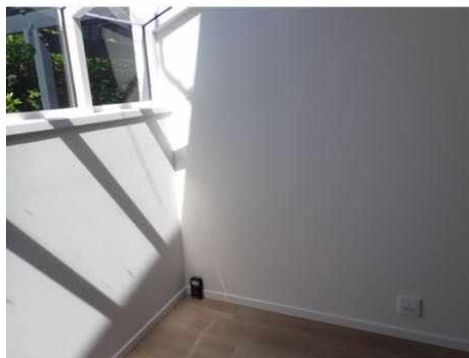
Finding 3.06

Building: Main Building
 Location: Sunroom > Rear Left
 Finding: moisture meter readings
 Information: There was a slightly high moisture meter reading of between 20/22 % in the rear left side sunroom external wall area at the time of this inspection. This can be caused by water ingress into the wall cavity from external sources or a possible plumbing leak . Wet areas can also have a potential failure to the water proofing membrane causing potential water issues.

This can also be conducive to termite activity, and this area should be monitored for any changes .

A licensed plumbing contractor or waterproofing contractor should inspect this area and report .

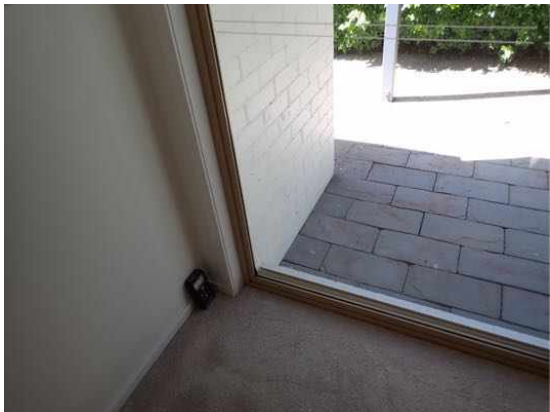
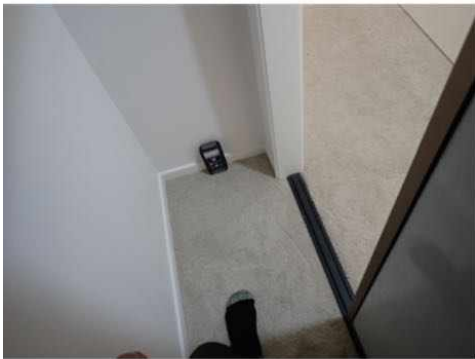




Finding 3.07

Building: Main Building
 Location: Bedroom - Master > Front Right
 Finding: moisture meter readings
 Information: There was a slightly high moisture meter reading of 22 % in the master bedroom front right side entry wall area that backs onto the master bedroom ensuite shower area at the time of this inspection. This can be caused by water ingress into the wall cavity from external sources or a possible plumbing leak . Wet areas can also have a potential failure to the water proofing membrane causing potential water issues. A licensed plumbing contractor or waterproofing contractor should inspect this area and report .

This area should be closely monitored for any changes .





Live Timber Pest Activity

No evidence was found

Timber Pest Damage

Finding 5.01

Building: Main Building
 Location: Yard - Front > Front Right
 Finding: Evidence of termite damage - minor
 Information: Despite no live termite or timber pest activity being indicated, previous termite damage was found to have affected the front right side boundary timber fencing and retaining walls area. This damage is suspected to be inactive and is suspected to be minor in nature.

It is advised that the area be visually inspected frequently to ensure that the condition of affected building materials does not worsen. At the time of inspection, damage is not structural and is only considered to be superficial.

A building contractor may be appointed to provide a further invasive inspection if further damage is evident.



Conditions Conducive to Timber Pest Activity

Finding 6.01

Building: Main Building
 Location: Exterior walls > All Areas
 Finding: Termite Management System - no evidence of a chemical installation
 Information: There appears to be NO physical or chemical termite barrier installed in this building, with NO durable notices installed in the electrical meter box or kitchen sink area at the time of this inspection.

There was no evidence found to indicate that this property has been inspected or treated for general pest or timber pest (termites) within the past 12 months as recommended.

The client should produce any relevant paperwork to confirm these inspections have been conducted, otherwise a general pest treatment and termite visual inspection at a minimum requirement with a chemical termite barrier area recommended as soon as possible.

There are signs of termite chemical barrier drilling in some paved areas at the front and rear external wall areas, but NOT all concrete areas and it is not known when the suspected termite barrier may have been installed or if it is still active without a durable notice

The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.





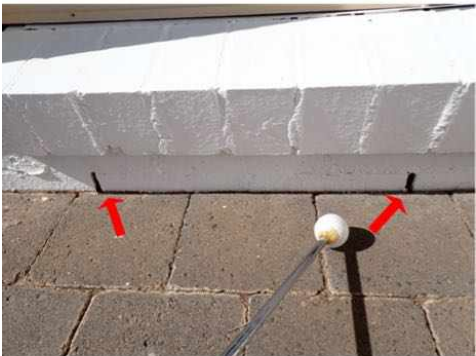
Finding 6.02

Building:	Main Building
Location:	Exterior walls > All Areas
Finding:	Slab Edge - Exposure
Information:	Masonry wall weep holes throughout areas of this building were found to be blocked or below finished natural ground or paving levels .

An inspection zone of at least 75mm in relation to the exposed slab edge or weep hole line , between the bottom brick and the perimeter pavement, is required. This inspection zone should be maintained in order to force termites into the open where they can be detected more readily during regular inspections. The slab edge or weep hole line should not be concealed by anything that may prevent inspection of the area, including render, landscaping, soil, turf, paving, concrete cladding or other structures.

If the slab edge or weep hole line is not properly exposed there is a high risk of termite attack. Sometimes, in order to determine the type of slab, a suitably qualified person such as an architect or builder may be required to consult the construction plans.

Where the slab edge or weep hole line cannot be properly inspected, it is highly recommended that termite or timber pest inspections be carried out every 6-12 months to aid protection of the property against infestation.



Finding 6.03

Building: Main Building
Location: Yard > All Areas
Finding: Garden Beds - Conditions Conducive to Termites
Information: Garden beds were found to be evident in most of the garden areas. These garden beds can include untreated timber, and with a combination of moisture from watering hosing can make conditions conducive to termite activity and termite ingress.





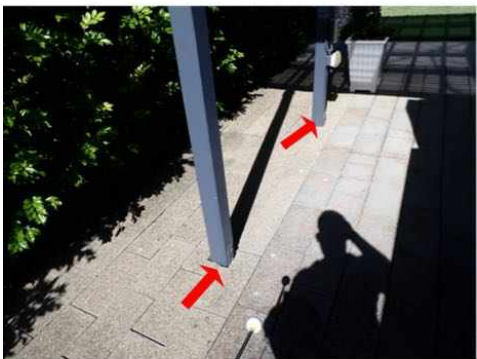
Finding 6.04

Building:	Main Building
Location:	Yard - Back > Rear Left
Finding:	Building materials in direct ground contact - conducive to termites
Information:	Timber posts at the rear alfresco structure were found to be in direct or close contact with the natural ground or paved surfaces .

Where timber elements are in direct contact with the ground and consequently moisture or dampness they become conducive to termite activity. Whether timber is used as a building element part of a fencing structure or stored as an unused item they can provide an environment that is attractive to termite infestation.

When met with excessive moisture timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated or non-durable also provide ingress for subterranean termites into that particular element.

The removal of any such materials that may be conducive to termite activity should be removed as soon as possible to minimise the risk of termite attack.



Finding 6.05

Building:	Main Building
Location:	Exterior walls - right side > Centre Right
Finding:	Building materials in direct ground contact - conducive to termites
Information:	The right side hot water storage unit has had a timber flexed screen installed that is in direct contact with the paving and slab joint surfaces.

Where timber elements are in direct contact with the ground and consequently moisture or dampness they become conducive to termite activity. Whether timber is used as a building element part of a fencing structure or stored as an unused item they can provide an environment that is attractive to termite infestation.

When met with excessive moisture timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated or non-durable also provide ingress for subterranean termites into that particular element.

The removal of any such materials that may be conducive to termite activity should be removed as soon as possible to minimise the risk of termite attack.



Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Main Building
Location:	Yard > All Areas
Finding:	Fungal decay - present (widespread)
Information:	Fungal decay was identified throughout most timber retaining walls and areas of timber fencing in this property.

Fungal decay is also known as wood decay or wood rot generally refers to the deterioration of timber elements when in contact with excessive levels of moisture for a prolonged period of time.

The development of fungal decay is accelerated by temperatures in the range of 5degreeC to 40degreeC as well as the presence of oxygen. Generally fungal decay develops on timber elements that are in use in an external environment which are exposed to rain penetration.

In this case, fungal decay appears to have become widespread and is likely to have affected any adjoining timber elements/structures. The widespread development of fungal decay is likely to have heavily impacted the structural integrity and tensile strength of the affected timber elements and the associated structure.

Timbers affected by widespread fungal decay should be replaced immediately. The cause of the moisture that has led to the development of such decay should also be identified and dealt with in an appropriate manner.





Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Pest Controller
- As identified in summary and defect statements
- Termite and Timber Pest Technician / Licensed Pest Controller
- Licensed Plumber
- Other

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- When compare to other buildings of a similar age and construction type, that have an expected routine level of maintenance, this dwelling presents in fair condition

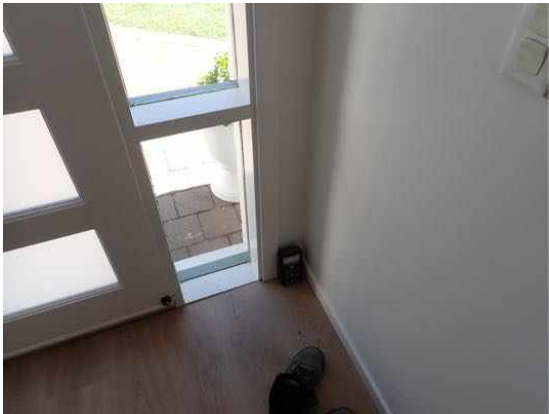
For further information, advice and clarification please contact Laurie Thompson on: 0423 365 507

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
Location: Entry > All Areas
Finding: No obvious defects identified
Information: There were no obvious defects found in the main front entry area on a visual inspection at this time.



Noted Item

Building: Main Building
Location: Bedroom 4 > All Areas
Finding: No obvious defects identified
Information: There were no obvious defects found in bedroom-4 on a visual inspection at this time.





Noted Item

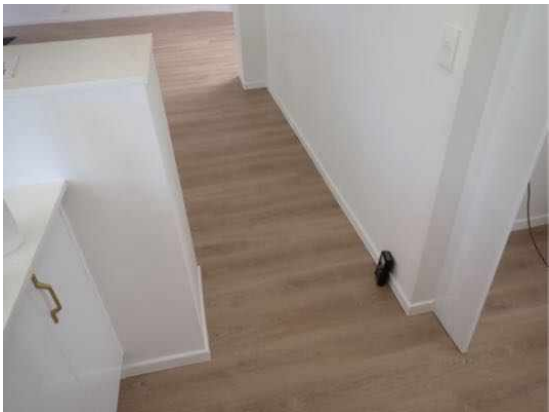
Building: Main Building
 Location: Living / Meals Room > All Areas
 Finding: No obvious defects identified
 Information: There were no obvious defects found in the living/meals room on a visual inspection at this time.





Noted Item

Building: Main Building
Location: Kitchen > Rear
Finding: No obvious defects identified
Information: There were no obvious defects found in the kitchen area on a visual inspection at this time.

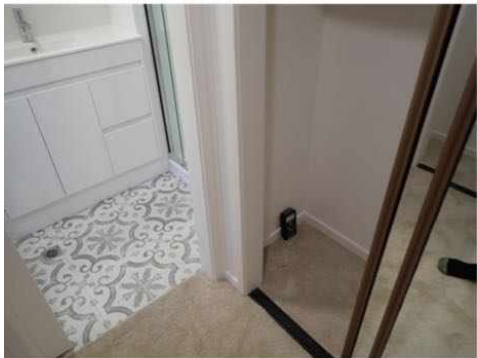






Noted Item

Building: Main Building
 Location: Bedroom - Master/ Ensuite > All Areas
 Finding: No obvious defects identified
 Information: There were no obvious defects found in the master bedroom ensuite room on a visual inspection at this time.





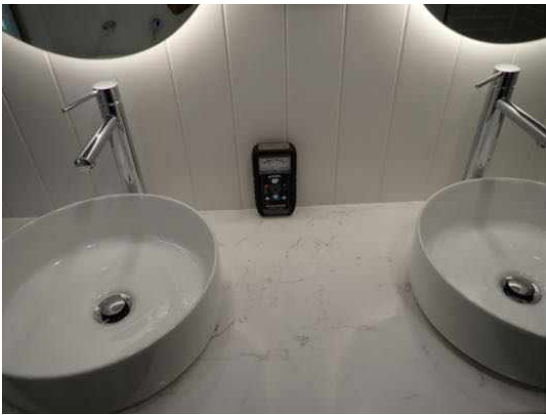


Noted Item

Building: Main Building
 Location: Bathroom > All Areas
 Finding: No obvious defects identified
 Information: There were no obvious defects found in the main bathroom on a visual inspection at this time.



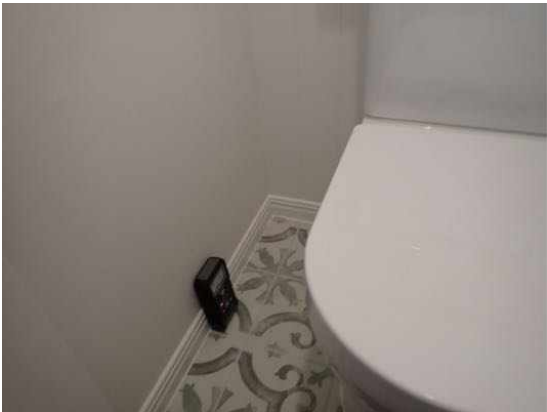






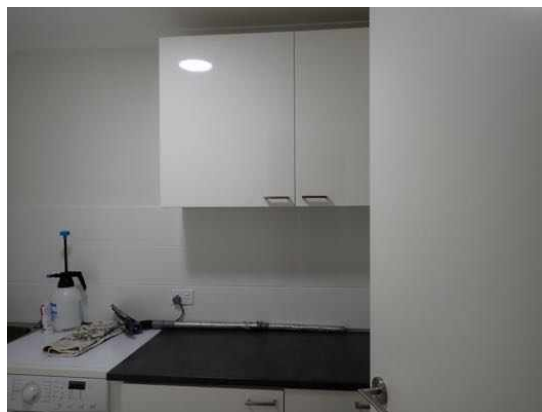
Noted Item

Building: Main Building
Location: Toilet (WC) > All Areas
Finding: No obvious defects identified
Information: There were no obvious defects found in the main toilet room on a visual inspection at this time.



Noted Item

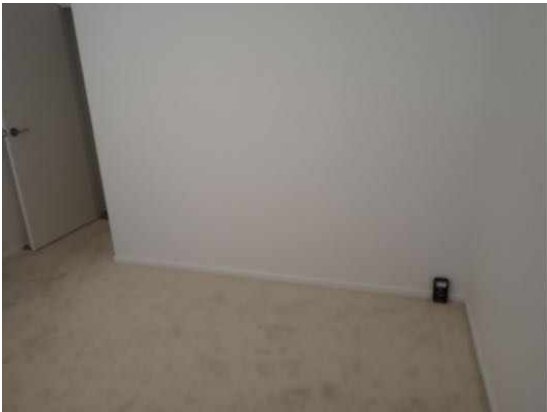
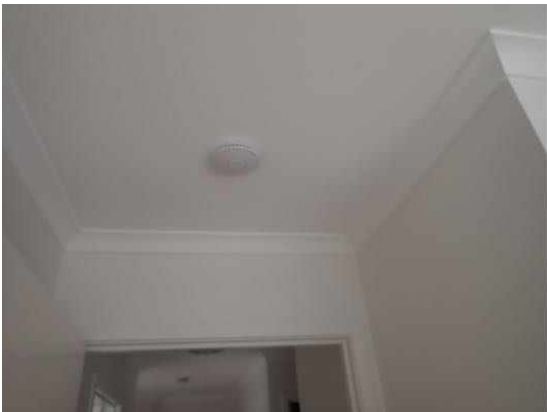
Building: Main Building
 Location: Laundry > All Areas
 Finding: No obvious defects identified
 Information: There were no obvious defects found in the laundry room on a visual inspection at this time.



Noted Item

Building: Main Building
 Location: Bedroom 2/3 > All Areas
 Finding: No obvious defects identified
 Information: There were no obvious defects found in bedrooms-2/3 on a visual inspection at this

time.







Noted Item

Building: Main Building
 Location: Garage > All Areas
 Finding: Additional Photos - Obstructions and Limitations
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.

No obvious defects were identified in this area .



Noted Item

Building: Main Building
Location: Roof Void > All Areas
Finding: Roof void Inspected
Information: The roof void was inspected for timber pest activity.

No Evidence of timber pest activity was identified at the time of this inspection.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.