



Building and Timber Pest Inspection Report

Inspection Date: Thu, 26 Mar 2026

Property Address: 4/168 Narracan Dr, Newborough VIC 3825, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 26 Mar 2026

Modified Date: Mon, 30 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

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Client's Email Address:

Client's Phone Number:

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Company Address and Postcode: Warragul 3820

Company Email: Warragul@jimsbuildinginspections.com.au

Company Contact Numbers: 0432 905 298

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: The roof subfloor was not accessible at the time of inspection, potentially concealing an array of defects. It is recommended that access be arranged to conduct a thorough inspection of the subfloor to determine any underlying issues.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage	✓	
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in poor condition with safety hazards identified. Major and minor defects were also found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Residential, Unit
Company or Strata title	Unknown
Floor	Concrete Stumps, Suspended Timber Frame
Furnished	Furnished
No. of bedrooms	3
Occupied	Occupied
Orientation	South
Other Building Elements	Footpath, Fence - Post and Rail Construction, Driveway
Other Timber Bldg Elements	Internal Joinery, Skirting Boards, Stair Railing, Staircase, Veranda Posts, Window Frames, Floating Floor, Fascias, Doors, Door Frames, Architraves, Deck
Roof	Timber Framed, Pitched, Tiled
Storeys	Single
Walls	Timber Framed and Clad, Weatherboards
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Subfloor - Part
- Wall Exterior
- Interior
- Exterior
- Roof Void - Part
- Roof Exterior - Part

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Areas of low roof pitch preventing full inspection.
- Outside of the fencing.
- Roof Exterior - Part
- Subfloor - Part.
- Site - Part.
- Subfloor.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Chimney vents and flues
- Ceiling linings
- Areas of low roof pitch preventing full inspection
- Appliances and equipment
- Duct work
- External concrete or paving
- Debris or rubbish
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Landscaping
- Lack of clearance - subfloor
- Pipework
- Rugs
- Stored items
- Subfloor area - Limited access due to restrictive crawl space
- Vegetation
- Wall linings
- Wallpaper or Wall Coverings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

Building:	Main Building
Location:	All Internal Areas
Finding:	Smoke Detectors and Alarms
Information:	Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report.

Please note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that the absence of smoke detectors, or their poor condition, should be addressed as a matter of urgency to improve occupant safety.

Further Inspection and/or advisory services is necessary to provide advice on the sufficiency, type and location of smoke detectors, and to test the functionality of all devices. Greater requirements for fire safety and detection exist for commercial buildings.

Always ensure sufficient working and suitable smoke detectors are installed prior to occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.

Please refer to AS3786 and state based legislation, which may also apply.



Major Defect

Finding 2.01

Building:	Main Building
Location:	Roof Void

Finding: Termite Damage to Roof Structural Timber

Information: Evidence of termite damage was identified to structural timber elements within the roof space during the inspection. The observed damage is consistent with timber pest activity; however, this assessment is based on a visual, non-invasive inspection only. Access limitations and concealed building elements restricted a full assessment, and therefore the extent of damage and whether the activity is current or historical could not be determined.

Termite damage to structural timbers is considered a major defect, as it may significantly compromise the structural integrity and load-bearing capacity of the building. The damage observed may extend beyond visible areas and could be present within concealed elements such as framing members, wall cavities, and other inaccessible sections of the structure. If active infestation is present, further deterioration may occur, potentially leading to extensive structural damage.

An urgent invasive inspection by a licensed timber pest technician is strongly recommended to confirm the presence of active termites and determine the full extent of damage. A registered builder should also be engaged to assess the structural adequacy of affected elements and carry out necessary repairs or replacement. Immediate attention is required to mitigate further risk and potential escalation of damage



Finding 2.02

Building: Main Building
Location: Exterior walls - rear
Finding: Severely Deteriorated Rear Section
Information: The rear section of the property was observed to be in a severely deteriorated condition during the inspection. Extensive weathering of timber elements was noted, with multiple areas affected by wood rot. Damaged eaves and deteriorated roof flashings were also identified, indicating prolonged exposure to moisture and lack of maintenance.

This condition poses a risk of further structural deterioration if left unaddressed. Timber decay can compromise the integrity of affected building elements, and damaged eaves and flashings increase the likelihood of water ingress, which may lead to additional concealed damage over time.

It is strongly recommended that a registered builder and licensed roofing contractor be engaged to carry out a comprehensive assessment and undertake necessary repairs or replacement of the affected elements. Further investigation may be required to determine the full extent of damage.







Finding 2.03

Building:	Main Building
Location:	Bathroom
Finding:	Major Bathroom Defects and Suspected Shower Leak
Information:	Significant defects were observed in the bathroom area during the inspection. Several floor tiles were missing and multiple floor tiles were cracked. Deteriorated grouts were also noted to tiled areas. The basin was found to be deteriorated, and the shower base was damaged. Shower door hardware was also faulty. Elevated moisture levels were recorded in multiple sections around the shower area, and severe wood rot was observed to timber elements near the shower and WC. These findings are consistent with a likely active and/or prolonged water leak originating from the shower area.

The extent of moisture ingress, deteriorated grouting, cracked and missing tiles, and timber decay indicates ongoing exposure to water, which may have resulted in concealed damage to adjacent structural and subfloor elements that were not visible at the time of inspection. Such conditions can compromise the integrity of affected building components and are conducive to termite infestation, increasing the risk of timber pest activity. Given the limitations of a visual, non-invasive inspection, the full extent of damage and underlying causes could not be determined.

An invasive inspection is considered essential to accurately determine the source and extent of the leak and any associated damage. It is strongly recommended that a licensed plumber be engaged to investigate and rectify the leak, and a registered builder be appointed to assess and carry out all necessary repairs and reinstatement works as soon as possible. Delay in addressing this issue may lead to further deterioration and increased repair costs.









Finding 2.04

Building:	Main Building
Location:	Subfloor
Finding:	Severe Subfloor Damp Conditions
Information:	Severe damp conditions were identified in multiple sections of the subfloor, predominantly at the rear side of the property. Elevated moisture levels were noted to the subfloor environment, and supporting stumps were found to be damp at the base. This condition may be associated with a potential leak from the adjacent bathroom and/or inadequate site drainage; however, this assessment is based on a visual, non-invasive inspection only, and the exact source of moisture could not be conclusively determined.

Prolonged damp conditions within the subfloor can adversely affect the performance and durability of structural elements, including stumps, bearers, and joists. Continued exposure to moisture may lead to timber decay, weakening of structural components, and creates an environment conducive to termite infestation. It is also possible that concealed damage exists to subfloor elements that were not visible at the time of inspection.

An urgent and thorough investigation is required. It is strongly recommended that a licensed plumber be engaged to identify and rectify any plumbing leaks, and a registered builder be appointed to assess the condition of subfloor structural elements and carry out necessary remedial works. An invasive inspection may be required to determine the full extent of damage. Immediate attention is advised to mitigate further deterioration.



Minor Defect

Finding 3.01

Building:	Main Building
Location:	Porch
Finding:	Cracking to Porch Concrete Paving
Information:	Cracking was observed in the concrete paving at the porch area during the inspection. This may be associated with minor ground movement, settlement of the supporting base, or inadequate site drainage contributing to soil movement beneath the slab.

While the extent of cracking appeared limited at the time of inspection, ongoing movement or poor drainage conditions may lead to further deterioration, widening of cracks, and potential unevenness of the surface, which may become a trip hazard over time.

It is recommended that the area be monitored for any progression of cracking or movement. If deterioration continues, a registered builder or concreting specialist should be engaged to assess the cause and carry out appropriate remedial works. Improving site drainage around the area may also be required to prevent further movement.



Finding 3.02

Building:	Main Building
Location:	All Areas
Finding:	Inadequate Site Drainage
Information:	The site drainage around the property was observed to be inadequate, resulting in water accumulating near the building perimeter and creating damp conditions. This may be due to poor grading, insufficient fall away from the structure, or ineffective stormwater management. Timber elements in contact with or close to the ground were also noted to have wood rot, likely as a result of prolonged moisture exposure.

Prolonged damp conditions can contribute to deterioration of building materials,

weakening of structural elements over time, and may lead to moisture ingress into the dwelling. The observed timber decay further indicates ongoing moisture issues. Additionally, such conditions are conducive to termite infestation, increasing the risk of timber pest activity.

It is recommended that a licensed plumber or drainage specialist be engaged to assess and rectify site drainage, including improving surface grading and ensuring proper connection to the stormwater system. Decayed timber elements should be repaired or replaced by a registered builder, and appropriate measures should be implemented to prevent further moisture exposure and maintain a dry perimeter around the structure.





Finding 3.03

Building: Main Building
Location: All Areas
Finding: Downpipes Not Connected to Stormwater System
Information: Several downpipes were observed to be disconnected or not connected to the stormwater drainage system during the inspection. As a result, roof water is likely discharging directly at the base of the structure.

This condition can lead to localised dampness, soil saturation, and potential moisture ingress into the building. Prolonged exposure may contribute to deterioration of footings, external building elements, and create conditions conducive to termite infestation.

It is recommended that a licensed plumber be engaged to connect all downpipes to an appropriate stormwater drainage system to ensure effective discharge of roof water away from the structure.





Finding 3.04

Building: Main Building
Location: Roof Exterior
Finding: Deteriorated Roof Flashings
Information: Roof flashings were observed to be severely deteriorated, with significant rusting evident to the metal components. This condition is likely due to prolonged exposure to weather and lack of maintenance over time.

Deteriorated flashings may compromise the weatherproofing of the roof, increasing the risk of water ingress into the building. If left unaddressed, this may lead to internal water damage, timber decay, and deterioration of surrounding structural elements.

It is recommended that a licensed roofing contractor be engaged to inspect, repair, or replace the affected flashings as required. Further investigation may be necessary to assess any underlying damage caused by potential water ingress.





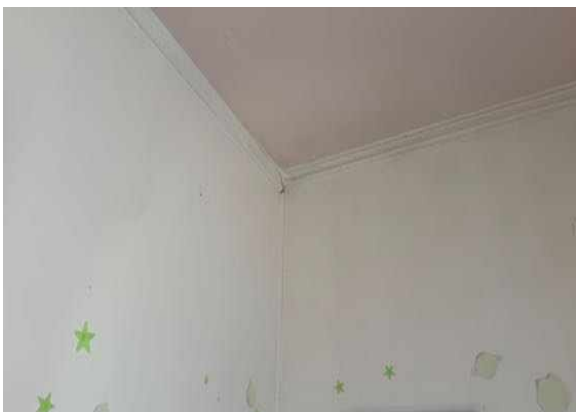
Finding 3.05

Building:	Main Building
Location:	All Areas
Finding:	Cracking to Plasterboard Walls and Ceiling
Information:	Several cracks were observed to plasterboard walls and ceiling areas during the inspection. These are likely attributed to a combination of structural movement and general wear and tear due to poor maintenance over time.

While some cracking may be cosmetic, ongoing structural movement can lead to widening of cracks and potential deterioration of internal finishes. If left unaddressed, this may affect the integrity and appearance of the affected surfaces.

It is recommended that the cracks be monitored for any progression. If movement continues or cracks widen, a registered builder should be engaged to assess the cause and carry out appropriate repairs. Rectification of finishes may also be required once the underlying cause is addressed.





Finding 3.06

Building:	Main Building
Location:	All Areas
Finding:	Deteriorated Floating Floor
Information:	The floating floor was observed to be deteriorated and uneven, with noticeable movement underfoot during the inspection. This condition is likely associated with underlying structural movement or issues with the subfloor, resulting in loss of stability and support.

If left unaddressed, the condition may worsen over time, leading to further deterioration of the flooring system, increased unevenness, and potential safety hazards. It may also indicate underlying structural concerns that require further investigation.

It is highly recommended that a registered builder be engaged to assess the extent of the issue, identify the underlying cause, and carry out appropriate remedial works. Further investigation may be required to determine the condition of the subfloor and supporting elements.



Finding 3.07

Building: Main Building
Location: Roof Exterior
Finding: Gutters - Partially Blocked

Information: Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Where gutter guard is installed regular maintenance should include cleaning out any debris which may rest on top of or filter through the gutter guard.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

Consult a Licensed Plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a general handyperson as a matter of urgency.



Finding 3.08

Building:	Main Building
Location:	Bedrooms
Finding:	Weathered Window Frames and Deteriorated Seals
Information:	Several window frames at the rear side of the property were observed to be weathered, with deterioration to the associated seals. This is likely due to prolonged exposure to external elements and lack of maintenance over time.

Deteriorated seals and weathered frames may compromise the weatherproofing of the windows, increasing the risk of water ingress, air leakage, and potential deterioration of surrounding building elements if left unaddressed.

It is recommended that a qualified tradesperson or window specialist be engaged to

repair or replace the affected seals and assess the condition of the frames. Ongoing maintenance or replacement may be required to ensure proper performance and durability.



Finding 3.09

Building:	Main Building
Location:	All Areas
Finding:	Disjointed Plasterboard Walls
Information:	Sections of plasterboard walls were observed to be disjointed during the inspection. This condition is likely associated with movement within the structure, poor installation, or deterioration of fixings over time.

Disjointed plasterboard may indicate underlying movement or stress within the building and can lead to further cracking, separation of joints, and deterioration of internal finishes if left unaddressed.

It is recommended that the affected areas be monitored for any further movement. If the condition worsens, a registered builder should be engaged to assess the underlying cause and carry out appropriate repairs.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

Finding 5.01

Building:	Main Building
Location:	Roof Void
Finding:	Termite Damage to Roof Structural Timber
Information:	Evidence of termite damage was identified to structural timber elements within the roof space during the inspection. The damage appears consistent with timber pest activity; however, this assessment is based on a visual, non-invasive inspection only. The full extent of damage, including whether the activity is current or historical, could not be determined at the time of inspection.

Termite damage to structural timbers can significantly compromise the integrity and load-bearing capacity of affected elements. It is possible that the damage extends beyond visible areas and may be present within concealed building elements, including framing members, wall cavities, and other inaccessible areas. If active infestation is present, further spread and deterioration may occur, potentially resulting in extensive structural damage.

An urgent invasive inspection by a licensed timber pest technician is strongly recommended to determine the presence of active termites and assess the full extent of damage. A registered builder should also be engaged to evaluate the structural adequacy of affected components and carry out necessary repairs or replacement. Immediate action is advised to mitigate further risk and potential escalation of damage.



Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Main Building
Location:	Meter Box
Finding:	Termite Management System - no evidence of a chemical installation
Information:	The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



Finding 6.02

Building: Main Building
Location: All Areas
Finding: Downpipes Not Connected to Stormwater System
Information: Several downpipes were observed to be disconnected or not connected to the stormwater drainage system during the inspection. As a result, roof water is likely discharging directly at the base of the structure.

This condition can lead to localised dampness, soil saturation, and potential moisture ingress into the building. Prolonged exposure may contribute to deterioration of footings, external building elements, and create conditions conducive to termite infestation.

It is recommended that a licensed plumber be engaged to connect all downpipes to an appropriate stormwater drainage system to ensure effective discharge of roof water away from the structure.



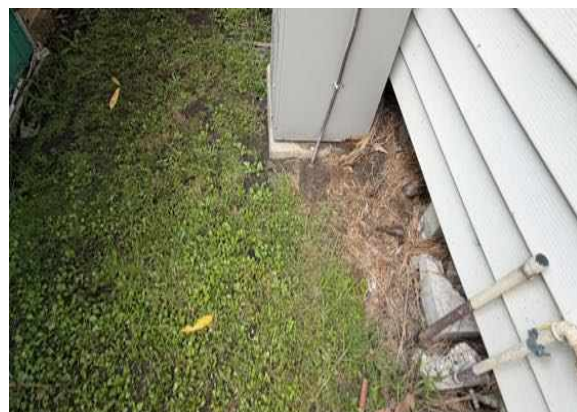


Finding 6.03

Building:	Main Building
Location:	All External Areas
Finding:	HWS Overflow - Not Connected
Information:	The Hot Water System (HWS) overflow was found to be disconnected from storm water drainage and is creating excessive moisture in the surrounding area.

These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area.

It is highly recommended that a licensed plumber be appointed to connect the HWS overflow in order to prevent such an environment from being created. These minor works should be carried out as soon as possible.



Finding 6.04

Building:	Main Building
Location:	All External Areas
Finding:	Bridging - Attachments to Buildings
Information:	Bridging occurs when items against a building provide a concealed entry point for

termites into the building or by passing around a termite management system.

Where any part of an attachment to a building is not isolated and is not provided with a clear gap of not less than 25mm from the building, bridging occurs. Attachments to buildings such as hot water services, downpipes, verandahs, decks, steps, fences, service conduits are the like provide the opportunity for concealed entry.

Building attachments of this nature need to be frequently inspected for termite activity by a qualified inspector.



Finding 6.05

Building:	Main Building
Location:	All External Areas
Finding:	Garden Beds - Conditions Conducive to Termites
Information:	Garden beds were found to be evident in the garden area. These garden beds can include untreated timber, and with a combination of moisture from watering hosing can make conditions conducive to termite activity and termite ingress.



Finding 6.06

Building:	Main Building
Location:	All External Areas

Finding: Building materials in direct ground contact - conducive to termites

Information: Where timber elements are in direct contact with the ground and consequently moisture or dampness they become conducive to termite activity. Whether timber is used as a building element part of a fencing structure or stored as an unused item they can provide an environment that is attractive to termite infestation.

When met with excessive moisture timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated or non-durable also provide ingress for subterranean termites into that particular element.

The removal of any such materials that may be conducive to termite activity should be removed as soon as possible to minimise the risk of termite attack.



Finding 6.07

Building: Main Building

Location: Roof Exterior

Finding: Gutters - Partially Blocked - Timber Pest Risk

Information: During the inspection, debris accumulation was noted in the guttering and downpipes. Blocked gutters can cause water to pool and overflow, leading to excessive moisture around eaves, fascia boards, and exterior walls. Where gutter guards are installed, regular maintenance is essential to remove any debris that may settle on top or filter through. Prolonged exposure to moisture in these areas creates conditions conducive to timber decay and potential termite or timber pest activity.

Excess moisture resulting from blocked gutters can accelerate timber deterioration, increasing the risk of fungal decay and attracting timber pests such as termites. Moisture-damaged timber is highly susceptible to infestation, as pests are drawn to damp and softened wood. If left unaddressed, this issue can lead to structural weakening and costly remediation work.

It is strongly recommended that all blockages in the gutters and downpipes be cleared immediately to maintain dry conditions and reduce the risk of timber pest activity. Homeowners or a general handyperson can perform routine cleaning; however, a licensed plumber should be consulted for further assessment and any necessary

remedial work. Ongoing gutter maintenance is crucial in preventing future moisture-related timber issues.



Finding 6.08

Building:	Main Building
Location:	All External Areas
Finding:	Timber debris - exterior areas & subfloor space
Information:	Timber debris were found in the exterior areas & subfloor space at the time of inspection. The storing of timbers in the subfloor space or around the external property increases the risk of termite activity being present. As they are likely to come into contact with weather conditions or excessive moisture wood rot is likely to develop on timbers that are not treated.

It is highly recommended that any stored timbers be immediately removed from areas in which they may attract any termite / timber pest attack. Minimisation of risk / prevention of termite attack is far more adequate than dealing with the presence of termite activity.



Evidence of fungal decay activity and/or damage

Finding 7.01

Building: Main Building
Location: All Areas
Finding: Wood Rot to Multiple Building Elements
Information: Several building elements were observed to exhibit evidence of wood rot (fungal decay) during the inspection. Wood rot occurs when timber and other cellulose-based materials are exposed to prolonged damp conditions. This may be due to ongoing weather exposure, moisture ingress from adjacent building elements, or inadequate ventilation within affected areas.

Wood rot is typically associated with elevated moisture levels and may be accompanied by signs such as softening of timber, discolouration, and potential mould or mildew growth. If left unmanaged, timber decay will continue to progress, potentially compromising the integrity of affected elements and contributing to further deterioration of surrounding materials.

It is recommended that the source of moisture contributing to the decay be identified and rectified prior to undertaking repairs. A licensed plumber should be engaged to investigate and address any moisture-related issues, and a qualified carpenter or registered builder should be appointed to repair or replace affected timber elements as necessary to prevent further deterioration.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Licensed Plumber
- Licensed Electrician
- As identified in summary and defect statements
- Registered Roofing Contractor
- Termite and Timber Pest Technician / Licensed Pest Controller
- Registered/Licensed Builder

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- Compared to other buildings of a similar age, the dwelling at the time of inspection was found to be in a poor condition. Significant items have been identified.

There was a safety hazard found at the time of inspection.

1. Smoke alarms installed within the dwelling appeared to be non-operational at the time of inspection. A licensed electrician needs to be engaged immediately.

There were major defects found during the inspection.

1. Evidence of termite damage was identified to structural timber elements within the roof space during the inspection. A registered builder needs to be engaged immediately.

2. The rear section of the property was observed to be in a severely deteriorated condition during the inspection. Registered builder needs to be engaged as soon as possible.

3. Significant defects were observed in the bathroom area during the inspection. A registered builder and a licensed plumber needs to be engaged as soon as possible.

4. Severe damp conditions were identified in multiple sections of the subfloor, predominantly at the rear side of the property. A licensed plumber and a registered builder needs to be engaged as soon as possible.

There were some minor defects found, which are mentioned in the body of this report and need to be attended as recommended.

This dwelling is highly susceptible to timber pest activity. Termite damage were observed during the inspection. A termite technician needs to be engaged immediately.

There are areas that are conducive to timber pest activity and should be eliminated if possible without delay.

There was no evidence of a previous termite management plan on this property. It is highly recommended that a pest control company be contacted and the pest management plan be implemented.

Several limitations and obstructions impeded the inspection and, if at all feasible, should be removed, and a further inspection should be performed. Indicative images below depict some of the obstructions encountered.

Disclaimer:

This report is based on a visual inspection of accessible areas and is reflective of the conditions observed at the time of inspection. Some issues may not be visible or detectable due to existing obstructions, limitations, or the inherent nature of building materials and construction methods. Any recommendations provided herein are made to the best of professional judgement, based on current observations, and should not be considered exhaustive of all potential defects or maintenance needs. It is encouraged that clients undertake periodic maintenance and inspections to ensure the continued integrity of the property.

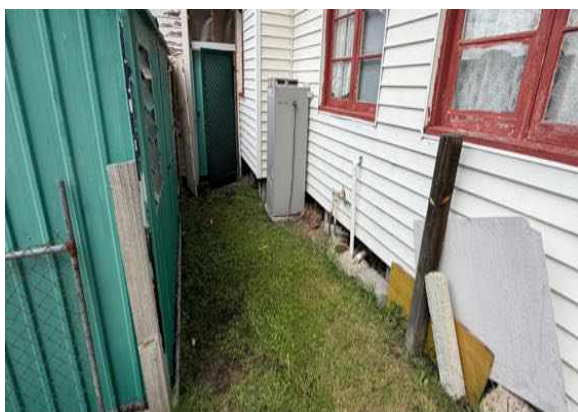
For further information, advice and clarification please contact Nihar Joshi on: 0432 905 298

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
 Location: All External Areas
 Finding: Obstructions and Limitations - External areas
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the external areas of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



Noted Item

Building: Main Building
 Location: All Internal Areas
 Finding: Obstructions and Limitations - Internal areas
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the internal areas of the property at the time of inspection.

These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



Noted Item

Building:	Main Building
Location:	Roof Void
Finding:	Obstructions and Limitations - Roof Cavity
Information:	These photographs are an indication of the obstructions and limitations which impeded full inspection of the roof cavity of the main building at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



Noted Item

Building: Main Building
Location: Subfloor
Finding: Obstructions and Limitations - Subfloor
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the subfloor of the main building at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.