



# Building and Timber Pest Inspection Report

Inspection Date: Tue, 3 Mar 2026

Property Address: 1/945 High St, Reservoir VIC 3073, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 3 Mar 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 1/945 High St, Reservoir VIC 3073, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Jason Hemphill Ph: 0419 364 490  
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Company Name: Jim's Building Inspections Wallan

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Company Email: Wallan+01@jimbuildinginspections.com.au

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Company Contact Numbers: 0419 364 490

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply:

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>		✓
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with safety hazards, major and minor defects found

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

## Section B General

### General description of the property

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Building Type	Unit
Company or Strata title	Yes
Floor	Slab on ground
Furnished	Unfurnished
No. of bedrooms	2
Occupied	Unoccupied
Orientation	North
Other Building Elements	Driveway, Fence - Post and Rail Construction, Footpath, Party Walls
Other Timber Bldg Elements	Fascias, Floating Floor, Internal Joinery, Doors, Door Frames, Architraves, Skirting Boards
Roof	Timber Framed, Tiled
Storeys	Single
Walls	Brick Veneer (Timber Framed)
Weather	Overcast

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## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior
- Gardens
- Fencing
- Roof Exterior - Part
- Exterior
- Roof Void - Part
- Posts
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Areas of low roof pitch preventing full inspection.
- Roof Exterior - Part
- Wall exterior due to obstructions.
- Wall Exterior - where neighbouring buildings immediately adjoin.
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

### Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Areas of low roof pitch preventing full inspection
- Appliances and equipment
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Ceiling linings
- Insulation
- Evidence of recent renovation may obscure, temporarily lower or reduce the overall levels of contaminant detected.
- External finished ground level
- External concrete or paving
- Unsafe to Access Roof - No Fall Protection System
- Wall linings
- Old disused HWS in roof cavity incl associated plumbing

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

### Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection

once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

#### Finding 1.01

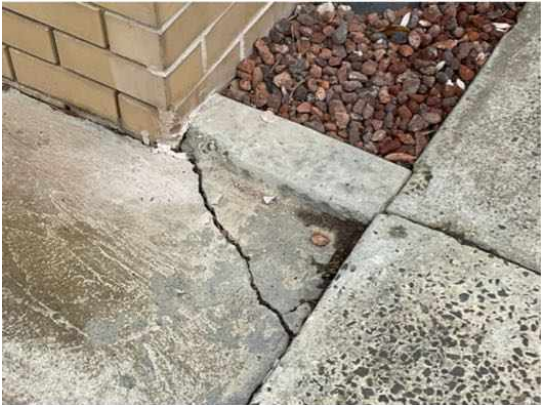
Building:	Main Building
Location:	All External Areas
Finding:	Cracking - External Concrete Paving Damage Category 4 - Gaps in Slab (4mm - 10mm +)
Information:	Gaps in the slab were identified in external concrete paving. Gaps in the slab are significant and are likely to lead to the development of safety hazards and secondary defects if left unmanaged, such as the creation of a trip hazard.

General age and expected deterioration of the paved areas is a common cause of this type of cracking. However, expansion and contraction of the slab may also have occurred due to environmental factors. Such factors include variable moisture and weather conditions, the presence of trees and their roots having a settling or lifting affect on the soil, or the effect of load bearing, e.g. heavy vehicles over a sustained period of time.

Cracking to this degree may also be due to poor original installation of the concrete. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects. Gaps in the concrete paving may also have a more significant structural cause, such as subsidence of soils.

Where gaps in the concrete paving are adjacent to structural elements of the building, the advice of a Structural Engineer is advisable before undertaking repairs. Significant repair and likely replacement of the concrete paving is probable.

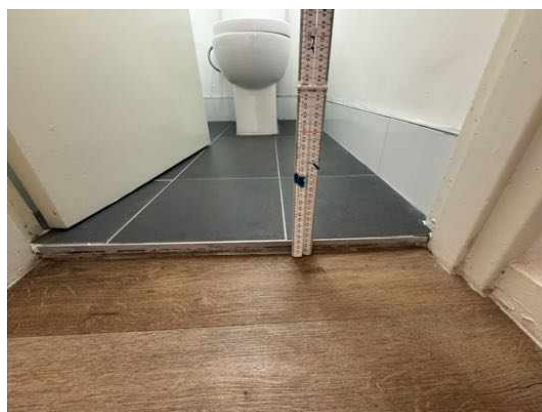




Finding 1.02

Building: Main Building  
 Location: Bathroom  
 Finding: Flooring - Uneven transition - trip hazard  
 Information: The flooring in this area presents a significant tripping hazard due to an uneven transition between the tiled surface and the adjacent timber flooring, with a noticeable height discrepancy. This condition poses a safety risk to occupants and visitors.

The installation of a sloped transition strip would assist in reducing the risk of trips and falls. A suitably qualified carpenter or general handyperson should be engaged to carry out the necessary rectification works as soon as possible



## Major Defect

### Finding 2.01

Building: Main Building  
 Location: All Internal Areas  
 Finding: Sagging ceiling - Lack of support  
 Information: The roofing structure was found to be sagging in sections at the time of inspection. This sagging is likely due to the lack of support to the ceiling members (joists). These support members are referred to as hanging beams. While this type of construction is common for the era of building, additional support may be required.

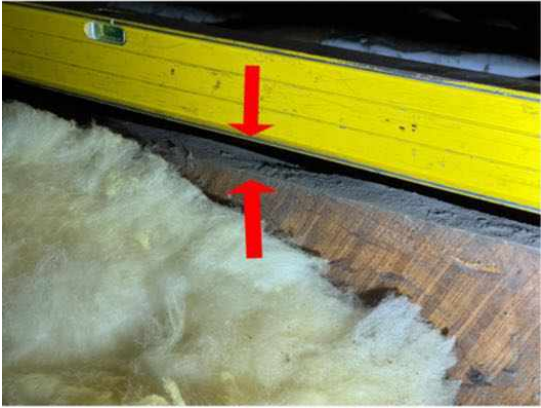
Sagging roof structures are likely to create strain on associated building elements, creating potential for secondary damage including the deterioration of roof coverings. The roof is also unlikely to have sufficient support, which may lead to further sagging if left unmanaged.

It is advised that a Structural engineer be appointed to provide remedial advice which could then be carried out by a licensed builder.

While it would appear that this defect has been present for a long period of time repair is recommended in the short term to ensure the longevity and structural integrity of the dwelling.









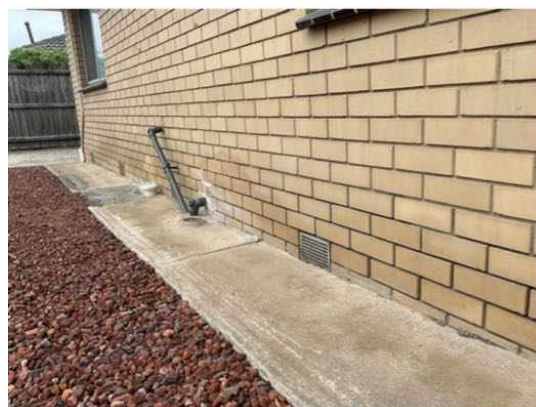
## Minor Defect

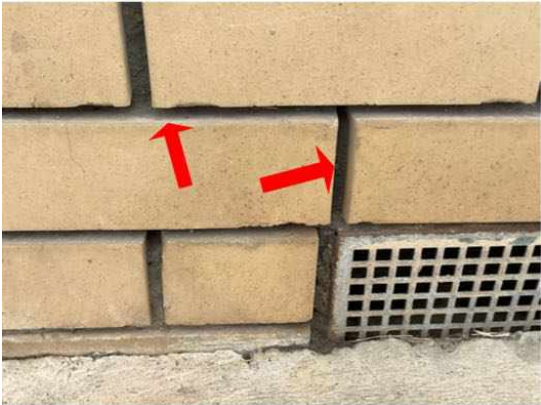
### Finding 3.01

Building:	Main Building
Location:	All External Areas
Finding:	Brickwork - Deteriorated mortar
Information:	Mortar, or 'bedding', is the material which fills joints and intersections between bricks in masonry walls and structures. Sections of mortar in this brickwork were identified as having deteriorated, which is generally expected for a property of this age and condition.

Mortar may deteriorate as a result of age of building materials, minor movement of bricks, or frequent exposure to weathering. Mortar should be replaced to ensure that bricks remain in their intended location and to prevent gaps, which would allow water or moisture ingress and secondary damage as a result.

Mortar deterioration can be addressed by a bricklayer where areas of deterioration are localised and easily accessible. Alternatively, appointment of a registered builder is advised, to repoint large areas of decaying mortar. Where secondary structural defects have become evident, consultation with a structural engineer may be required.







### Finding 3.02

Building:	Main Building
Location:	Exterior walls - left side >
Finding:	Site drainage - Inadequate
Information:	The site drainage in this area was found to be inadequate at the time of inspection, creating potential for subsequent water damage to associated building elements.

It is important that water does not lie against the base of walls; surrounding paths and ground levels should be sloped to drain water away from walls. Downpipes should not discharge stormwater onto lower walls or plinths. Stormwater should be carried away by large, regularly cleaned drains. Ground levels may need to be lowered to expose a buried DPC.

Where site drainage is inadequate, installation of an Agricultural (Aggie) Drain may be required. A qualified plumber should be appointed to further inspect the property and perform any remedial works as necessary. Water damage and secondary defects are likely to occur if left unmanaged.





### Finding 3.03

Building: Main Building

Location: Bathroom

Finding: Water leak - Active

Information: Generally, water leaks occur when a particular area of the property is not weather or water tight. As the surrounding area was found to be damp at the time of inspection, the leak is considered ongoing and hence requires urgent action.

Regardless of the location, even minor leaks that are left unmanaged can lead to serious damage of associated building elements and result in the need for replacement of building materials. Mould and other hazards such as electrical hazards may also arise if the leak is left to develop.

It is highly advised that the cause of the leak be identified and resolved immediately by a licensed plumber to prevent any further damage. Depending on the extent of the damage previously sustained, repair and/or replacement of any affected building materials may be required.





**Finding 3.04**

Building: Main Building  
 Location: Bathroom  
 Finding: Cabinet - not attached to the wall  
 Information: The installation of the cabinet has been carried out to a substandard level, resulting in the cabinet not being securely fixed to the adjoining wall. Where cabinets are loose, they are more susceptible to movement and impact damage, and may also cause damage to the adjoining wall surfaces.

The cabinet requires re-securing to the wall to prevent further damage. Rectification works should be carried out by a suitably qualified tradesperson as soon as possible



### Finding 3.05

Building: Main Building

Location: Bathroom

Finding: Sealant - Missing

Information: On inspection it was noted that the sealant is missing to areas of the bathroom.

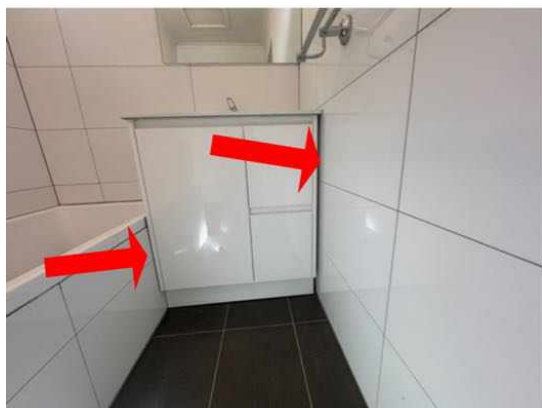
A flexible sealant is required to accommodate normal expansion and contraction of joints while maintaining a watertight barrier and protecting associated building materials

Flexible and mould-resistant sealant should be applied to the affected areas to reduce the risk of water ingress and subsequent damage that is likely to occur.

Regular maintenance and replacement of damaged sealant is highly recommended for wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long-term care of your property.

A sealant specialist or general handy person should be appointed to complete these works as soon as possible





### Finding 3.06

Building:	Main Building
Location:	All Internal Areas
Finding:	Render - Drummy
Information:	Drummy rendered areas were identified at the time of inspection. The term 'drummy' refers to render that has become detached from its fixing, despite it still being solid. Such defects are generally caused by physical or moisture damage to the area. Drummy render may also be a direct result of poor workmanship during the construction process.

Render may swell and shrink with changes in air humidity if the area has sustained moisture damage. Any exposure to moisture is capable of causing rendered areas to become drummy and/or cracked over a prolonged period of time. Drummy render generally requires chipping off and re-rendering or painting.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive, or if secondary building defects have resulted. Immediate action is recommended to ensure that no further damage is sustained in the affected area.





Finding 3.07

Building: Main Building  
 Location: Kitchen  
 Finding: Door - Binding/jamming  
 Information: Binding and/or jamming of this door is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements.

A qualified carpenter or general handyperson should be appointed to perform minor rectification works to improve the operational state of the associated door as soon as possible.



### Finding 3.08

Building: Main Building  
 Location: Lounge Room  
 Finding: Paint finish - Substandard  
 Information: The paint finish in this area was found to have been completed to a substandard level. Substandard painting is generally classified as an appearance defect. However, the substandard appearance may also be indicative of poor surface preparation and substandard workmanship.

If this applies, further areas of poor and incomplete finishes could develop over time. Furthermore, substandard paint finishes in areas exposed to moisture, e.g. external

areas or wet areas, could lead to deterioration of underlying building materials.

Substandard paint finishes should be sanded back, filled, leveled and repainted, as applicable. Where inadequate paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

A painting contractor should be appointed as soon as possible to perform necessary works to aid the appearance of the affected area and to ensure that the area is protected against further deterioration. Alternatively, the homeowner following manufacturer instructions may be able to provide this service.



### Finding 3.09

Building:	Main Building
Location:	Front Elevation
Finding:	Gutters - Water pooling
Information:	Water was found to be pooling in sections of the roof guttering. This is generally a secondary defect caused by blocked or partially blocked gutters. Such blockages and subsequent water pooling are likely to lead to rust and water damage to associated structures if left unattended.

Any areas of guttering that shows evidence of water pooling should be checked for partial or full blockages and any secondary damage that may have occurred as a result. Depending on the extent of the damage, building elements may require repair and/or replacement to ensure adequate roof drainage and function of exterior plumbing system.

A roofing plumber should be appointed as soon as possible to rectify this issue. It is highly advised that all gutters be maintained on a frequent basis to ensure the condition of roof plumbing.



### Finding 3.10

Building:	Main Building
Location:	Roof Void
Finding:	Gravity-Fed HWS - Disconnected
Information:	It was noted at the time of inspection that a disconnected gravity-fed hot water system (HWS) remains in this area.

Despite this plumbing structure being unused, it is likely to be storing residual water, and is therefore susceptible to rust and corrosion. If allowed to continue, rust and corrosion is likely to lead to damage to adjoining building elements, and may also make the area susceptible to termite or timber pest activity.

While it is a costly exercise to remove the disused gravity-fed HWS, it is advisable in

the short-term future to prevent any further damage to the area. Further consultation with a licensed plumber is required to gain further advice on removal of the structure.



### Finding 3.11

Building:	Main Building
Location:	Rear Elevation
Finding:	Light fitting - Damaged
Information:	The light fitting in this area was found to be damaged at the time of inspection. Damage occurs generally when the building materials have aged and decayed, but may also be indicative of impact damage to the building element (accidental or deliberate).

Left unmanaged, the fitting is unlikely to cause further damage to surrounding building elements. However, the broken light fitting may expose electrical works, and may create a minor safety hazard if there is potential contact with persons in the area.

Repair and/or replacement of the damaged fitting is advised. A Licensed electrician should be appointed to repair/replace the light fitting at the client's discretion.



## Live Timber Pest Activity

No evidence was found

## Timber Pest Damage

No evidence was found

## Conditions Conducive to Timber Pest Activity

### Finding 6.01

Building: Main Building  
 Location: Meter Box  
 Finding: Termite Management System - no evidence of a chemical installation  
 Information: The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



### Finding 6.02

Building: Main Building  
Location: All External Areas  
Finding: Building materials in direct ground contact - conducive to termites  
Information: Where timber elements are in direct contact with the ground and consequently moisture or dampness they become conducive to termite activity. Whether timber is used as a building element part of a fencing structure or stored as an unused item they can provide an environment that is attractive to termite infestation.

When met with excessive moisture timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated or non-durable also provide ingress for subterranean termites into that particular element. Consider replacement with more durable materials i.e. treated timber or non timber elements.

The removal of any such materials that may be conducive to termite activity should be removed as soon as possible to minimise the risk of termite attack. Where it is not possible frequent inspections of these areas shall be undertaken to provide early detection of infestation

It is highly recommended that termite or timber pest inspections be carried out every 6-12 months to aid protection of the property against infestation.





### Finding 6.03

Building: Main Building

Location: Yard - Front

Finding: Bridging - Vegetation

Information: A complete inspection cannot be achieved when vegetation obstructs the inspection of building elements, also known as bridging, as it provides a bridging point for termite access. Consequently, moisture or dampness may be present, and the area becomes conducive to termite activity. Plants against or very close to buildings provide cover and shade and can provide an environment that is attractive to termite infestation.

The removal and replanting of species that do not provide "cover" or cutting back of existing vegetation will greatly assist in preventing bridging.

To minimise the risk of termite attack, materials conducive to termite activity should be removed as soon as possible, and re-inspection should be arranged.



### Finding 6.04

Building: Main Building

Location: Walls

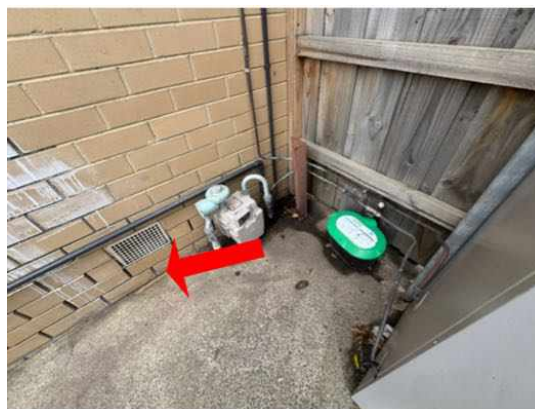
Finding: Slab Edge - Exposure

Information: An inspection zone of at least 75mm in relation to the exposed slab edge, between

the bottom brick and the perimeter pavement, is required. This inspection zone should be maintained in order to force termites into the open where they can be detected more readily during regular inspections. The slab edge should not be concealed by anything that may prevent inspection of the area, including render, landscaping, soil, turf, paving, concrete cladding or other structures.

If the slab edge is not properly exposed there is a high risk of termite attack. Sometimes, in order to determine the type of slab, a suitably qualified person such as an architect or builder may be required to consult the construction plans.

Where the slab edge cannot be properly inspected, it is highly recommended that termite or timber pest inspections be carried out every 6-12 months to aid protection of the property against infestation.



### Finding 6.05

Building:	Main Building
Location:	Walls
Finding:	Bridging or breaching of termite barriers - weep holes
Information:	Bridging is the spanning of a termite barrier or inspection zone so that subterranean termites are provided with passage over or around that barrier.

Breaching is the making of a hole or gap in a termite barrier so that termites are provided with a passage over or around that barrier.

Weep holes in the exterior brickwork of the property are designed to allow condensation that may build up between the brickwork and subsequent timber framework to drain from within the wall hence preventing any deterioration of the timber building elements.

Where weep holes are covered by external ground levels such as paving or garden beds concealed entry is available for termites from these grounds into the brickwork or external wall materials.

Additionally build-up of moisture is likely to occur if weep holes are covered further attracting termite activity to these areas.

It is highly recommended that weep holes are left exposed in all areas throughout the external property. Therefore if any termite activity leading into weep holes becomes easily detectable during frequent pest inspections.



### **Evidence of fungal decay activity and/or damage**

No evidence was found

### **Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Termite and Timber Pest Technician / Licensed Pest Controller
- Licensed Plumber
- Licensed Electrician
- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections
- Structural Engineer

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- During the inspection, the brick veneer dwelling was found to be in fair condition relative to other buildings of similar age. The assessment included a visual appraisal and a limited evaluation of serviceability, and all significant items requiring attention were noted in the report.

Several limitations and obstructions impeded the inspection, and if feasible, they should be removed, and further inspection should be performed. The report includes indicative images depicting some of the obstructions encountered.

#### MAJOR DEFECT

The roofing structure was found to be sagging in sections at the time of inspection. This sagging is likely due to the lack of support to the ceiling members (joists). These support members are referred to as hanging beams. While this type of construction is common for the era of building, additional support may be required.

Sagging roof structures are likely to create strain on associated building elements, creating potential for secondary damage including the deterioration of roof coverings. The roof is also unlikely to have sufficient support, which may lead to further sagging if left unmanaged.

It is advised that a Structural engineer be appointed to provide remedial advice which could then be carried out by a licensed builder.

- No active termites or previous termite damage or workings were found at the time of inspection

The following items are highly recommended:

- Regular timber pest inspections every 6-12 months.
- Install a termite barrier system to the property (consult a suitably qualified termite expert for advice).

The following building elements should be regularly monitored to identify any upcoming defects.

External facade- for cracking

Internal plasterboard walls and ceilings should be checked for cracking or an increase in the quantity or length of cracks.

Internal ceilings and eaves for water staining.

All tiled areas- cracking between grout and deteriorated sealants.

Uneven flooring- increase in subsidence.

Roof, Gutters, downpipes and stormwater drains for damage and blockages.

Always contact a building inspector should cracks widen, lengthen, or become more numerous.

Potential for Termite Activity: There is a chance of active or past termite activity on the property. This damage is most likely concealed and may not be immediately visible.

Potential Leaks: Leaks from the pipework or the roof are likely to occur. A licensed plumber should investigate thoroughly and test for leaks.

Concealed Defects: The vendors may be aware of or have concealed defects. It's important to be cautious and conduct further detailed maintenance inspections in the future.

Current Maintenance Needs: Properties require regular maintenance. Before finalising any contract of sale, it is advisable to consult with relevant tradespeople for advice.

Minor Defects: Minor defects identified could become a significant issue if not addressed promptly.

Report Validity: Please note that the information in this report is accurate as of the time of inspection. However, conditions can and do change, sometimes rapidly. The report provides a snapshot of the property's condition at the time of the inspection, and it may become outdated soon after the inspection. Always contact the report author if conditions change or issues arise.

For further information, advice and clarification please contact Jason Hemphill on: 0419 364 490

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building: Main Building  
Location: Bathroom/Kitchen  
Finding: Renovation Works - Identified  
Information: At the time of inspection it was identified that renovation works appeared to have been undertaken due to regions not appearing consistent with the era of the home.

Where renovation works have been undertaken it is recommend the client request a copy of any relevant associated documentation for the works including electrical, plumbing and membrane certificates.

In instances where a building permit has not been issued with a nominated registered builder responsible for the works an Owner Builder defect report under Section 137B of the Building Act should also be provided as part of the Section 32.

Additional photos are provided for your general reference



#### Noted Item

Building: Main Building  
 Location: Bathroom  
 Finding: Water leak - Inactive  
 Information: Water leaks generally occur when a particular area of the property is not weather- or water-tight. While the damage in this area appears to be from an old inactive water leak, the area should be monitored frequently for the recurrence of any dampness.

Repair and / or replacement of previously affected building elements is at client discretion. Consider a further invasive inspection: removal of obstructions around the damaged area may reveal further damage which has been concealed. A more significant or major defect may be identified at this time.

Where recurrence of an active water leak is identified, a qualified plumber should be appointed immediately to rectify the leak and advise on any further preventative works as necessary.



### Noted Item

Building: Main Building  
 Location: Bathroom  
 Finding: Towel rail - Loose  
 Information: The towel rail was found to be loose at the time of inspection. While not a major operational defect, function can deteriorate if the problem is left unmanaged.

It is advised that remedial works to re-attach the towel rail be carried out. A qualified carpenter or general handyperson may be required to perform these works.



## Noted Item

Building: Main Building  
 Location:  
 Finding: Body corporate-Scope of inspection  
 Information: SCOPE OF INSPECTION

With strata and company title properties, the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected, as that is the extent of the individual property, and does not include a review of body corporate or similar records.

An inspection of all strata and company title common property, including the interior of every unit, would need to be carried out to determine the extent of any defects in the whole of the common property.

### LIABILITY FOR MAINTENANCE COST

A prospective purchaser should be aware that their liability for the cost of repairing building defects is not restricted to the particular unit they are proposing to purchase but may include a contribution to the whole of the common property. Thus, an inspection of

the specific unit and its immediate surroundings may be of limited assistance to the prospective purchaser as an indicator of the total extent of their overall liability to contribute to the cost of repairs



**Noted Item**

Building: Main Building  
Location: All Internal Areas  
Finding: Smoke Detectors and Alarms  
Information: Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report.

Always ensure sufficient working and suitable smoke detectors are installed prior to occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.

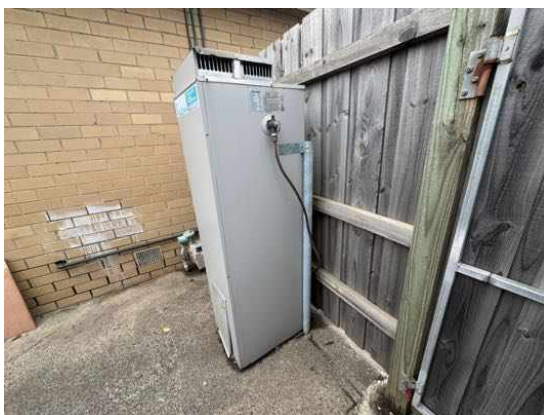


## Noted Item

Building: Main Building  
 Location: All Areas >  
 Finding: Plumbing and Electrical  
 Information: All gas and electrical appliances need to be serviced and maintained in good order. I can not guarantee that all appliances are working to full capacity and always recommend that heating/cooling equipment be serviced regularly.

Plumbing and electrical inspections are outside the scope of the building inspection and must be conducted by Licensed and registered tradespersons. It is recommended that the client arrange to have the gas and electrical appliances checked by licensed and registered tradespersons to ensure they work safely and efficiently.

We recommend all other installations be checked also. While we note and comment on visually apparent defects that present during the building inspection, legislation requires the checking and documenting of compliance for plumbing and electrical requirements to be done by licensed plumbers and electricians to ensure they are functioning correctly.



## Noted Item

Building: Main Building  
Location: Roof Void  
Finding: Additional Photos - Obstructions and Limitations  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



### Noted Item

Building: Main Building  
Location: All Internal Areas  
Finding: Additional Photos - Obstructions and Limitations  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



### Noted Item

Building: Main Building  
 Location: All External Areas  
 Finding: Additional Photos - Obstructions and Limitations  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.