



Building Inspection Report

Inspection Date: Fri, 16 Jan 2026

Property Address: 58-60 Mariners Reef Rd, MARYBOROUGH,
VIC, 3465, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Fri, 16 Jan 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

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Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This inspection was carried out in accordance with AS 4349.1 – Inspection of Buildings (Pre-purchase Inspections – Residential Buildings) and is a visual, non-invasive assessment of the readily accessible areas of the property at the time of inspection only. No dismantling, removal of fixtures, cutting, excavation, or destructive testing was undertaken.

The inspection is limited to the condition of the property as observed on the day of inspection. Building conditions may change due to weather events, ground movement, occupancy, maintenance practices, or works carried out after the inspection. No opinion is offered regarding future performance, durability, or service life of any building element.

Areas that were inaccessible, restricted, concealed, or obstructed at the time of inspection are excluded from assessment. This includes, but is not limited to, areas concealed by linings, insulation, floor coverings, fixtures, stored items, furnishings, soil, vegetation, or fixed equipment. No

representation is made regarding the condition of concealed or inaccessible areas, and defects may exist in these locations that were not visible at the time of inspection.

This inspection is not a structural engineering assessment. Any comments relating to structural performance, movement, or cracking are observational only and based on visible indicators present at the time of inspection. No soil testing, footing excavation, level survey, or engineering analysis was undertaken. Where structural concerns are suspected, further assessment by a suitably qualified structural engineer is recommended.

Moisture testing, where performed, is non-invasive and indicative only. The absence of elevated readings does not confirm the absence of leaks, moisture ingress, or waterproofing failure.

Waterproofing membranes, flashings, and concealed drainage elements are generally not visible and cannot be confirmed without invasive investigation. Past repairs, finishes, or cosmetic works may conceal underlying defects or moisture damage.

Services including electrical, plumbing, gas, drainage, heating, cooling, fire services, solar systems, appliances, and smoke alarms were not tested for operation or compliance, unless specifically stated otherwise in the report. No representation is made regarding approvals, certifications, or compliance with statutory requirements.

References to the Guide to Standards and Tolerances or other standards are provided as a general guide only. Older properties may not comply with current codes or standards, and this does not automatically constitute a defect. Descriptions such as "minor," or "major" are relative terms only and should not be interpreted as statements of safety, cost, or urgency.

No cost estimates, rectification values, or opinions on market value are provided. This report is not a valuation and must not be relied upon to determine purchase price or contractual outcomes.

This report is prepared solely for the named client for the purpose of a pre-purchase building inspection. No responsibility is accepted to any third party. The report must not be reproduced, distributed, or relied upon by any other person without the inspector's prior written consent.

Photographs are provided for illustrative purposes only. Not all defects may be photographed, and the absence of a photograph does not indicate the absence of a defect.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	

Overall Condition

In summary, the building, compared to others of similar age and construction is in good condition with some minor defects found.

Section B General

General description of the property

Building Type	Residential, Detached
Company or Strata title	No
Floor	Suspended Timber Frame, Stumps, Slab - Monolithic or Slab on Ground
Furnished	Furnished
No. of bedrooms	4
Occupied	Occupied
Orientation	East
Other Building Elements	Retaining Walls, Porch, Garage, Fence - Fabricated Metal Fence, Fence - Brick, Driveway
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Fascias, Floating Floor, Internal Joinery, Landscaping Timbers and Construction, Patio, Porch / Patio, Skirting Boards, Stair Railing, Staircase, Eaves, Veranda Posts, Window Frames
Roof	Timber Framed, Tiled
Storeys	Single
Walls	Brick Veneer (Timber Framed)
Weather	Overcast

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Posts
- Roof Exterior - Part
- Roof Void - Part
- The Site
- Timber Retaining Walls
- Trees
- Wall Exterior
- Subfloor - Part
- Stumps

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Roof Exterior - Part
- Areas of low roof pitch preventing full inspection.
- Wall exterior due to obstructions.
- Subfloor - Part.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Duct work
- Evidence of recently painted walls or ceilings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Landscaping
- Overhanging vegetation
- Patio
- Porch
- Rugs
- Stored items
- Unsafe to Access Roof - No Fall Protection System
- Subfloor was obscured due to poor clearance and obstructions. Less than 25% of the inspectable area was accessible.

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Defects 3.01

Building:	Main Building
Location:	All External Doors
Finding:	All external door seals - not installed
Information:	External perimeter door seals and bottom Raven door seals are essential components of a home's weatherproofing system. These seals serve as a protective barrier against external weather conditions, preventing rain, wind, dust, and pests from entering the home. Additionally, they play a critical role in maintaining indoor temperatures, improving energy efficiency, and reducing heating and cooling costs.

During the inspection, it was observed that these seals were missing from all the external doors of the property. The absence of door seals leaves the home vulnerable to several issues, including:

1. Weather Intrusion:

- Without proper seals, rain and wind can easily penetrate through gaps around the doors, potentially causing water damage, drafts, and discomfort for occupants.

2. Increased Energy Costs:

- Gaps in doorways allow conditioned air to escape and outdoor air to enter, forcing HVAC systems to work harder to maintain indoor temperatures. This leads to higher energy consumption and utility bills.

3. Pest Entry:

- Unsealed doors provide easy access for insects, rodents, and other pests, which can compromise the cleanliness and safety of the home.

4. Noise Pollution:

- Door seals help reduce noise infiltration from outside, creating a quieter and more comfortable living environment.

Recommendations:

1. Immediate Installation of Door Seals:

- It is highly recommended to engage a skilled handyperson or tradesperson to install external perimeter door seals and bottom Raven door seals on all external doors. These seals should be selected and installed based on the specific needs of the homeowner and the property's design.

2. Material Selection:

- Choose high-quality seals that are durable and weather-resistant, ensuring long-term performance. Options should be compatible with the door material and local climate conditions.

3. Enhanced Energy Efficiency:

- Consider integrating additional weatherproofing measures, such as draft stoppers or threshold seals, for maximum energy efficiency and weather protection.

4. Regular Maintenance:

- Inspect door seals periodically to ensure they remain intact and functional. Replace worn or damaged seals promptly to maintain their effectiveness.

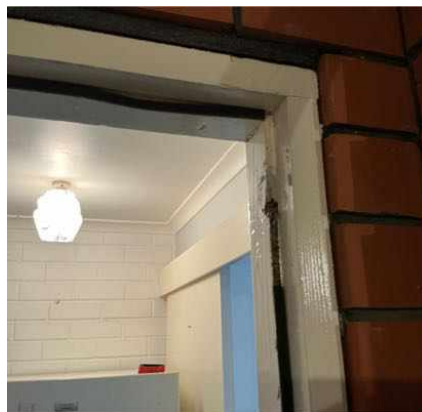
5. DIY Option for Simple Installations:

- For homeowners comfortable with DIY tasks, door seal kits are widely available and can be installed with basic tools. However, for a seamless and professional finish, engaging a skilled tradesperson is advised.

By installing and maintaining high-quality door seals, homeowners can protect their property from external elements, improve energy efficiency, and enhance the overall comfort and safety of their living spaces. Prompt action is recommended to prevent potential damage and unnecessary energy costs.







Defects 3.02

Building:	Main Building
Location:	All Internal Areas
Finding:	Missing or Damaged Door Stops
Information:	Several door stops were observed to be either missing or damaged throughout the property. Door stops serve a critical function in protecting walls, skirting boards, doors, and surrounding fixtures from impact damage caused by the door swinging too far.

Implications:

- Risk of damage to walls, architraves, and door hardware due to uncontrolled door movement.
- Repetitive contact may result in indentations, chipped paint, or structural cracking.
- Reduced functionality and premature wear to doors and frames.

Recommendations:

- Engage a qualified tradesperson or handyperson to install or replace door stops where required.
- Ensure the selected stops are appropriate for the type and swing of the door (e.g.

floor-mounted, wall-mounted, or hinge pin stops).

- Check nearby surfaces and door components for any damage already caused, and carry out repairs as needed.

Restoring or installing effective door stops is a straightforward measure that can help preserve the overall condition of the home and prevent avoidable damage.





Defects 3.03

Building:	Main Building
Location:	Internal Areas
Finding:	Internal Doors Binding on Carpet
Information:	During the inspection, it was observed that one or more internal doors were binding at the base due to contact with the carpet. This condition restricts proper door operation and places undue pressure on the floor covering.

Implications:

- Restricted door operation and reduced functionality.
- Increased risk of damage to carpet fibres and floor finishes.
- Potential for accelerated wear to door edges and door hardware.
- Reduced overall finish quality and usability of the affected areas.

Recommendations:

- Engage a qualified carpenter to assess door clearances and confirm the appropriate trimming or adjustment method.
- Trim or rehang the affected doors to achieve adequate clearance above the finished carpet surface.
- Check all internal doors for consistent operation following rectification.

This condition affects normal usability and finish quality and should be rectified to prevent ongoing damage and ensure proper door operation throughout the dwelling.



Defects 3.04

Building: Main Building
Location: Internal Areas
Finding: Cracking to Internal Wall Linings
Information: Cracking was observed to internal wall linings during the inspection. These types of cracks are generally considered common and are typically the result of natural building movement, age-related wear, thermal expansion and contraction, or minor installation-related issues in plasterboard or supporting framing members.

Implications:

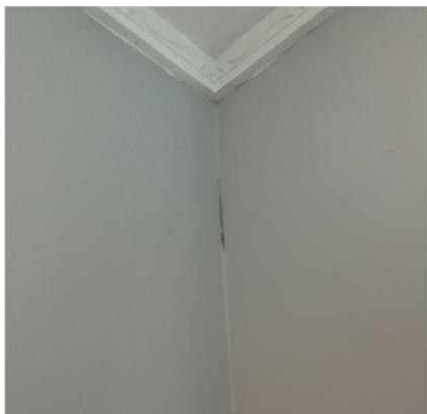
- May result in minor functional issues such as jamming or sticking of doors and windows.
- Reduces the cosmetic quality of interior finishes.
- Could indicate areas that warrant future observation for progressive movement.

Recommendations:

- Engage a qualified plasterer to repair cracks and consider installing expansion joints if necessary to accommodate ongoing building movement.
- Arrange for repainting by a qualified painter following any plaster repairs.
- Monitor cracks over time for signs of progression (e.g. widening, lengthening, or new cracks forming).
- If deterioration continues or operational issues with doors/windows arise, seek further assessment from a building inspector or structural engineer.

The cracking noted is typical of minor building movement and does not currently present as structural. Regular monitoring and cosmetic repair will assist in preserving the internal presentation and allow early intervention if future issues arise.





Defects 3.05

Building:	Main Building
Location:	Entry
Finding:	Cracking and Staining to Ceiling Finishes Adjacent to Heating Duct
Information:	At the time of inspection, cracking to the ceiling lining and paint finish was observed in the vicinity of the heating duct within the entry area. Localised brown discolouration and staining were also present around the duct penetration. The cracking appears to radiate from and around the duct opening, indicating movement, thermal expansion, or moisture-related stress to the ceiling lining at this location.

Implications:

- The cracking indicates ongoing movement or stress to the ceiling lining, which may continue to worsen over time.
- The staining suggests possible past or current moisture presence, condensation, or air leakage around the duct penetration.
- If moisture is present, there is an increased risk of ceiling lining deterioration, mould growth, and hidden damage to framing or insulation.
- The condition reduces the overall presentation of the entry area and may indicate broader performance issues with duct sealing or roof space moisture control.

Recommendations:

- The duct penetration should be inspected to confirm whether moisture, condensation, or air leakage is occurring.
- Any gaps around the duct should be properly sealed to prevent air and moisture transfer.
- The affected ceiling area should be repaired by a qualified tradesperson, including stabilising the substrate, re-finishing, and repainting.

- If moisture is confirmed, further investigation of roof space ventilation, insulation, and duct insulation may be required.

In summary, the cracking and staining around the heating duct indicate ceiling lining distress and possible moisture or air leakage concerns, and rectification is recommended to prevent further deterioration and restore the ceiling to a stable and durable condition.



Defects 3.06

Building:	Main Building
Location:	Dining Room & Laundry
Finding:	Internal Sliding Door - Stiff
Information:	During the inspection, one or more internal sliding doors were noted to operate stiffly or not slide smoothly along their tracks. This condition is commonly caused by minor misalignment, debris accumulation within the tracks, or deterioration of rollers and fittings over time.

Implications:

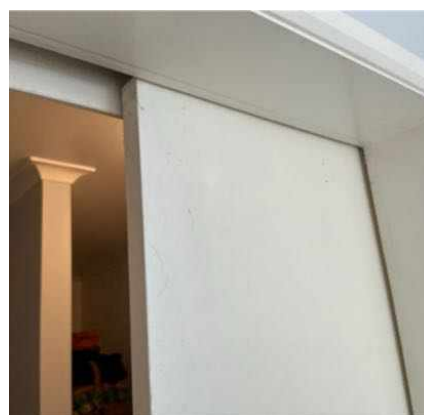
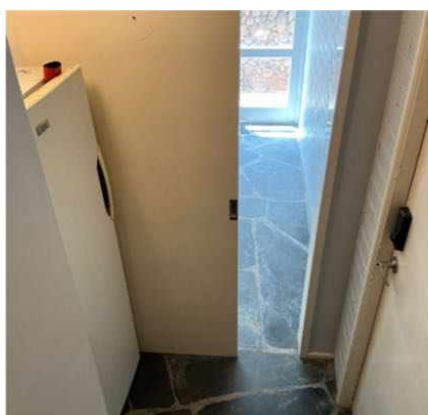
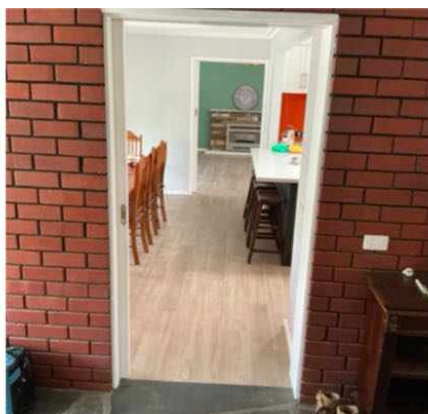
- Reduced ease of use and impaired door functionality.
- Increased wear to door tracks, rollers, or fittings if left unaddressed.
- Possible difficulty achieving full closure, affecting privacy or security.

Recommendations:

- Clean and inspect the upper and lower tracks to remove dust or debris.
- Lubricate all moving components to improve operation.
- Engage a qualified carpenter or handyman to adjust, realign, or replace worn rollers and fittings as required.

These issues are generally considered minor maintenance items and can typically be

resolved through basic adjustment and servicing to ensure smooth and reliable operation.



Defects 3.07

Building: Main Building

Location: Kitchen

Finding: Visible Sag in Cornice Line

Information: A noticeable sag is present along the cornice line to the ceiling area. This form of distortion is typically associated with framing deflection, insufficient fixing, or possible plasterboard movement over time. The uneven profile detracts from the visual alignment and may be indicative of underlying ceiling or structural issues.

Implications:

- Visual inconsistency affecting finish quality.
- Potential for further ceiling movement or plasterboard cracking.
- Possible underlying structural or support-related concerns requiring investigation.

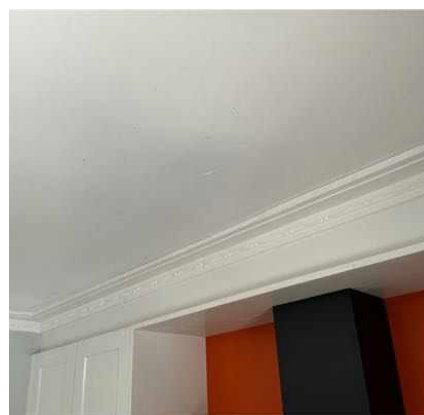
Recommendations:

- Engage a qualified carpenter or plasterer to assess the extent of deflection or fixing

failure.

- Rectify the sag by reinforcing or adjusting ceiling support as necessary and reattaching or replacing the affected cornice.
- Monitor the area for signs of worsening sag or plaster cracking if immediate repair is not undertaken.

This type of ceiling deformation is commonly seen in areas where ceiling spans are wide or exposed to environmental movement and should be addressed to maintain finish quality and prevent future damage.



Defects 3.08

Building:	Main Building
Location:	Bedroom
Finding:	Ceiling Patching Visible in Multiple Areas
Information:	Ceiling surfaces in several rooms were noted to contain visible patching, likely resulting from prior repairs or attempted cosmetic improvements. The affected areas exhibit inconsistent texture, slight protrusions, or visible outlines that detract from a uniform ceiling finish.
Implications:	

- Patching may indicate past water damage, movement, or ceiling lining failure
- Potential underlying structural or moisture issues may not be fully resolved
- Poor visual finish detracts from presentation and may require further cosmetic repair

Recommendations:

- Obtain clarification from the vendor regarding the reason for previous patching
- Engage a licensed plasterer to assess the ceiling condition and provide remedial works where needed
- Consider further investigation to rule out active water ingress or ceiling lining deterioration

Further inspection is recommended to determine the adequacy of previous repair works and whether additional rectification is warranted.



Defects 3.09

Building:	Main Building
Location:	Built In Robe
Finding:	Binding Doors on Frame
Information:	During the inspection, one or more internal doors were noted to be binding against the door frames, making them difficult to open and close. This condition is typically caused by poor initial installation, deterioration of hinges, or movement in the surrounding structure due to minor settlement or environmental factors.

Implications:

- Impaired door functionality and reduced ease of use
- Potential for damage to door edges, hinges, or frame linings over time

- May indicate minor frame movement or humidity-related expansion in certain areas

Recommendations:

- Engage a qualified carpenter or handyman to inspect and adjust the affected doors
- Repair or replace worn or sagging hinges as needed
- Plane or rehang doors to restore correct clearance and function
- Monitor affected areas for signs of structural movement if issues persist or worsen

While commonly considered a maintenance item, binding doors should be corrected to ensure proper usability and to prevent further deterioration of door components.



Defects 3.10

Building:	Main Building
Location:	Bathroom
Finding:	Peeling Enamel Coating to Bathtub Waste Area
Information:	At the time of inspection, the enamel coating to the bathtub was observed to be peeling and deteriorated around the waste outlet area. The exposed substrate beneath the enamel is visible, indicating loss of protective surface coating and ongoing material breakdown at a high-use and high-moisture location.

Implications:

- The exposed substrate is more susceptible to corrosion, staining, and accelerated deterioration.
- The rough, uneven surface increases the likelihood of dirt, soap residue, and bacteria accumulation.
- Water can penetrate beneath the remaining enamel, leading to further delamination and potential structural weakening of the bathtub surface.

- The defect represents a hygiene concern and reduces the serviceability and lifespan of the fixture.

Recommendations:

- A qualified bathroom or resurfacing contractor should assess the bathtub to determine whether professional re-enamelling or replacement is required.
- Any loose or unstable enamel should be removed prior to repair to prevent ongoing failure of the surrounding coating.
- The area should be restored to a smooth, sealed, and waterproof finish suitable for wet-area use.

In summary, the peeling enamel around the bath waste area represents an active deterioration issue that will continue to worsen if not addressed, and rectification is recommended to restore durability, hygiene, and functional performance.



Defects 3.11

Building:	Main Building
Location:	Bathroom
Finding:	Cracking to Painted Architraves and Skirting Boards
Information:	Cracks were observed opening up in various sections of the painted architraves and skirting boards. These cracks may be associated with minor building movement, timber shrinkage, or inadequate surface preparation prior to painting.

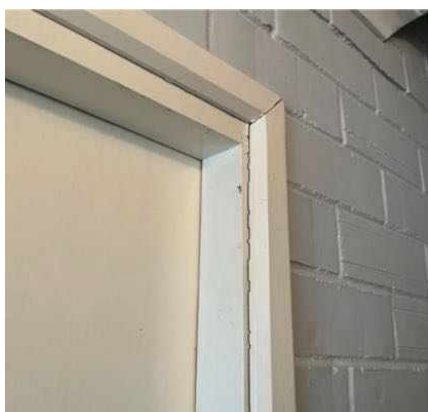
Implications:

- Aesthetic presentation is compromised by visible cracking.
- Potential ongoing movement may lead to further deterioration or require repeated maintenance.
- May indicate underlying workmanship or preparation issues.

Recommendations:

- Engage a qualified painter or builder to assess the extent of cracking and undertake necessary repairs, which may include filling, sanding, and repainting affected areas.
- Monitor for any signs of worsening or recurring movement over time.

This condition is not uncommon following recent painting, particularly in timber joinery, and is typically considered a maintenance item unless associated with significant structural movement.



Defects 3.12

Building:	Main Building
Location:	Shower
Finding:	Missing Sealant to Shower Intersection Joints
Information:	At the time of inspection, it was observed that the shower intersection joints (including wall-to-wall and wall-to-floor junctions) have not been sealed with flexible waterproof sealant. Although this installation method was commonly accepted at the time the dwelling was constructed, it does not align with current best practice for wet area detailing. The absence of sealant leaves these junctions vulnerable to water penetration during normal shower use.

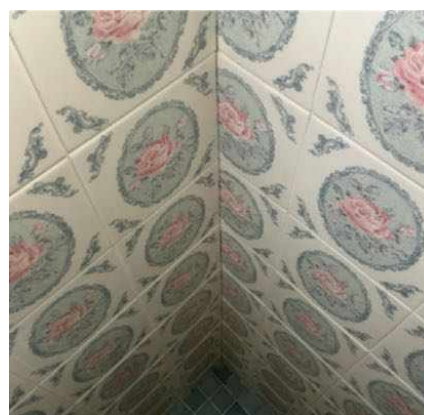
Implications:

- Water may penetrate through the unsealed junctions and migrate behind wall and floor finishes.
- Ongoing moisture exposure increases the risk of deterioration to wall linings, framing, and floor substrates.
- Hidden water ingress can contribute to mould growth, timber decay, and potential waterproofing failure.
- Damage may progress without visible surface signs, increasing the likelihood of costly rectification works in the future.

Recommendations:

- A licensed bathroom contractor should assess the shower area for evidence of moisture ingress or waterproofing compromise.
- All intersection joints should be professionally cleaned, dried, and sealed using a suitable flexible waterproof sealant designed for wet areas.
- If moisture damage is identified, further investigation of the underlying waterproofing system may be required.

In summary, the absence of caulking to the shower intersection joints represents an increased risk of concealed water ingress and progressive damage, and rectification is recommended to improve moisture control, durability, and long-term performance of the wet area.





Defects 3.13

Building:	Main Building
Location:	All External Areas
Finding:	Cracking and Separation of Timber Quad Moldings at Eaves
Information:	During the inspection, cracking and separation was noted at the mitre joints of timber quad moldings installed around the eaves in multiple locations. This condition is common in aging properties and is typically associated with natural movement and environmental exposure over time.

Implications:

- Cosmetic deterioration of external timber finishes.
- Potential for moisture ingress if gaps are left untreated, leading to timber decay.
- May require ongoing monitoring as the building continues to age and move.

Recommendations:

- Engage a qualified carpenter or handyman to:
- Reattach and secure any loose quad moldings.
- Fill visible gaps at mitre joints with a flexible, weather-resistant exterior filler.

- Repaint affected areas with a high-quality, weatherproof coating to protect from further weathering.
- Monitor repaired areas as part of routine exterior maintenance, particularly following seasonal changes or heavy rain events.

The separation observed is consistent with typical age-related wear and environmental exposure, and is considered a maintenance item rather than a structural concern. Prompt attention will help prevent moisture-related deterioration and preserve the external appearance of the property.





Defects 3.14

Building: Main Building
Location: All External Areas
Finding: Separation of Eave Lining from Joining Strips and Gutter/Fascia
Information: At the time of inspection, sections of the eave lining were observed to be separating from the joining strips and the adjacent gutter and fascia components. Visible gaps were present along multiple sheet junctions and perimeter edges, indicating loss of fixing integrity and/or ongoing movement within the eave lining system. The condition is consistent with ageing materials, moisture exposure, and fixings losing holding capacity over time.
Implications:

- Open gaps allow moisture, wind-driven rain, dust, insects, and vermin to enter the roof void.
- Moisture ingress increases the risk of ceiling lining deterioration, timber decay, mould growth, and insulation damage.
- Progressive separation may result in further sheet sagging or detachment.
- The defect reduces the weather resistance and durability of the roof edge construction.
- The appearance detracts from the overall presentation and perceived condition of the dwelling.

Recommendations:

- A qualified carpenter or builder should refix or replace affected eave lining sheets and joining strips to restore proper alignment and support.
- All junctions should be securely fixed and sealed to provide a continuous weather-resistant barrier.
- Any moisture-affected materials should be replaced prior to reinstatement.
- The gutter and fascia interfaces should be reviewed to ensure correct support and prevent future separation.

In summary, the separation of the eave lining from the joining strips and gutter/fascia represents a progressive durability and weather-resistance defect that will continue to worsen if left unaddressed, and rectification is recommended to restore enclosure integrity, protect the roof space, and maintain the long-term performance of the building envelope.





Defects 3.15

Building:	Main Building
Location:	Facade Near Garage
Finding:	Deteriorated Mortar Bedding to Brickwork
Information:	During the inspection, sections of mortar bedding to the brickwork were observed to be deteriorated in various areas. Mortar plays a critical role in bonding bricks together, maintaining wall stability, and providing a weather-resistant seal against moisture ingress. The level of deterioration observed is generally consistent with the age and construction type of the dwelling; however, it still represents a material defect that requires maintenance.

Implications:

- Deteriorated mortar reduces the structural bonding strength between bricks and can lead to brick loosening or instability over time.
- Gaps and weakened joints allow moisture to penetrate the wall system, increasing the risk of internal dampness, timber deterioration, insulation damage, and mould growth.
- Continued erosion of mortar can expose brick edges, accelerating brick degradation and increasing future repair costs.
- Air leakage through mortar joints can reduce thermal performance and contribute to drafts and energy inefficiency.
- The appearance of cracked, missing, or crumbling mortar detracts from the overall presentation and perceived condition of the property.

Recommendations:

- A qualified bricklayer should be engaged to carry out repointing to all affected areas by removing loose or deteriorated mortar and replacing it with compatible mortar.
- If deterioration is widespread or located in elevated or difficult-to-access areas, a registered builder should be engaged to manage the rectification works.
- Where brick displacement, significant cracking, or wall distortion is observed, a structural engineer should be consulted to assess potential underlying movement.
- Contributing moisture sources, including drainage, roof drainage systems, and flashing details, should be reviewed and improved where required to reduce future deterioration.
- Ongoing periodic inspection and maintenance of brickwork should be undertaken to prevent recurrence.

In summary, while the mortar deterioration is consistent with the age of the dwelling, it represents a progressive maintenance defect that will continue to worsen if not addressed, and rectification is recommended to preserve the structural integrity, durability, and long-term performance of the masonry walls.



Defects 3.16

Building:	Main Building
Location:	Porch
Finding:	Corroded Steel Post Stirrup to Verandah Post
Information:	At the time of inspection, the steel stirrup supporting the verandah post was observed to be heavily corroded. Rust staining and section loss were evident along the stirrup, particularly at the junction between the post, fixing plate, and concrete footing. Cracking and deterioration to the surrounding concrete at the post base were also noted, indicating long-term moisture exposure and ongoing degradation of the support detail.

Implications:

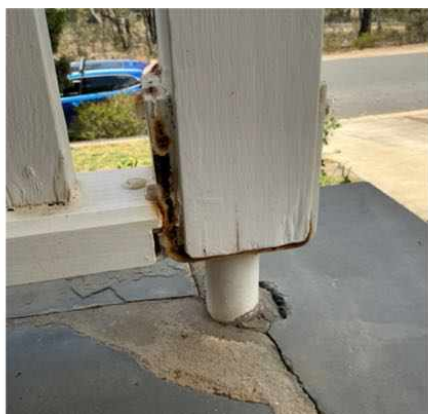
- Corrosion reduces the load-bearing capacity and structural reliability of the post connection.
- Progressive rusting can lead to thinning or failure of the stirrup, increasing the risk of post movement or instability.
- Moisture trapped at the base connection accelerates both steel corrosion and timber deterioration within the post.
- Cracking to the surrounding concrete may worsen as the steel expands through corrosion.
- The defect compromises the long-term durability and safety of the verandah support system.

Recommendations:

- A qualified builder or structural tradesperson should assess the condition of the post support and confirm its remaining structural capacity.
- The corroded stirrup should be replaced with a new galvanised or stainless steel post support suitable for external exposure.

- The post base and surrounding concrete should be repaired to ensure a stable, durable, and moisture-resistant connection.
- Any contributing drainage or moisture issues at the verandah slab should be addressed to prevent recurrence.

In summary, the rusted steel stirrup represents a structural durability defect that will continue to deteriorate if left unaddressed, and rectification is recommended to restore the integrity and safety of the verandah post support.



Defects 3.17

Building:	Main Building
Location:	Porch
Finding:	Cracking Along Mortar Joint to Porch Paving
Information:	At the time of inspection, a continuous crack was observed following the mortar joint line within the porch paving. The cracking runs longitudinally through the joint and indicates separation between adjacent paving units rather than an isolated surface blemish. This condition suggests movement or loss of bonding within the paved surface.

Implications:

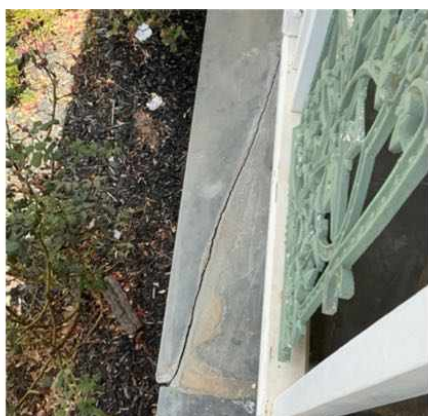
- The crack allows water to penetrate beneath the paving, increasing the risk of sub-base softening and further movement.
- Ongoing moisture entry can accelerate deterioration of the mortar joint and surrounding paving units.
- Progressive movement may lead to uneven paving, trip hazards, or displacement of adjacent pavers.
- The defect may indicate underlying settlement or inadequate support beneath the paved area.

- The appearance detracts from the overall presentation and perceived condition of the porch area.

Recommendations:

- The affected joint should be assessed by a qualified tradesperson to determine whether re-pointing or partial lifting and re-bedding of the paving is required.
- The joint should be cleaned and re-filled with a suitable external-grade mortar or flexible paving joint compound, depending on substrate movement conditions.
- The underlying base should be checked for voids, settlement, or drainage issues if further movement is identified.
- Water run-off from the porch area should be reviewed to minimise ongoing moisture exposure beneath the paving.

In summary, the cracking along the mortar joint to the porch paving indicates movement and joint failure that will continue to deteriorate if not addressed, and rectification is recommended to restore surface stability, durability, and safe use of the porch area.



Defects 3.18

Building:	Main Building
Location:	Left-hand Side
Finding:	Downpipes Short and Not Fully Connected to Stormwater
Information:	During inspection, it was observed that one or more downpipes terminate above the stormwater connection point rather than being fully extended into the system. As a result, rainwater may not be effectively directed into the drainage system and can instead discharge around the base of the dwelling.

Implications:

- Foundation movement: Prolonged soil saturation may lead to expansion,

contraction, or erosion, potentially affecting the stability of footings.

- Water damage: Poorly directed stormwater can deteriorate external finishes, masonry, and other nearby building elements.
- Increased maintenance costs: Uncontrolled water flow may contribute to future repair costs associated with moisture-related damage.
- Pest risk: Excess moisture can attract termites and contribute to fungal growth or timber decay.

Recommendations:

- Engage a licensed plumber to extend all affected downpipes and ensure proper connection to the stormwater system.
- Confirm system performance during rainfall to verify that stormwater is being effectively discharged away from the structure.
- Monitor surrounding areas for signs of pooling, erosion, or excess moisture following rectification.

In summary, one or more downpipes were not properly connected to the stormwater system. Rectification is recommended to ensure rainwater is discharged effectively and to prevent potential moisture-related issues around the dwelling.





Defects 3.19

Building:	Main Building
Location:	Rear Porch
Finding:	Eave sheets - Sagging
Information:	Visible sagging of the eave sheeting was noted around the entire perimeter of the dwelling. This is a common condition in older homes, where prolonged exposure to weathering, moisture ingress, and general material fatigue can cause the eaves to detach or fall out from the fascia boards. In this case, it was observed that the eave sheets are inadequately supported and appear to be temporarily held in place by nails driven into the fascia, which is not a compliant or durable method of fixing.

Sagging eaves can result from multiple factors, including deterioration of the sheeting material, rusted or failed fixings, water damage from roof or gutter leaks, or timber fascia board distortion. Once eave linings lose their support or become moisture-affected, they are susceptible to further sagging, collapse, or mould growth, particularly in areas with inadequate ventilation or gutter overflows.

This condition detracts from the property's appearance and may compromise the effectiveness of the roof eave in protecting the substructure from wind-driven rain and heat. In some cases, sagging eaves may also conceal further hidden damage to the roof framing or gutter system.

Implications:

- Reduced weather protection at roof edges, increasing risk of moisture ingress to the wall framing.
- Potential for detachment or collapse of eave sheets, posing safety hazards to occupants or visitors.
- Aesthetic deterioration, negatively impacting the visual presentation of the dwelling.
- Possible masking of further issues, including timber rot or pest entry points.

Recommendations:

- Engage a suitably qualified carpenter or handyperson to inspect and secure or replace the affected eave sheets.
- Assess the condition of the underlying fascia boards and roof framing to identify any structural deterioration or rot.
- Review the condition and functionality of the guttering system to ensure it is not contributing to water damage in eave areas.
- Ensure all eave linings are adequately supported and fixed in accordance with current construction standards.
- Consider repainting or resealing the eaves once repaired to improve durability and visual presentation.

The observed sagging and makeshift fixing of the eave sheets indicate material degradation and improper support, which is consistent with age-related wear in older properties. These conditions present both visual and functional issues that, if left unaddressed, may worsen over time. Prompt attention from a qualified tradesperson is recommended to restore the integrity of the eave structures and prevent further deterioration or associated damage.



Defects 3.20

Building:	Main Building
Location:	Roof Exterior
Finding:	Evaporative Cooler Overflow Discharging Into Sanitary Vent
Information:	At the time of inspection, the roof-mounted evaporative cooling system was observed to have its overflow pipe connected into a vertical sanitary vent pipe. Based on the visible pipe configuration, the overflow discharge appears to enter the sanitary plumbing system rather than being directed to a stormwater or approved external discharge point.

Evaporative cooler overflow is classified as clean water discharge and should not be directly connected to the sanitary sewer system. This arrangement is not considered

best practice and may not comply with current plumbing requirements.

Implications:

- Risk of sewer gases travelling back through the overflow line and into the cooling system
- Potential odour transfer into the dwelling during system operation
- Increased risk of contamination, corrosion, and hygiene concerns
- Possible non-compliance with current plumbing installation standards
- Hidden plumbing defects may not become apparent until operational issues arise

Recommendations:

- A licensed plumber should confirm the termination point of the evaporative cooler overflow pipe
- The overflow should be redirected to an approved stormwater discharge point with an appropriate air gap
- Any direct sanitary connections should be removed and made compliant
- The cooling system should be checked for internal contamination or odour issues if this configuration has been in place long-term

In summary, the evaporative cooler overflow appears to discharge into a sanitary vent pipe, which is not considered best practice and may represent a plumbing compliance and hygiene concern. Rectification is recommended to ensure correct discharge, prevent cross-contamination, and maintain safe system operation.





Defects 3.21

Building:	Main Building
Location:	Roof Exterior
Finding:	Sanitary Vent Pipes – Unprotected Open Terminations
Information:	The sanitary vent pipes servicing the drainage system were observed to terminate open above the roof line without vented caps or protective cowls. While vent pipes are required to remain open to atmosphere for correct system operation, the absence of vented protective terminals leaves the pipe openings exposed to rainwater entry, debris accumulation, insects, and birds.

Over time, this exposure increases the risk of partial or full blockage within the vent system, which can adversely affect drainage performance and odour control within the dwelling.

Implications:

- Increased risk of debris, insects, or birds entering and obstructing the vent system
- Potential for reduced drainage efficiency due to restricted air flow
- Higher likelihood of sewer gas odours entering the dwelling if vent performance is compromised
- Increased maintenance requirements and risk of future plumbing issues

Recommendations:

- Install compliant vented caps or vent cowls that allow unrestricted airflow while preventing debris and pest entry
- Ensure any fitted terminals are specifically designed for sanitary vent applications and are not sealed
- Have a licensed plumber confirm the vent terminations remain fully functional

and unobstructed after installation

Although the vent pipes are required to remain open to atmosphere, the addition of compliant vented caps or cowls is recommended to improve system protection, reliability, and long-term performance.



Defects 3.22

Building:	Main Building
Location:	Subfloor
Finding:	Deterioration to Concrete Stumps
Information:	At the time of inspection, multiple concrete stumps within the subfloor area were observed to exhibit significant surface deterioration at their base where they interface with the ground. The concrete shows loss of cement paste, exposed aggregate, surface scaling, and friable material concentrated around the ground contact zone. This pattern of deterioration is consistent with prolonged moisture exposure at the soil interface and suggests the concrete is breaking down rather than only showing superficial cosmetic wear.

Likely technical causes for this type of deterioration include capillary moisture absorption from the surrounding soil (keeping the concrete damp for extended periods), carbonation of the cement paste over time, possible sulphate attack in reactive or salt-bearing soils, poor original concrete quality (e.g., high water content/low cement content or inadequate compaction), and/or the absence of an effective separation between the stump base and the surrounding soil which allows ongoing moisture migration into the concrete.

Implications:

- Ongoing concrete degradation may reduce the long-term load-bearing capacity of the stumps.
- Continued moisture exposure can accelerate concrete breakdown and internal weakening.

- Deterioration at the ground interface increases the risk of future structural movement and floor level irregularities.
- Remedial works may require stump repair, underpinning, or replacement, which can be costly and disruptive.

Recommendations:

- A licensed structural engineer or qualified building professional should assess the structural adequacy of the affected stumps.
- Subfloor drainage and ventilation should be reviewed to reduce ongoing moisture exposure.
- Allow for potential stump remediation or replacement works when considering future maintenance or purchase negotiations.

In summary, the observed concrete stump deterioration at the ground interface represents a significant durability concern that may compromise long-term structural performance if not addressed.





Defects 3.23

Building:	Main Building
Location:	Right-hand Fence
Finding:	Deteriorated Timber Railings with Timber Decay
Information:	The timber railings were observed to be in a deteriorated condition, with multiple defects including failed joints at rail connections, general misalignment, and visible timber decay. Sections of the railings display surface breakdown, softening, and loss of section, consistent with prolonged moisture exposure and lack of ongoing maintenance. In some areas, the railings no longer appear to provide reliable structural performance or effective containment.

Implications:

- Reduced structural stability of the railing system
- Timber decay further compromises strength and long-term durability
- Increased safety risk where the railings are relied upon as a barrier or support
- Favourable conditions for termite activity and continued biological deterioration
- Negative impact on property presentation and perceived condition
- Ongoing deterioration may result in higher future repair or replacement costs

Recommendations:

- Engage a qualified carpenter or builder to assess the condition and extent of timber decay within the railings
- Remove and replace all decayed and structurally compromised railing members
- Reconstruct failed rail joints and reinstate correct alignment and fixing
- Identify and rectify moisture sources contributing to timber decay
- Apply suitable protective coatings or sealants to reduce future weather-related deterioration
- Confirm the railing installation complies with relevant safety and regulatory requirements

The observed deterioration and timber decay to the timber railings should be addressed to reinstate structural function, improve safety, enhance appearance, and prevent continued degradation of the railing system.



Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Sub Floor Ventilation Specialist
- Registered/Licensed Builder
- Licensed Plumber
- Licensed Plumber specialising in Roof Plumbing

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- Compared to other buildings of a similar age, this brick veneer dwelling at the time of inspection was found to be in good condition. Minor items have been identified. These have been noted in the body of the report and will require addressing.

Maintenance work items needing attention may be performed at the clients' discretion. Works should not be neglected as further deterioration may occur.

Several limitations and obstructions impeded the inspection and, if at all feasible, should be removed, and a further inspection should be performed. Indicative images below depict some of the obstructions encountered.

For further information, advice and clarification please contact Daniel Hills on: 0488 631 253

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building:	Main Building
Location:	All Internal Areas
Finding:	Rooms - recently painted
Information:	It appears that certain areas of the house have recently been repainted, enhancing the overall appearance of the property. While fresh paint can provide a clean and aesthetically pleasing finish, it is important to recognize that it may also be used to conceal underlying issues, such as repair work, structural cracks, or other surface imperfections. Without further investigation, it is difficult to ascertain whether the painted areas are purely cosmetic or indicative of deeper concerns.

Cracks in building materials typically develop over time due to natural processes, including the expansion and contraction of materials caused by temperature fluctuations, as well as general settlement. Such settlement is common in properties of this age and condition and is often considered a normal part of a building's lifecycle.

However, it is essential to monitor these cracks, as they may provide insight into the property's structural health:

1. Normal Cracking:

- Minor cracks are usually superficial and result from natural wear and tear or minor movements in the structure. These are unlikely to pose significant concerns and can often be managed with routine maintenance.

2. Worsening Cracks:

- If cracks reappear through the paint, widen, or extend over time, they may indicate underlying issues such as excessive footing or subfloor movement. These can result from shifting soil, water damage, or poor foundation design.

3. Potential Risks:

- Progressive cracks may compromise the structural integrity of the property, affecting load-bearing walls, ceilings, or other critical elements. Left unaddressed, this can lead to more extensive damage and costly repairs.

Recommendations:

1. Regular Monitoring:

- Keep an eye on repainted areas to check for signs of cracks re-emerging. Take note

of any changes in width, length, or frequency of cracks, as these can be indicative of underlying movement or stress.

2. Engage a Professional:

- If cracks worsen or show significant progression, consult a licensed building inspector or structural engineer to conduct a comprehensive assessment. A professional evaluation will help determine the root cause of the movement and provide guidance on necessary repairs.

3. Investigate Concealed Areas:

- Consider engaging a professional to inspect repainted areas to ensure there are no hidden issues, such as water ingress, rotting timber, or subsidence. This is especially important if the repainting appears localized or uneven.

4. Address Underlying Causes:

- If cracks are found to be related to foundation or subfloor movement, it may be necessary to undertake remedial works such as re-leveling the foundation, improving drainage, or addressing soil stability around the property.

5. Routine Maintenance:

- Maintain the property by addressing minor issues as they arise, such as repairing cracks or repainting affected areas. Proper maintenance can prevent small problems from escalating and extend the lifespan of the structure.

By taking these steps, you can ensure that any potential issues are identified and addressed promptly, safeguarding the property's structural integrity and minimizing the risk of costly repairs in the future. Regular inspections and proactive maintenance are key to preserving the value and safety of the property.





Noted Item

Building:	Main Building
Location:	All Internal Areas
Finding:	Smoke Detector Compliance Not Assessed
Information:	The inspection and reporting on the presence, function, and compliance of smoke detectors—whether battery-operated or hard-wired—fall outside the formal scope of this pre-purchase building inspection. However, general observations regarding smoke alarm coverage or deficiencies are noted for the client's awareness.

Implications:

- Absence or non-functioning of smoke detectors increases the risk to life in the event of a fire.
- Non-compliance with current Australian Standards (AS 3786) or relevant state legislation may lead to fines or insurance issues post-settlement.
- Poor placement or outdated detectors may reduce early warning capability, especially during sleeping hours.

Recommendations:

- Following settlement, the client should engage a licensed electrician or fire safety professional to:
 - Inspect all existing smoke detectors for compliance, functionality, and correct placement.
 - Install new or additional units where necessary, ensuring compliance with AS 3786 and state-based legislation.
- For optimal fire safety, ensure smoke detectors are:
 - Interconnected where required.
 - Positioned in all sleeping areas and paths of travel as per current regulations.
 - Maintained according to manufacturer instructions and replaced every 10 years.
 - Tested monthly, with annual battery replacement where applicable.

Important Note:

This report does not verify the number, condition, location, or legal compliance of smoke detection systems. Clients are strongly advised to confirm fire safety measures prior to occupancy through a specialist inspection.

Ensuring smoke detectors meet current requirements is essential to protect future occupants and comply with legal obligations following possession of the property.



Noted Item

Building: Main Building
 Location: Kitchen
 Finding: Condition of Installed Appliances - Operational
 Information: At the time of inspection, the installed appliances—including the oven, cooktop, rangehood, and dishwasher—were checked for basic operational function. All appliances powered on and responded as expected to standard user inputs, indicating they are in working condition.

Implications:

- Appliances appear to be functioning as intended at the time of inspection.
- No obvious signs of damage, malfunction, or missing components were observed.

Recommendations:

- Confirm inclusions with the sales contract to ensure all appliances are covered.
- Retain user manuals and warranty information where available.
- Re-test all appliances upon settlement and prior to first use, as function may vary

with time or power supply changes.

- Engage a licensed electrician or appliance technician to conduct a safety check of all appliances, particularly if installation dates, service history, or compliance documentation are unknown.

While appliances were operational during the inspection, it should be noted that a full performance test was not conducted, and future performance or safety compliance cannot be guaranteed.



Noted Item

Building:	Main Building
Location:	Lounge Room
Finding:	Servicing and Safety of Gas Wall Heaters
Information:	It is strongly advised that all gas wall heaters within the property are regularly serviced and maintained by a licensed and registered plumber. Over time, gas appliances can become inefficient or develop faults, which may lead to serious safety hazards such as carbon monoxide leaks, fire risk, or poor combustion efficiency.

Important Note:

Gas inspections, including testing for leaks or carbon monoxide emissions, are not within the scope of a standard building inspection. Only a licensed plumbing

professional can assess the compliance and safety of gas appliances in accordance with Victorian gas safety regulations.

Recommendations:

- Engage a licensed and registered plumber to carry out a full service and safety inspection of all gas wall heaters prior to use.
- Ensure future servicing is completed in accordance with manufacturer specifications and gas safety regulations.
- Install a carbon monoxide detector in all rooms containing gas heaters for added safety and peace of mind.

While a visual assessment of gas appliances is included in this report, their operation, compliance, and safety can only be verified by a licensed plumbing professional. A qualified inspection and servicing should be treated as a priority to ensure occupant safety.



Noted Item

Building:	Main Building
Location:	Garage
Finding:	Photovoltaic (PV) Solar Panel System – Limitations and Considerations
Information:	A rooftop PV solar panel system was present at the time of inspection. While the installation appeared intact from a visual standpoint, no assessment was made regarding its electrical compliance, inverter performance, or energy output. The inspection of solar power systems is outside the scope of a standard building inspection.

Implications:

- Panels, wiring, isolators, and inverters may degrade over time or fail without regular servicing.
- Safety risks such as arc faults, exposed wiring, or non-compliant isolators may go

unnoticed without a licensed electrical inspection.

- Lack of documentation, service records, or labelling can complicate future upgrades, insurance claims, or system troubleshooting.

Recommendations:

- Engage a Clean Energy Council (CEC) accredited electrician or solar technician to inspect the entire system for safety, compliance, and performance.
- Confirm that the system meets the requirements of AS/NZS 5033:2021 and AS/NZS 4777.1:2016.
- Ensure the inverter is functioning correctly and that appropriate system documentation is available.

As the inspection of solar power systems is beyond the scope of this report, no assurance is provided regarding the operational status or safety compliance of the system.



Noted Item

Building: Main Building
Location: Right-hand Side

Finding: Potential Surface Water Ingress Risk to Laundry Doorway
Information: At the time of inspection, the external concrete path and stair configuration along the right-hand side of the dwelling was observed to direct surface water toward the laundry doorway. The finished surface levels appear relatively flat in this area, with limited visible fall away from the doorway opening. Although no active water ingress was observed at the time of inspection, the layout presents a potential risk during periods of heavy rainfall.

It cannot be confirmed under dry inspection conditions whether water enters the laundry; however, the configuration indicates that water may track toward the doorway threshold when significant rainfall occurs.

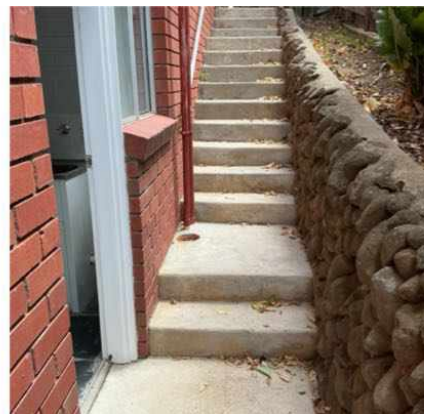
Implications:

- Potential for surface water to enter the laundry during heavy or wind-driven rainfall events
- Increased risk of moisture damage to internal floor finishes, wall linings, and door framing
- Ongoing exposure may contribute to mould growth and material deterioration
- Moisture ingress may occur intermittently and remain unnoticed until damage becomes established

Recommendations:

- The area should be monitored during rainfall to confirm whether water enters the laundry
- If water ingress is observed, drainage falls should be corrected to direct water away from the doorway
- Consider installation of a surface drain, threshold barrier, or regrading of the concrete path if required
- Any moisture affected internal finishes should be assessed if ingress is confirmed

In summary, while water ingress could not be confirmed at the time of inspection, the external ground and step configuration presents a potential future moisture risk to the laundry doorway and should be monitored and rectified if water entry is observed.



Noted Item

Building:	Main Building
Location:	Roof Exterior
Finding:	Evaporative Air Conditioning System and Ductwork
Information:	An evaporative air conditioning unit was observed installed at roof level, with associated ductwork located within the roof space. The system and ducting were visually inspected only where accessible. No obvious defects were identified at the time of inspection; however, the operational performance, internal condition of the unit, duct integrity, airflow balance, and overall efficiency could not be assessed as part of a standard building inspection.

Implications:

- The system may not be operating efficiently if routine servicing and maintenance have not been carried out.
- Ductwork located within the roof space may deteriorate over time due to heat, dust accumulation, or physical disturbance, potentially reducing airflow performance.
- Undetected issues such as internal corrosion, worn components, water supply faults, or air leaks may affect system reliability and cooling effectiveness.
- If the system is nearing the end of its service life, repair or replacement costs may be

incurred by the purchaser.

Recommendations:

- Engage a licensed HVAC technician or evaporative cooling specialist to carry out a full operational inspection and service of the system.
- Confirm the condition and integrity of ductwork, including connections, supports, and insulation.
- Verify the age of the unit, service history, and availability of replacement parts.
- Allow for ongoing maintenance as part of normal ownership to maintain system performance and longevity.

As evaporative air conditioning systems fall outside the scope of a standard visual building inspection, no warranty or assurance can be provided regarding the system’s operational performance, efficiency, or remaining service life.



Noted Item

Building: Main Building
Location: Roof Exterior
Finding: Roof Tiles – Evidence of Restoration

Information:

The roof tiles have been previously restored, as indicated by the consistent paint coating and sealed ridge capping observed across the roof surface. Restoration work of this type generally involves high-pressure cleaning, re-bedding or re-pointing of ridge caps, and the application of a protective coating or paint system.

While the restoration appears uniform, the condition and longevity of such coatings can vary depending on surface preparation, materials used, and the time elapsed since application. Routine maintenance and inspection are still essential to ensure the roof remains watertight and that no deterioration occurs beneath the restored surface.

Implications:

- The restoration coating may conceal minor defects or wear in underlying tiles.
- Future maintenance or repainting may be required as the surface coating weathers.
- Repointed ridge mortar may crack or deteriorate over time if not maintained.

Recommendations:

- Monitor the roof condition periodically for signs of coating breakdown, cracking, or re-emerging defects.
- Ensure roof drainage systems, including gutters and flashings, are kept clear to prevent water pooling.
- Consider obtaining details of the restoration date and materials used, if available, to inform future maintenance planning.

The roof restoration has improved the visual presentation of the roof and may extend its service life, provided ongoing maintenance and inspection are conducted to address wear as the coating ages.





Noted Item

Building:	Main Building
Location:	Subfloor
Finding:	Concrete Stumps – Remaining Subfloor Supports
Information:	During inspection of the remaining concrete stumps within the subfloor, these supports were observed to be in comparatively better condition than the previously noted deteriorated stumps. The concrete surfaces appear generally intact with no significant visible surface breakdown, aggregate exposure, or powdering at the ground interface. The stumps were also observed to be supported by timber bracing, which currently assists in maintaining alignment and load distribution.

While the visible condition of these stumps is notably improved relative to the deteriorated stumps, the presence of bracing indicates that these supports have likely required stabilisation due to past or ongoing structural movement or settlement. The bracing appears functional at the time of inspection but should be regarded as a temporary or supplementary support measure rather than a permanent structural solution.

Implications:

- These stumps are currently providing more reliable support than the deteriorated stumps
- The presence of bracing indicates past or potential movement within the subfloor structure
- Bracing is not a permanent substitute for compliant structural support
- There remains a risk of future movement if underlying footing or soil conditions change
- Structural performance is dependent on both stump integrity and ground stability

Recommendations:

- Engage a qualified structural contractor or engineer to assess the adequacy of stump condition and bracing arrangement
- Confirm whether the bracing is temporary or intended as a permanent support system
- Monitor for signs of movement including cracking, floor unevenness, or door misalignment
- Consider allowance for future underpinning or restumping works if movement or deterioration progresses

Although these remaining stumps are presently in better condition and appear well supported, the reliance on bracing indicates that the subfloor system has experienced structural concerns. Ongoing monitoring and professional assessment are recommended to ensure long-term structural stability and to manage the risk of future movement.



Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not a pest report. As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.