



# Building and Timber Pest Inspection Report

Inspection Date: Wed, 25 Mar 2026

Property Address: 6 Evans St, Sans Souci NSW 2219, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Wed, 25 Mar 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 6 Evans St, Sans Souci NSW 2219, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Peter Pantelis Ph: 0420 558 291  
Email: Sanssouci@jimsbuildinginspections.com.au

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Builders Licence 352515C

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Company Name: Jim's Building Inspections (Sans Souci)

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Company Address and Postcode: Yowie Bay 2228

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Company Email: Sanssouci@jimsbuildinginspections.com.au

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Company Contact Numbers: 0420 558 291

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply:

The Pre- Inspection Agreement which includes the extent of reporting, limitations and exclusions must be read and agreed to prior to viewing this report.

- This report was commissioned for the sole use of the 'Client' and liability does not extend to any third parties. Any third party not named on page 3 of this report, acting or relying on this report, in whole or in part, does so entirely at their own risk.

- This report is only valid as at the date of the inspection, any defects found or incurred after this date cannot be guaranteed.

This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained within this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

PLEASE NOTE:

THIS IS A VISUAL INSPECTION ONLY limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

When reading the report, please take note of the defect classifications, as per the definitions contained within

"AS 4349.1 - 2007 Inspection of buildings Part 1: Pre-Purchase inspections-Residential buildings", defects are classified accordingly within this report:

\* Safety Hazard - A defect or observed item that may constitute a present or serious safety hazard.

\* Major Defect - A defect of sufficient magnitude where rectification has to be carried out to avoid unsafe conditions, loss of utility or further deterioration of the property.

\* Minor Defect - A defect other than a major defect.

\*\*NB - All minor defects can become major defects and/or safety hazards in the future if rectification works and regular maintenance of the property are not undertaken as soon as possible.\*\*

Some areas of the roof void were not accessible at the time of inspection, and therefore these areas of the building forms no part of this report.

It is strongly advised to make access possible to these areas by whatever means necessary.

It is recommended to contact the building inspector once access is gained.

As the roof of any structure is exposed to the weather more than any other building element the chances of deterioration is high.

It is highly advised to have the roof inspected on a regular basis to determine the integrity of all roofing elements.

The New South Wales region is subject to severe weather events on a recurring basis. During periods of intense storms and wind-driven rain, water may be forced into areas not typically exposed under normal weather conditions. These events can overwhelm standard residential roofing systems,

including waterproofed areas, skylights, flashings, and guttering. Consequently, water ingress may occur in situations that would not otherwise present issues under typical rainfall. Therefore, no assurance or guarantee can be given against potential future roof leaks resulting from such extreme weather conditions.

Please note: The roof inspection occurred on a dry day with no rain.  
Roof leaks may only become apparent during rain.

Not all windows and doors were inspected for operational integrity due to obstructions and limitations.

All safety hazards should be rectified immediately as a matter of urgency as leaving these unattended may result in severe injury.

The rectification of all minor defects in this report should be conducted as soon as possible, as leaving these unmanaged may lead major defects and/or safety hazards in the future.

Whilst we note and comment of visually apparent defects that present during the building inspection, legislation requires the checking and documenting of compliance for plumbing and electrical requirements be done by licensed electrician and plumbers respectively to ensure they are functioning correctly.

To respect privacy, not all photos in regards to obstruction limitations have been published.□

#### TERMITE MANAGEMENT

Although the primary structural framing of this dwelling is constructed from steel, which is not susceptible to termite attack.

The property is still at risk of termite activity and damage. Termites can infest and damage a wide range of building elements including timber trims, skirting boards, door frames, window reveals, flooring, cabinetry, landscaping timbers, fences, pergolas, and other cellulose-based materials.

Steel-framed houses should not be considered termite-proof, and ongoing inspections at least every 12 months are still recommended.

Due to no chemical termite management system installed, low clearance and poor or no access to some areas of the roof void and insulation covering timbers to the roof void and the amount of limitations and obstructions (as listed in the front of the report), the risk of undetected defects is higher to these areas. A further invasive inspection to these areas is highly recommended and access be gained to all areas for a complete inspection of the property.

The installation of a post construction chemical termite management system is highly recommended to be installed as soon as possible. Consult a suitably qualified termite expert for further advice on installation types and pricing and check if your house insurance covers termite damage.

It is strongly advised to make enquiries of the vendor as to any past termite activity and/or damage that may have occurred to the property. This includes any previous timber pest inspection reports and

treatments.

Any prospective purchaser should ensure that this is evidenced in writing from the Vendor. Verbal advice should not be relied upon.

As a post construction termite management system was detected and the absence of a durable notice, it is strongly advised to make enquiries of the vendor as to any past termite activity and/or damage that may have occurred to the property.

PLEASE NOTE, THE FOLLOWING IS FOR YOUR CAREFUL CONSIDERATION:

Inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, a moisture meter reading of susceptible areas, sounding of timber elements using a tapping device, visual assessment of materials affected by moisture or signs of deformity, mud trails and bridging constructed by termites, irregular and regular shaped holes in timber elements indicating pest destruction.

Termite activity generates high temperatures and moisture and if this irregularity is found it can be grounds for further investigation.

Wall paneling, wall paper, carpet and fixed cabinetry can obscure termite activity.

Please be aware evidence of termites, including damage, may be present to concealed and inaccessible timbers, and would only be found if exposed by invasive means.

Trees and stumps over 100mm in diameter, where present on the property, have been visually inspected up to a 2 metre height and within a 30 metre radius from the main building where possible and practicable, for evidence of termite activity.

It is very difficult, and generally not possible to locate termite nests when they are underground and if within trees they are usually well concealed. We therefore strongly recommend trees and stumps be test drilled for evidence of termite nests.

The structural integrity of affected trees may have been compromised and must be further assessed by an arborist.

The following items are highly recommended where applicable:

- No evidence of minimum annual inspections have been carried out as recommended on every property.
- Install a Post-Construction Termite Management System to the property (consult a suitably qualified termite expert for advice).
- Remove, replace or treat any non-treated timbers in direct contact with the ground.
- Expose the slab edges and keep them clear where possible (minimum of 75mm) for regular Termite

inspections. ("If this is not feasible, the installation of a chemical termite management system is strongly recommended as an alternative protective measure."). Consult a suitably qualified termite expert for further advice.

- Clear any debris, garden beds or soil covering weep holes or vent holes (to prevent concealed termite entry). (f this is not feasible, the installation of a chemical termite management system is strongly recommended as an alternative protective measure.). Consult a suitably qualified termite expert for further advice.

- Connect the HWS and A/C overflows to storm water or away from the edge of the building (minimum 1m).

- Clean and flush out blocked guttering regularly.

- Trees over 100mm diameter on the property should be drilled and tested for termite activity.

- Regular inspections every 6-12 months (or as advised by the termite management system installer). - Trees nearby on other properties could not be inspected

To help minimise the risk of any future loss, the Client should consider the following options to further protect their investment against timber pest infestation;

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical management system. However, AS 3660 stresses that subterranean termites can bridge or breach management systems and inspection zones and that thorough regular inspections of the building are necessary.

Due to the unpredictable nature of termite behaviour, the fact that if no active termites were located despite the best endeavours of the consultant at the time of the inspection, this should not be taken as a guarantee that no termites were present.

Termites may be present but undetectable or may have temporarily vacated a location at the time of inspection.

Termites are capable of extensive activity and damage over a short period where the conditions are conducive to such activity.

The client should be aware that significant damage and activity can occur in a period as short as a few weeks.

Where conducive condition for termite and timber pests have been noted, the likelihood of previous damage or activity which may be concealed is high.

Therefore due to the conducive conditions listed in this report, it is essential to implement all

recommendations in this report as a matter of urgency to reduce the risk of such activity.

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>		✓
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>	✓	
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition for its age generally with safety hazards, minor defects and recommendations.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is low risk in relation to susceptibility to timber pests. A termite treatment should always be considered even in a low-risk environment.

## Section B General

### General description of the property

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Building Type	Detached, Residential
Company or Strata title	No
Floor	Concrete
Furnished	Furnished
No. of bedrooms	2
Occupied	Occupied
Orientation	South
Other Building Elements	Garage
Other Timber Bldg Elements	Door Frames, Doors, Internal Joinery, Skirting Boards, Veranda Posts
Roof	Steel Framed, Pitched, Tiled
Storeys	Single
Walls	Brick Veneer (Steel Framed)
Weather	Fine

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## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Gardens
- Interior
- Exterior
- Posts
- Fencing
- Roof Exterior - Part
- Roof Void - Part
- Timber Retaining Walls
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Areas of low roof pitch preventing full inspection.
- Outside of the fencing.
- Roof Exterior - Part
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible

areas accessible wherever possible for re-inspection.

## Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Areas of low roof pitch preventing full inspection
- Ceiling linings
- Appliances and equipment
- Debris in gutters
- External finished ground level
- Fixed ceilings
- Floor coverings
- Furniture
- Duct work
- Insulation
- External concrete or paving
- Fixed Furniture - Built-in Cabinetry
- Landscaping
- Pipework
- Rugs
- Stored items, built in cabinetry, furniture and personal items obscured approximately 75% of every room.
- Wall linings
- Wallpaper or Wall Coverings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

## Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the

presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### **Undetected defect risk (Timber Pest)**

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

#### Finding 1.01

Building: Main Building  
 Location: Meter Box  
 Finding: SAFETY HAZARD: Switch board- Backing board  
 Information: The electrical switchboard while appearing to be adequately safe, the backing board has been opened to work on wires and the nut to

re-fix the board is missing.

The board needs to be secure to avoid un-authorized persons access the live wires in the meter box.



#### Finding 1.02

Building: Main Building  
 Location: All Areas  
 Finding: SAFETY HAZARD: Blind/ Curtain Cords- Not Secured  
 Information: If a cord or chain for a blind or curtain hangs lower than 1.6m from the floor then it

must be secured by a safety device .

As it may become a hanging hazard for young children.

Securing cords to all blind or curtain cords hanging 1.6m or lower to the floor must be completed immediately as a matter of urgency.

A qualified tradesperson should be appointed to rectify this safety



## Major Defect

No evidence was found

## Minor Defect

### Finding 3.01

Building:	Main Building
Location:	Porch
Finding:	Tiles - Drummy
Information:	Drummy tiled areas were identified at the time of inspection. The term 'drummy' refers to tiles that have become detached from their fixing, despite otherwise being in relatively good condition. Such defects are generally caused by physical or moisture damage to the area. Drummy tiled areas may also be a direct result of poor workmanship during the construction process.

Tiled areas may swell and shrink with changes in air humidity if the area has sustained moisture damage. Any exposure to moisture is capable of causing tiled areas to become drummy and/or cracked over a prolonged period of time. Drummy tiled areas generally require removal and replacement of affected tiles, with adequate sealant and grouting.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive or if secondary building defects have resulted. Otherwise, it is advised that a tiling contractor be appointed to perform works as necessary. Immediate action is recommended to ensure that no further damage is sustained in the affected area.



### Finding 3.02

Building:	Main Building
Location:	All Areas
Finding:	Tiles - Cracked, Damaged or Missing
Information:	At the time of inspection cracked, damage or missing tiles were evident to the tiling in several areas throughout the property. While this appears to be minor, there are some areas that are frequently exposed to water, allowing potential for water penetration into adjoining sections of walls or flooring. If left unmanaged, water penetration to these areas may lead to subsequent water damage, which is likely necessitate repair work to affected building elements. A tiling contractor should be appointed to replace cracked, damaged or missing tiles to ensure that no further water damage occurs. The re-application of silicone and grouting throughout remaining tile work is also advised, to further protect the area against water penetration.



### Finding 3.03

Building: Main Building

Location: Porch

Finding: Eaves - Sagging

Information: Sagging to the eaves was evident in this area at the time of inspection. This type of defect is generally consistent with older properties, where the eave sheeting has worn over time.

Eaves are important in preventing water ingress to associated walls by promoting adequate water run-off from roofing structures. Their secondary function is to prevent shelter to adjoining structures from excessive moisture and hence prevent water damage to these areas.

Sagging eaves are susceptible to the attraction of excessive moisture, and are therefore considered non-functional. This defect also detracts from the overall appearance and condition of the roofing structure and any associated structures.

A qualified carpenter is recommended to perform rectification works as soon as possible. Subsequent water damage is likely to result over time if left unattended.



### Finding 3.04

Building:	Main Building
Location:	Yard - Front
Finding:	Gate-Binding
Information:	Binding of this gate is evident during standard operation.

This defect inhibits the functionality of the affected gate as well as creating potential for secondary defects to associated building elements.

A gate that binds may have several causes, ranging from minor defects, such as poor installation of the gate or deteriorated hinges.

A qualified carpenter or builder should be appointed to perform minor rectification works at client discretion.



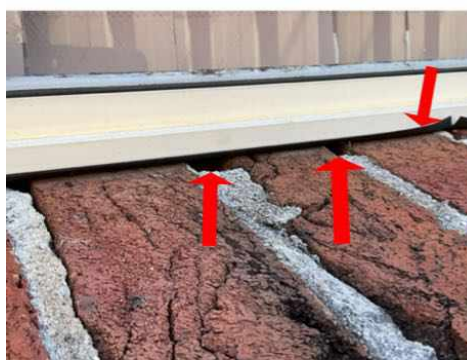
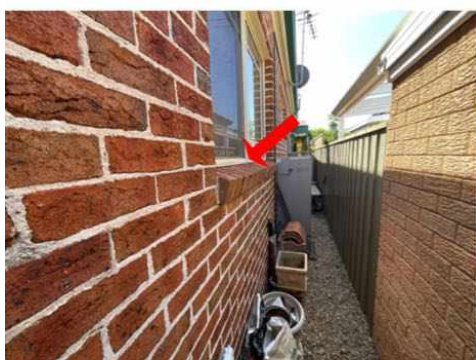
### Finding 3.05

Building:	Main Building
Location:	All Areas
Finding:	Rubber window seal deteriorated
Information:	The rubber window seal to the brickwork appears to have deteriorated.

This is generally a wear and tear defect which is a result from exposure to the elements over a long period of time.

If left unmanaged the possibility of pest and water ingress into the cavity is highly likely.

Where the seal has deteriorated the client should contact a caulking technician or window installer for rectification.



### Finding 3.06

Building:	Main Building
Location:	Yard - Back
Finding:	Mildew and/or moss detected
Information:	Mildew and moss on bricks are common issues, especially in damp, shaded, or poorly drained areas.

Causes of Mildew and Moss on Pavers may include Moisture Retention due to poor drainage, Lack of Sunlight – Moss thrives in shaded areas with little direct sunlight, Organic Debris – Leaves, dirt, and algae create a breeding ground for mildew and moss.

It is advised that a cleaning contractor be engaged to clean the bricks followed by remedial works to mitigate the conducive conditions for mildew and moss growth at the clients discretion.



### Finding 3.07

Building:	Main Building
Location:	Foyer
Finding:	Loose plasterboard
Information:	The plasterboard in this area was found to be loose.

Loose plasterboard on walls can be caused by several factors such as Poor Installation, Structural movement, Moisture or Water Damage, Termite damage to the studs, or general deterioration of building materials such as glue or screws.

It's advised to perform an invasive inspection of the area to determine the cause of the damage and rectify accordingly.

Engaging a remedial builder or plasterer is recommended.

Leaving this unmanaged may result in further deterioration to the plasterboard and associated building elements.



### Finding 3.08

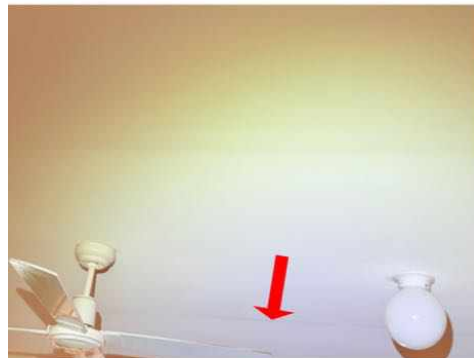
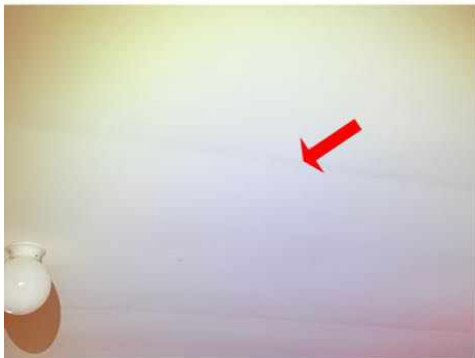
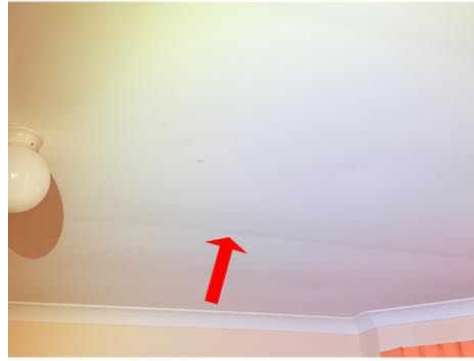
Building:	Main Building
Location:	All Areas
Finding:	Ceiling - Sagging
Information:	Sections of the ceiling were found to be sagging at the time of inspection. Sagging to the fixed ceiling structure generally indicates that the building materials have swollen, due to contact with water, or that fixings (e.g. nails or glue) have become loose and require reattachment.

Where minor sagging is evident, comparatively minor works, such as re-gluing of ceiling sheets, may be required. Such works may be performed by relevant tradespeople, such as plasterers and painters. Where excessive moisture has caused the roofing structure to swell and sag, the source of the water leak should primarily be identified prior to any remedial works being performed.

In some cases, sagging ceiling linings may also indicate that there are structural issues, causing surfaces to warp, twist or sag. Where sagging appears to be major, appointment of a structural engineer is advised to further inspect the property and identify the source and rectification works required.

The appropriate action should be taken by the client as soon as possible to ensure that any potential further damage is limited.



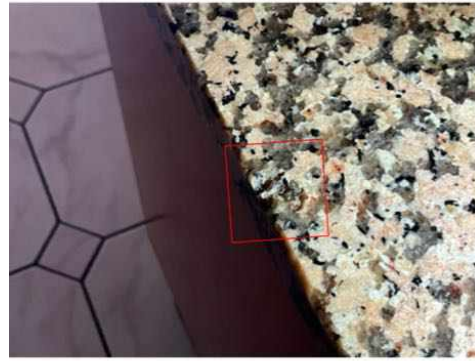


### Finding 3.09

Building:	Main Building
Location:	Kitchen
Finding:	Stone Bench top - Chipped
Information:	Chipping was evident to the bench top at the time of inspection, which is suspected to have been caused by minor impact damage.

This is generally only ever an appearance defect and no secondary defects are likely to occur

Consultation with a cabinet maker or stone specialist regarding repair or replacement is required. Remedial works may be required to protect against any further damage.



### Finding 3.10

Building:	Main Building
Location:	Kitchen
Finding:	Deteriorated-Cabinetry
Information:	The cabinetry in several areas has deteriorated.

This may be the result of general wear and tear due to age which may include but not limited to deteriorated hinges and latches, missing handles, damage to bench tops and shelving.

In some cases the deteriorated cabinetry may be as a direct result of water damage due to leaking pipes or unsealed bench tops allowing water to penetrate the cabinets.

If left unmanaged the cabinetry will deteriorate further which may lead to more costly repairs in the future.

Consultation with a cabinet maker is advised.

Rectification works may include minor repair work or replacement of the cabinetry depending on the extent of the damage.

It is highly advised to engage a remedial builder to determine and rectify what is causing the deterioration prior to any rectification work to the cabinetry



**Finding 3.11**

Building: Main Building  
Location: All Areas  
Finding: Cracking - Damage Category 2 - Noticeable (up to 5mm)  
Information:

Noticeable cracks are a common occurrence as a result of many primary defects. Such causes may include age, general wear and tear, expected building movement, general expansion/contraction of building materials in different weather conditions, and/or minor failings in the installation or application of building materials.

Noticeable cracks are easily filled and repaired. A plasterer can be consulted to install an expansion joint at this point to allow for this movement during different weather conditions.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.





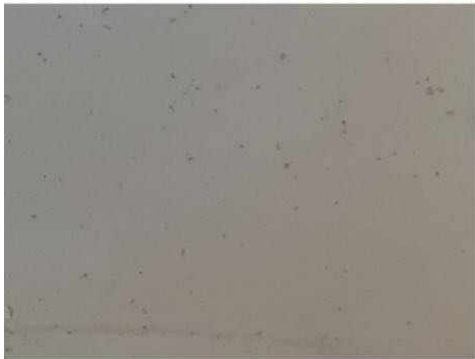
### Finding 3.12

Building: Main Building  
 Location: Ensuite - Master  
 Finding: Mould - Present  
 Information:

Where evidence of mould growth was noted, there may be environmental, biological or health issues associated with the report. A specialist inspection by a suitably qualified environmental health inspector is warranted, where mould is extensive or where any queries regarding air quality spores or other related issues apply.

Generally, the client is advised to ensure that the general environment is free of moisture and humidity to aid in the prevention of mould formation and development. Any mould found during the inspection should be cleaned immediately by a cleaning contractor or the homeowner as applicable.

Please note that severely affected building elements may require replacement by a registered builder or qualified tradesperson.



### Finding 3.13

Building:	Main Building
Location:	Bathroom
Finding:	Exhaust fan - noisy
Information:	The exhaust fan in this area appears to be noisy and is not operating as intended.

If left unmanaged, a lack of general maintenance is likely to lead to the development of more significant defects.

Where no secondary damage has developed, the Homeowner may undertake minor cleaning of the area and consider replacement of the exhaust fan.

Alternatively, consultation with a Licensed Electrician is required to check for any secondary or concealed damage and consider repair or replacement.



### Finding 3.14

Building:	Main Building
Location:	Bedroom - Master
Finding:	Door binding
Information:	Binding of this door is evident during standard operation.

This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements, such as the door frame.

A door that binds to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door, deteriorated hinges or swelling of timber doors due to excessive moisture in the area.

A qualified carpenter should be appointed to advise on suitable rectification works.



### Finding 3.15

Building:	Main Building
Location:	Bathroom
Finding:	Toilet pan - Loose
Information:	The toilet pan was found to be loose and relatively unstable at the time of inspection. It is suspected that this defect has developed due to general aging of the toilet pan and associated materials. However, the loose fixing may also be a result of impact

damage.

If left unmanaged, the toilet pan could deteriorate further, leading to greater destabilisation and the potential for water leaks to surrounding building elements.

It is recommended that the pan be refixed to the floor with concrete or silicone by a licensed plumbing contractor.



### Finding 3.16

Building:	Main Building
Location:	Hallway; Ensuite
Finding:	High Moisture Reading
Information:	At the time of inspection, it was noted that there was high moisture readings to several areas around the building.

High moisture readings can have several causes: from water migrating into the plasterboard, live termite activity or different types of building material eg ACM board or an electrical bracket interfering with the moisture readings.

Constant monitoring of the area or an invasive inspection is recommended to confirm these findings.





### Finding 3.17

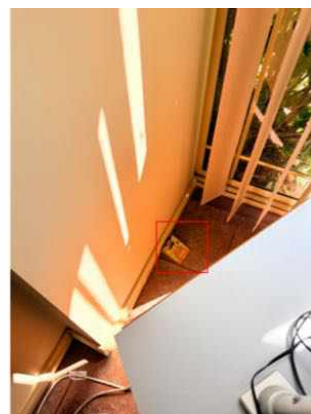
Building:	Main Building
Location:	All Areas
Finding:	Possible Vermin activity
Information:	Although no evidence of live vermin was detected during the inspection.

Evidence of vermin activity was observed , including traps and chemical pellets,

Vermin activity can cause damage to insulation, electrical wiring, and timber elements, and may pose a health risk to occupants.

A licensed pest controller should be appointed to free the roof void of any pests and to install deterrents or seal access points to ensure that pests can not enter the roof space as easily.

Failure to rectify this may lead to an increase in vermin activity as well as inviting other pests into the roof void.



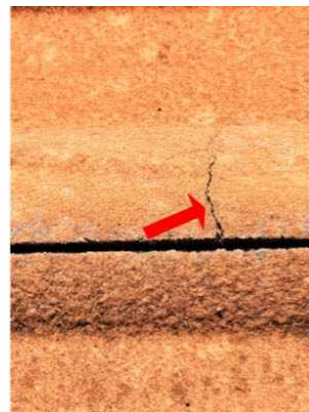


### Finding 3.18

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof tiles - Broken
Information:	Upon inspection of some areas of the exterior roof covering, broken roofing tiles were identified. Broken and friable roof tiles are generally the result of ageing and weathering of what is essentially a porous material.

If left to further deteriorate, broken and brittle roof tiles are likely to lead to water penetration via the roof into the ceiling space, causing secondary damage to ceiling linings, insulation and roof structures. Broken roof tiles are also likely to detract from the effectiveness of the roof drainage system, creating potential for secondary damage to the exterior roof covering and roof plumbing.

Replacement of broken tiles is required and should be performed by a roofing contractor as soon as possible.





### Finding 3.19

Building: Main Building

Location: Roof Exterior

Finding: Mortar - Deterioration

Information: Mortar, or 'bedding', is the material which fills joints and intersections between tiles and other building elements on the exterior roof covering, such as gable ends, hip capping and valleys. Upon inspection of the exterior roof, it was noted that sections of the mortar show varying levels of deterioration.

Mortar generally deteriorates as a result of frequent exposure to weather conditions over a prolonged period of time. Mortar that is deteriorating may allow water ingress into the roof void, putting associated building elements and roofing structures at risk of

water damage. Deteriorated mortar also detracts from the functionality of roof tiles and other roofing elements, potentially decreasing weather tightness and roof drainage.

Mortar deterioration can be attended by a roofing contractor.



### Finding 3.20

Building:	Main Building
Location:	Roof Exterior
Finding:	Blocked gutters.
Information:	Roof plumbing structures, such as guttering, downpipes and valleys, should be free of all debris to prevent blockages.

This will lead to pooling and accumulated water overflows, which will subsequently flood eaves, exterior walls and the roof void.

Blocked gutters, downpipes and valleys are likely to lead to high levels of moisture to the affected area.

Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity as well as mould growth.

Blockages should therefore be removed to ensure dry conditions are maintained.

It is highly advised that blocked gutters, downpipes and valleys be cleaned frequently.

Where areas have a high tree density, installing a gutter guard may be an option in preventing leaves accumulating in the gutters and associated roofing elements.



### Finding 3.21

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof truss rust/corrosion
Information:	An exposed steel roof truss was observed to have visible signs of corrosion (rust).

This condition is typically associated with prolonged exposure to moisture and/or inadequate protective coating. While no immediate structural failure was evident at the time of inspection, continued corrosion may lead to deterioration of the steel section and reduced structural performance over time.

It is recommended that a remedial builder assess the extent of the corrosion and carry out remedial works as required. This may include cleaning, treatment with a rust inhibitor.

Further investigation may be required to determine the source of moisture contributing to the corrosion.



## Live Timber Pest Activity

No evidence was found

## Timber Pest Damage

No evidence was found

## Conditions Conducive to Timber Pest Activity

### Finding 6.01

Building:	Main Building
Location:	Meter Box
Finding:	No Evidence of a current chemical termite management system
Information:	The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously.

Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property. A durable notice should be placed in the switchboard unit to indicate current termite barriers.

At the time of inspection, it appeared as though no current chemical termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application.

It is recommended that obtaining such advice be a short-term priority.



### Finding 6.02

Building:	Main Building
Location:	All External Areas
Finding:	Bridging termite barrier - Attachments to Buildings
Information:	Bridging occurs when items against a building provide a concealed entry point for termites into the building or by passing around a termite management system.

Where any part of an attachment to a building is not isolated and is not provided with a clear gap of not less than 25mm from the building, bridging occurs.

Attachments to buildings such as hot water services, air conditioning units, downpipes, verandahs, decks, steps, fences, service conduits and the like provide the opportunity for concealed entry.

Where bridging has occurred, full inspection is prevented and termites may enter a property in a concealed or undetectable manner.

It is recommended that minimum 75mm clearance below the bottom of weep or ventilation holes be maintained where possible, otherwise annual inspections should be conducted by a licensed pest control company. Vegetation should also be kept clear of walls to allow regular inspection of all areas.



### Finding 6.03

Building:	Main Building
Location:	All Areas
Finding:	Garden bed- conducive to timber pest activity.
Information:	Garden beds were found to be evident in the garden area. These garden beds which lay against the building and allow easy undetected ingress for termites can include untreated timber, and with a combination of moisture from watering can make conditions conducive to termite activity.



## Finding 6.04

Building:	Main Building
Location:	All Areas
Finding:	Slab Edge - Exposure
Information:	An inspection zone of at least 75mm in relation to the exposed slab edge, between the bottom brick and the perimeter pavement, is required. This inspection zone should be maintained in order to force termites into the open where they can be detected more readily during regular inspections. The slab edge should not be concealed by anything that may prevent inspection of the area, including render, landscaping, soil, turf, paving, concrete cladding or other structures.

If the slab edge is not properly exposed there is a high risk of termite attack. Sometimes, in order to determine the type of slab, a suitably qualified person such as an architect or builder may be required to consult the construction plans.

Where the slab edge cannot be properly inspected, it is highly recommended that termite or timber pest inspections be carried out every 6-12 months to aid protection of the property against infestation.



### Finding 6.05

Building:	Main Building
Location:	Exterior walls - right side
Finding:	HWS/AC overflow not connected
Information:	The Hot Water System (HWS) and A/C overflows were found to be disconnected from storm water drainage and is creating excessive moisture in the surrounding area. These damp conditions can lead to secondary defects such as rot, rust or corrosion

of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a licensed plumber be appointed to connect the HWS and A/C overflows in order to prevent such an environment from being created. These minor works should be carried out as soon as possible.



## Evidence of fungal decay activity and/or damage

### Finding 7.01

Building: Main Building  
 Location: Laundry  
 Finding: Wood rot - internal door frame  
 Information: Wood rot was found to be affecting the door frame in this area .

Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

It appears that this wood rot has developed as a result of frequent exposure to water.

This has resulted in the door frame and flooring deteriorating at an accelerated rate,

increasing their susceptibility to the development of wood rot.

A remedial builder may be consulted in order to positively identify the exact reason for the leak, before commencing remedial works to rectify this issue.



### **Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Licensed Electrician
- Licensed Plumber
- Termite and Timber Pest Technician / Licensed Pest Controller
- Registered Roofing Contractor

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

-

- Compared to other buildings of a similar age / the visual appraisal including the limited assessment of serviceability the building appears to be in good condition with safety hazards and minor defects that will require attention and remedial maintenance. Left unmanaged some of these defects may become increasingly costly in the future as further deterioration may occur.

Accessible areas at the time of inspection to the dwelling are checked with attention paid to wet areas which were assessed to check for excessive levels of moisture and temperature anomalies.

No visual evidence of live termite activity was found inside the dwelling at the time of the inspection, however due to no chemical termite management system in place, the amount of conducive conditions to termite activity throughout the property, as highlighted in this report, there is a high susceptibility of the property to termite attack.

Due to the high degree of risk of subterranean termite infestation, we strongly recommend that a full chemical termite management system be installed to the property and inspections in accordance with AS 4349.3 or AS 3660.2:2017 is conducted at this property not exceeding 12 months (or as otherwise recommended by the pest control company installing the system).

It is strongly recommended to engage a timber pest specialist to implement these recommendations.

Please be aware that limitations did affect the inspection and areas of low clearance and poor or no access meant a complete inspection of the roof space was not possible and areas of furniture, stored items, insulation and garden vegetation meant some areas were obstructed.

For further information, advice and clarification please contact Peter Pantelis on: 0420 558 291

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof exterior condition
Information:	The roof exterior, including associated flashings and roof plumbing components (gutters and downpipes), was inspected wherever safely accessible with a 3.6 m ladder and from any safe viewing position. All areas accessed were found to be in a serviceable condition unless noted otherwise elsewhere in this report.

Where a full inspection was not possible—due to, but not limited to, height restrictions, ladder limitations, roof steepness, obstructions, or restricted visibility (line of sight)—it is recommended that a qualified roofing contractor be engaged to undertake a comprehensive inspection of those areas.

It should also be noted that flat or skillion roof areas, particularly those incorporating box gutters, are at a higher-than-normal risk of water ingress during extreme weather conditions. This increased risk can arise from multiple potential causes, some of which may not be evident during a visual inspection.

As the roof is the building element most exposed to weathering, the likelihood of deterioration is high. It is strongly advised that the roof be inspected at regular intervals to assess the condition and integrity of all roofing elements, including tiles, roof sheets, skylights, roof vents, flashings, solar panel fixings, guttering, and downpipes.

Please note: This inspection took place on a dry day; some leaks may only manifest during rainfall and therefore may not have been evident at the time of inspection.





### Noted Item

Building: Main Building  
Location: All wet Areas  
Finding: Water Proofing Membranes  
Information: Internal Water Proofing Membranes, are crucial in preventing water ingress into the property.

It is important to know that the Membrane System used is to Australian Standards and has been installed correctly.

Please refer to the original Building Documents or Maintenance Schedule for the relevant information including;

- Membrane used and Manufacturers Specifications.
- The Installer and Installation Certification.

With older property's where this information is unavailable all wet areas should be monitored. If any leaks, water staining, peeling or bubbling of the paint become evident to any adjacent walls or ceilings below a licensed builder or waterproofing specialist is recommended to investigate further.



**Noted Item**

Building: Main Building  
Location: All Areas  
Finding: Additional Photos  
Information: Additional photos are provided for your general reference









### Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Moisture readings  
 Information: At the time of inspection, low moisture readings were noted in several accessible areas of the property, including, but not limited to, those shown in the accompanying photographs.

The inspection involved a thorough assessment of accessible areas, with particular attention given to wet zones such as bathrooms, laundries, and kitchens.

These areas were evaluated for elevated moisture levels and temperature irregularities, which can indicate potential issues such as hidden leaks, failing waterproofing, timber pest activity or poor ventilation.

Identifying such conditions is essential, as prolonged moisture can result in structural deterioration, mould growth, and an increased risk of timber pest activity.

Any anomalies detected during the inspection have been documented in this report and may warrant further invasive investigation to determine their source and extent.





### Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Obstructions and Limitations-additional photos  
 Information: The photographs represent only a small sample of the obstructions and limitations to areas (where applicable) of the roof void, subfloor, internal and external areas that restricted a full inspection of the property. Such obstructions may conceal a variety of defects and should be removed to allow a comprehensive inspection to be carried out.

A re-inspection is strongly recommended once these areas are made fully accessible.







## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.