



# Building and Timber Pest Inspection Report

Inspection Date: Fri, 23 Jan 2026

Property Address: 20 Onslow St, Nerang QLD 4211, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Fri, 23 Jan 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 20 Onslow St, Nerang QLD 4211, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Tony Winders Ph: 0419 662 882  
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QBCC 1149244

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Company Name: Jim's Building Inspections Ashmore

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Company Contact Numbers: 0419 662 882

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>	✓	
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

## Section B General

### General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Slab - Monolithic or Slab on Ground, Suspended Timber Frame
Furnished	Furnished
No. of bedrooms	3
Occupied	Occupied
Orientation	North
Other Building Elements	Carport, Fence - Post and Rail Construction, Footpath, Driveway, Fence - Fabricated Metal Fence, Retaining Walls
Other Timber Bldg Elements	Architraves, Fascias, Deck, Door Frames, Skirting Boards, Stair Railing, Doors, Staircase
Roof	Pitched, Timber Framed, Super Six Corrugate
Storeys	Double
Walls	Brick Veneer, Hardi-plank, Timber Framed and Clad
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Fencing
- Exterior
- Interior
- Gardens
- Roof Exterior - Part
- Roof Void - Part
- The Site
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Areas of low roof pitch preventing full inspection.
- Exterior Roof Surface - Second Storey.
- Interior areas due to lack of access.
- Rooms where entry was denied to the inspector.
- Locked Rooms.
- Outside of the fencing.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

## Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Above safe working height
- Debris or rubbish
- Ceiling linings
- Fixed Furniture - Built-in Cabinetry
- External concrete or paving
- Floor coverings
- Furniture
- Insulation
- Stored items
- Overhanging vegetation
- Rugs
- Vegetation
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

## Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection

once access is provided or if the obstruction can be removed. Contact us for further advice.

### Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

#### Finding 1.01

Building: Main Building  
 Location: Balconies > Front  
 Finding: Balustrade - Deteriorated  
 Information: It was noted at the time of inspection that sections of the balustrade to the front balcony areas have deteriorated. Typically balustrading deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

If left unattended, it is likely that further damage will occur. It is suspected that repair of several elements of the balustrade may be required however replacement may be a consideration of the client also.

A licensed builder should be appointed to provide further advice and perform rectification works as necessary.



#### Finding 1.02

Building: Main Building  
 Location: Yard - Back > Centre Left  
 Finding: Exposed - Sharp Metal  
 Information: At the time of inspection it was noted there was exposed sharp box section metal protruding above the finished ground surface at the rear of the property.

It appears the box section metal may be from a previously removed fixtures or fittings.

A licensed carpenter or general handyman could be engaged to cut the metal below surface level and or fit protective cover plates.



### Finding 1.03

Building: Main Building  
 Location: Bathroom 2 > Front Left  
 Finding: Electrical switch exposed  
 Information: An exposed electrical switch was observed in the ground floor bathroom area. Exposed electrical switches in bathroom or wet areas represent a potential safety hazard including for personal contact.

A licensed electrician should be engaged as a matter of priority to confirm the electrical switch as compliant with electrical installation regulations.



## Finding 1.04

Building:	Main Building
Location:	Alfresco > Centre Left
Finding:	Balustrade - Deteriorated
Information:	It was noted at the time of inspection that sections of the balustrade to the alfresco area show signs of rudimentary repair or have deteriorated. Typically balustrading deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

A licensed carpenter could be appointed to perform rectification works as necessary.



## Finding 1.05

Building:	Main Building
Location:	External Areas > Existing
Finding:	Asbestos - Suspected ACM Identified on Site
Information:	At the time of inspection it was suspected that external area wall cladding, roof sheeting and eaves linings may be of asbestos containing materials.

Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building materials containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



Finding 1.06

Building: Main Building  
 Location: Internal Areas > Existing  
 Finding: Smoke Detectors and Alarms  
 Information: At the time of inspection it was noted there was no interconnected photoelectric smoke detectors installed in the hallways or any of the bedrooms.

Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report.

Please note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that the absence of smoke detectors, or their poor condition, should be addressed as a matter of urgency to improve occupant safety.

A qualified electrician should be engaged to install photoelectric smoke detectors and provide certification documentation to confirm smoke detector types, locations and compliance.



## Major Defect

### Finding 2.01

Building: Main Building

Location: Bathroom 2 > Rear

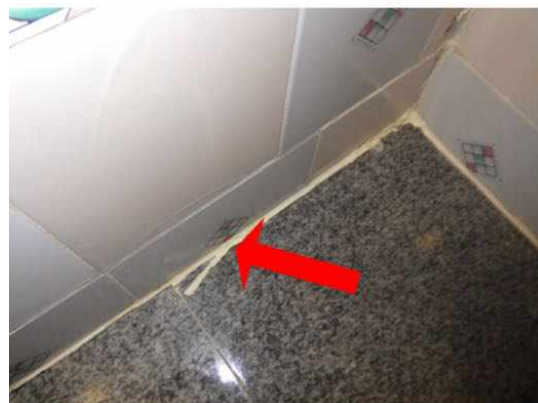
Finding: Shower - Leaking

Information: The ground floor bathroom shower area showed evidence of deterioration and registered elevated moisture level readings to the lower wall areas of the shower cubicle at the time of inspection, with the elevated moisture level readings transferring to the opposite side of the walls which would indicate the shower is leaking.

It is suspected that the leaking has occurred as a result of general ageing of the building elements and deterioration of sealants and grout.

Leaking from the shower area, where left unattended, is likely to lead to water damage to adjoining flooring and walls. Such damage can lead to water damage and necessitate extensive remedial works being required. Active water leaks may also create an environment that is susceptible to the formation and development of mould and /or timber termite activity.

Appointment of a licensed builder or shower area specialist will be required to repair or replace the shower area. Such works should be performed as soon as possible to ensure that no further damage occurs.





## Finding 2.02

Building: Main Building  
 Location: Laundry > Front  
 Finding: Ceiling - Water damaged  
 Information: At the time of inspection there was water staining and mould growth to the upper level laundry area ceiling linings.

Water damage to the ceiling lining is generally an indication of excessive moisture being present in the roof void, usually via a leak to the roof covering.

Where water damage is evident to the ceiling, the primary requirement is to identify and rectify the source of the leak. A roofing plumber should be appointed as soon as

possible to identify the leak and perform rectification works as necessary, ensuring the water damage is restricted.

Once the leak is repaired, consultation with relevant tradespeople, including plasterers and painters, is advised. Rectification works may include replacement of ceiling lining or minor repainting, depending on the extent of the damage.



## Minor Defect

### Finding 3.01

Building: Main Building  
 Location: Driveway > Ground Level  
 Finding: Cracking in concrete slab - Category 1  
 Information: Cracking coded as Category 1 was identified in the driveway and footpaths concrete slabs (as per example photos). A Category 1 crack is described as a fine but noticeable crack, with the slab at an otherwise reasonable level.

To be considered Category 1, the approximate width of the crack is less than 1.0mm, or a less than 10mm change in offset when a 3m straight edge is placed over the defect.

Category 1 cracks should be monitored for a period of 12 months. At the end of the monitoring period, identified cracks that are rated greater than Category 2 are considered defects, and require rectification.





**Finding 3.02**

Building: Main Building  
 Location: Exterior walls - front > Centre  
 Finding: Weatherboard Damaged  
 Information: There was areas of damaged or missing hardiplank weatherboard cladding to external walls at the time of inspection.

A qualified carpenter or general handyman could be engaged to undertake repair work.



**Finding 3.03**

Building: Main Building  
 Location: Exterior walls - front > Front Left, Centre  
 Finding: Render Damaged  
 Information: At the time of inspection it was noted that there was chipped and broken render areas to the brick walls at the front of the property.

The chipped or broken render appears consistent with impact damage and/or exposure to moisture.

A qualified solid plasterer should be engaged to undertake repair work as required.



### Finding 3.04

Building: Main Building  
 Location: Exterior walls - left side > Centre Left  
 Finding: Wood Rot  
 Information: At the time of inspection an area of the MDF timber facing board to the exterior wall cladding showed signs significant deterioration or wood rot. The wood rot /damage appears to be caused from excessive moisture and/or unsuitable building materials.

The client could engage a qualified carpenter or general handyman to undertake repair work.



### Finding 3.05

Building: Main Building

Location: Eaves > Rear Left

Finding: Eaves - Damaged

Information: At the time of inspection the eaves around the exterior property were found to have suffered deterioration, damage and/or have been affected by surface mould in a number of areas (as per example photos). The damage may have been sustained as a result of a number of possible causes, including poor roof drainage, leaking roof plumbing or minor impact damage.

The damage and surface mould to the eave sheathing in these areas detracts from the appearance of the structure.

Where eaves show moderate to severe damage, remedial works may be required. Where water damage is suspected as being the underlying cause, appointment of a licensed plumber is advised as a matter of urgency to identify the source of the water leak.



### Finding 3.06

Building: Main Building  
 Location: Yard > Existing  
 Finding: Fencing - Deteriorated  
 Information: It was noted at the time of inspection that sections of the fencing and gates to the front left and right side of the property have deteriorated (as per example photos). Typically fencing deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

If left unattended, it is likely that further damage will occur. It is suspected that repair of several elements of the fencing may be required however replacement may be a

consideration of the client also.

A licensed fencing contractor should be appointed to provide further advice and perform rectification works as necessary.



### Finding 3.07

Building:	Main Building
Location:	Yard - Back > Centre
Finding:	Retaining wall - Deteriorated
Information:	The rendered brick retaining wall to the rear of the property showed evidence of cracking and movement at the time of inspection. The level of cracking is considered category 2 - 3 which will require repair.

Deteriorated retaining walls may be a result of substandard construction, poor site drainage or unmanaged stormwater flows.

A licensed brick layer or brick retaining wall installer could be appointed to repair or replace the wall, at the discretion of the client.



### Finding 3.08

Building:	Main Building
Location:	Utilities Room 1 > Front
Finding:	Door - Stiff to slide
Information:	The aluminium sliding door and security screen door to the ground floor utilities room 1 area were stiff to open and difficult to operate at the time of the inspection. Doors provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the door may also pose as a potential safety hazard if required for emergency egress from the building.

Generally, factors such as general age of the building element and a lack of maintenance are the usual causes for this type of defect.

An aluminium sliding door service agent will be required to repair the affected doors.



### Finding 3.09

Building:	Main Building
Location:	Kitchenette > Existing
Finding:	Cabinetry - Deterioration
Information:	At the time of inspection the kitchenette cabinetry showed signs of deterioration. The level of damage appears consistent with exposure to moisture or general wear and

tear.

A qualified cabinet maker or general handyman could be engaged to undertake repair works at the clients discretion.



**Finding 3.10**

Building: Main Building  
 Location: Kitchenette > Rear  
 Finding: Kitchen Bench -Sealant  
 Information: It was noted on inspection that sealant is deteriorated or missing from the kitchen bench / tiled splash back intersection. It is important this area is sealed to prevent

moisture or liquids penetrating the generally unsealed edges. Sealant also prevents vermin from accessing and or nesting in these areas.

A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

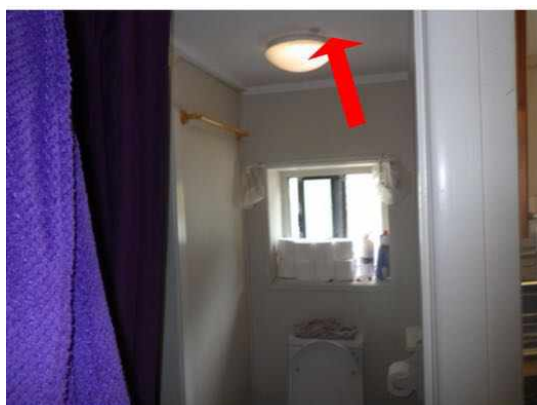
A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible.



### Finding 3.11

Building:	Main Building
Location:	Toilet (WC) > Centre
Finding:	Internal ceiling - Hole
Information:	A hole was identified in the ground floor WC area ceiling. It is suspected that the hole is from a previously removed fixture or fitting.

All excessive holes, gaps or cracks should be adequately filled by a suitable sealant or trimmings as soon as possible to prevent any further damage. Such works may be conducted by a general handyperson or licensed painter.



### Finding 3.12

Building: Main Building  
 Location: Laundry > Rear Right  
 Finding: Tile - Cracked  
 Information: Cracked tiles to the ground floor laundry area were identified at the time of inspection. Such defects are generally caused by impact. Cracked or broken tiled areas may also be a direct result of poor workmanship during the construction process.

A tiling contractor could be appointed to perform repair works at the clients discretion.



### Finding 3.13

Building: Main Building  
 Location: Laundry > Rear Right  
 Finding: Damaged Door  
 Information: The ground floor laundry external door has suffered damage to the front edge.

Damage occurs generally when the building materials have aged and decayed, but may be indicative of impact damage.

A qualified carpenter or general handyman could be appointed to repair/replace the door at the clients discretion.



**Finding 3.14**

Building: Main Building  
Location: Laundry > Rear Right  
Finding: Architraves Damaged  
Information: At the time of inspection the exterior door frame and timber architraves in the ground floor laundry showed signs of damage or deterioration. The deterioration appears consistent with moisture exposure.

A qualified carpenter or general handyman could be engaged to repair or replace the timber architraves as required.



### Finding 3.15

Building: Main Building  
 Location: Laundry > Centre,Rear  
 Finding: Sealant - Deteriorated  
 Information: It was noted on inspection that sealant has deteriorated to the ground floor laundry tub /tiled wall intersection. Sealant is used to protect gaps and crevices in building materials to ensure that they are water-tight and prevent water penetration to the associated structure

A sealant specialist or general handyman should be appointed to complete repair work.



### Finding 3.16

Building: Main Building  
 Location: Laundry > Centre  
 Finding: Vent Cover  
 Information: At the time of inspection it was noted the ceiling space ventilation panel in the ground floor laundry area was hanging loosely.

A general handyman could be engaged to replace the damaged vent cover.

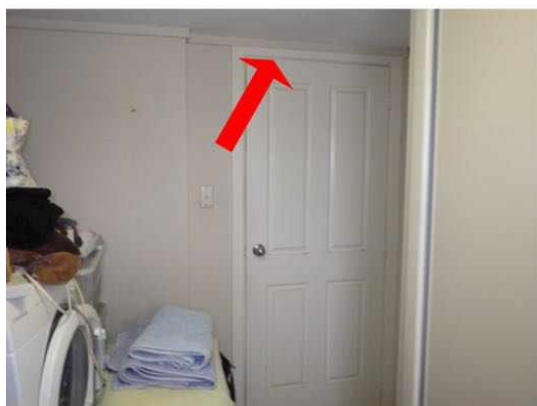


### Finding 3.17

Building: Main Building  
 Location: Utilities Room 2 > Front  
 Finding: Door - Binding/Jamming  
 Information: Binding and/or jamming of the utilities room 2 door on the door frame was evident during standard operation. This defect inhibits the functionality of affected door as well as creating potential for secondary defects to associated building elements, such as damage to the door framing.

A door that binds to the associated door frame or sill may have several causes, such as poor installation of the door or deteriorated hinges.

A qualified carpenter or general handyperson could be appointed to perform minor rectification works at client discretion.



### Finding 3.18

Building: Main Building  
 Location: Utilities Room 2 > Front Left  
 Finding: Timber Trim - Missing  
 Information: At the time of inspection it was observed there was a section of timber trim missing from the internal wall/ ceiling linings internal corner in utilities room 2. It is important these gaps or areas are sealed with an appropriate trim to prevent pest and/or vermin activity or nesting.

A qualified carpenter or general handyman could be engaged to replace any missing timber trims.



### Finding 3.19

Building: Main Building  
 Location: Entry > Front  
 Finding: Door - Closer  
 Information: The door closer to the entry area security door was found to be detached and/or broken at the time of inspection. Breakage occurs generally when the building materials have aged and decayed, but may be indicative of impact damage (accidental or deliberate).

A general handyman could be appointed to repair or replace the door closer at the client's discretion.



### Finding 3.20

Building: Main Building  
 Location: Entry > Centre Right  
 Finding: Cracking - Ceiling  
 Information: There is cracking to an area of the entry area ceiling and wall lining.

The cracking appears minor in nature and is generally only ever an appearance defect. While such cracking may be noticeable in some cases, it is quite common and does not indicate any structural damage.

Cracking of this nature can generally be repaired with minor sanding, filling and/or repainting. Such works should be performed by a qualified painter or a general handyman.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.



### Finding 3.21

Building:	Main Building
Location:	Entry > Rear Right
Finding:	Door handle - Missing
Information:	It was noted that the door handle to the entry area internal door was missing at the time of inspection. Whilst detracting from the functionality of this building element, this minor defect may also be a security risk.

A qualified carpenter or general handyperson may be appointed to perform rectification works as necessary, at client discretion.



### Finding 3.22

Building: Main Building  
 Location: Entry > Rear Left  
 Finding: Ceiling - Water stained  
 Information: Water staining to ceiling linings in the entry area was evident at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by interior ceilings.

Where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion.



### Finding 3.23

Building: Main Building  
 Location: Lounge Room > Existing  
 Finding: Wear and Tear  
 Information: At the time of inspection the upper level lounge room interior showed signs of minor cracking and/or scuffing to floors, walls, ceilings and cornices.

The level of damage appears consistent with general deterioration and/or wear and tear.



**Finding 3.24**

Building: Main Building  
Location: Dining Room > Existing  
Finding: Wear and Tear  
Information: At the time of inspection the upper level dining area interior showed signs of minor cracking and/or scuffing to floors, walls, ceilings and cornices.

The level of damage appears consistent with general deterioration and/or wear and tear.



**Finding 3.25**

Building: Main Building

Location: Kitchen > Existing

Finding: Wear and Tear

Information: At the time of inspection the kitchen area and cabinetry showed signs of minor deterioration. The level of damage appears consistent with exposure to moisture or general wear and tear.

A qualified cabinet maker or general handyman could be engaged to undertake repair works at the clients discretion.





**Finding 3.26**

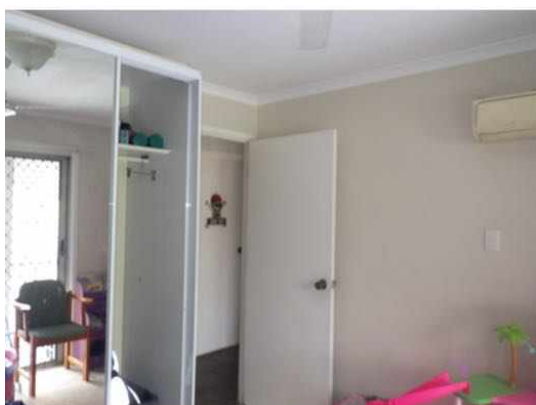
Building: Main Building  
Location: Hallway > Existing  
Finding: Wear and Tear  
Information: At the time of inspection the upper level hallway interior showed signs of minor cracking and/or scuffing to floors, walls, ceilings and cornices.  
  
The level of damage appears consistent with general deterioration and/or wear and tear.



**Finding 3.27**

Building: Main Building  
 Location: Bedroom 1 > Existing  
 Finding: Wear and Tear  
 Information: At the time of inspection the bedroom 1 interior showed signs of minor cracking and/or scuffing to floors, walls, ceilings and cornices.

The level of damage appears consistent with general deterioration and/or wear and tear.

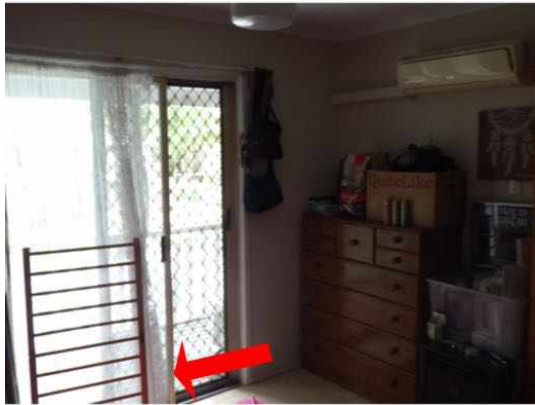


### Finding 3.28

Building: Main Building  
 Location: Bedroom 2 > Rear  
 Finding: Door - Stiff to slide  
 Information: The aluminium sliding door in bedroom 2 was stiff to open and difficult to operate at the time of the inspection. Doors provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the door may also pose as a potential safety hazard if required for emergency egress from the building.

Generally, factors such as general age of the building element and a lack of maintenance are the usual causes for this type of defect.

An aluminium sliding door service agent will be required to repair the affected door.



### Finding 3.29

Building: Main Building

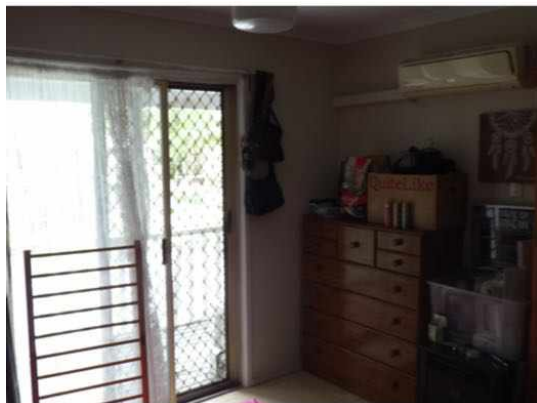
Location: Bedroom 2 > Existing

Finding: Wear and Tear

Information: At the time of inspection the bedroom 2 interior showed signs of minor cracking and/or scuffing to floors, walls, ceilings and cornices.

The level of damage appears consistent with general deterioration and/or wear and tear.





### Finding 3.30

Building:	Main Building
Location:	Toilet (WC) > Front
Finding:	Door - Binding/Jamming
Information:	Binding and/or jamming of the WC door on the door frame was evident during standard operation. This defect inhibits the functionality of affected door as well as creating potential for secondary defects to associated building elements, such as damage to the door framing.

A door that binds to the associated door frame or sill may have several causes, such as poor installation of the door or deteriorated hinges.

A qualified carpenter or general handyperson could be appointed to perform minor rectification works at client discretion.



### Finding 3.31

Building:	Main Building
Location:	Toilet (WC) > Existing
Finding:	Wear and Tear
Information:	At the time of inspection the upper level WC interior showed signs of minor cracking and/or scuffing to floors and walls.

The level of damage appears consistent with general deterioration and/or wear and tear.



### Finding 3.32

Building: Main Building

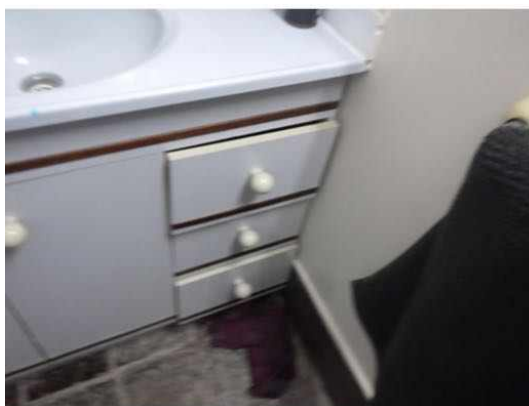
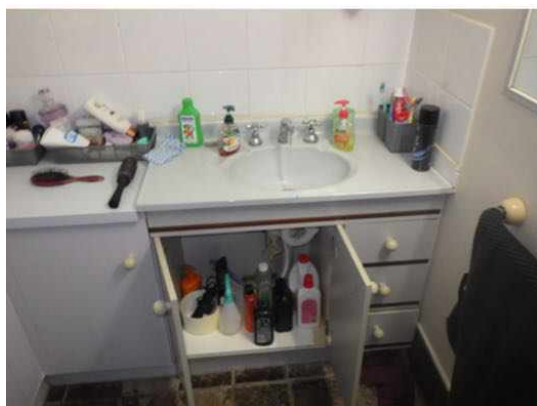
Location: Bathroom > Existing

Finding: Wear and Tear

Information: At the time of inspection the bathroom interior and cabinetry showed signs of minor deterioration. The level of damage appears consistent with exposure to moisture or general wear and tear.

A qualified cabinet maker or general handyman could be engaged to undertake repair works at the clients discretion.





### Finding 3.33

Building: Main Building  
 Location: Bathroom > Centre  
 Finding: Shower - Drain Grate  
 Information: The bathroom shower drain grate was missing at the time of inspection. Shower drain grates serve the purpose of preventing debris from entering and blocking the drainage system. It is advised that maintenance is carried out on the waste so as it functions as intended.

A handyman could be appointed to perform any remedial works where required.



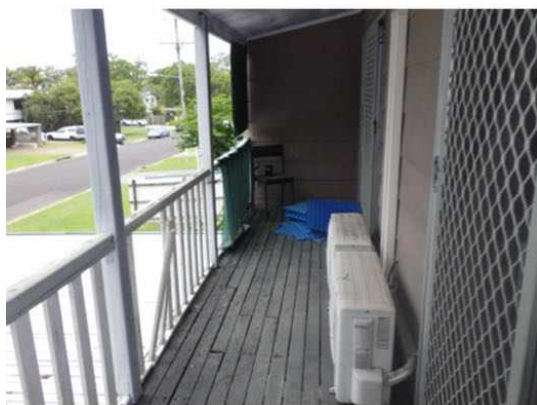
### Finding 3.34

Building: Main Building  
 Location: Balcony > Existing  
 Finding: Timber - exposed to weather  
 Information: At the time of inspection the upper level balcony areas showed signs of weathering and/or deterioration.

External decking timbers that are frequently exposed to harsh weather conditions require regular maintenance and adequate protection in order to maintain their condition. Where timbers have not been painted or treated adequately, general

deterioration is likely to occur at an accelerated rate.

Adequate treatment or painting of the balcony area decking timbers and balustrade is required by a qualified painting contractor.



## Live Timber Pest Activity

No evidence was found

## Timber Pest Damage

No evidence was found

## Conditions Conducive to Timber Pest Activity

### Finding 6.01

Building:	Main Building
Location:	Exterior walls > Existing
Finding:	Termite Management System - no evidence of a chemical installation
Information:	At the time of inspection, it appeared as though no termite management system has been installed on the property, with no evidence to suggest preventative works or

regular inspections taking place.

The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit or the under sink cabinetry to indicate current termite barriers.

The client should consider gaining further advice from a licensed timber termite pest technician as to the costs and procedures involved with this application. It is highly recommended that obtaining such advice be a short-term priority.





### Finding 6.02

Building:	Main Building
Location:	Exterior walls - front > Front Left
Finding:	Stormwater pipe - Damaged
Information:	The down pipe to the front left side exterior wall of the building has suffered damage and has detached from the exterior wall and/or roof gutter.

Where roof plumbing doesn't drain adequately, the area at the base perimeter can become excessively damp, potentially creating an environment that is susceptible to rust and corrosion of surrounding building elements, as well as attracting termites and other pests.

It is recommended that a licensed plumber be appointed to repair the down pipe as necessary.



**Finding 6.03**

Building: Main Building  
Location: Exterior walls > Existing  
Finding: Stored Items  
Information: At the time of inspection there was stored items against the external walls in all areas of the property (as per example photos).

These stored items severely limit full inspection of the area and are likely to conceal timber termite pest and or vermin activity.

It is highly recommended the items are removed to allow for complete inspection of the area.





Finding 6.04

Building:	Main Building
Location:	Exterior walls - rear > Rear Left
Finding:	Stormwater downpipes
Information:	The down pipes to the roof area at the rear of the property are not connected to the stormwater drainage on the site. This disconnection negatively impacts the functional capacity of the downpipes and the surrounding ground area.

Where roof plumbing doesn't drain as required, the area at the base perimeter can become excessively damp, potentially creating an environment that is susceptible to flooding and rust or corrosion of surrounding building elements, as well as attracting termites and other pests.

It is recommended that a licensed plumber be appointed to further inspect and to extend the down pipes to the properties stormwater line as necessary.



### Finding 6.05

Building:	Main Building
Location:	Exterior walls - rear > Centre Left
Finding:	Overflow - Not plumbed for drainage
Information:	The hot water system overflow is not plumbed or connected to suitable drainage, which can result in the surrounding area becoming excessively damp. These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated

building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a qualified plumber be appointed to install adequate drainage to the overflow. These works will ensure that the area remains dry and free of any secondary defects.



### Finding 6.06

Building:	Main Building
Location:	Yard > Ground Level
Finding:	Stormwater Line Blocked
Information:	The stormwater lines to the left and right sides of the building appeared to be blocked at the time of inspection.

Where water doesn't drain adequately, the area can become excessively damp, potentially creating an environment that is susceptible to rust and corrosion of surrounding building elements, as well as attracting termites and other pests.

It is recommended that a plumber be appointed to further inspect and to undertake repair work on the stormwater line as necessary.





**Finding 6.07**

Building: Main Building  
Location: Roof Exterior > Rear Left  
Finding: Vegetation  
Information: At the time of inspection there was vegetation growing over external roof areas at the rear of the property.

The vegetation over growing roof areas should be trimmed back clear of the external surfaces.

The grass and other vegetation heights should be maintained around the perimeter of the building to allow for an inspection zone around the building exterior.





## Evidence of fungal decay activity and/or damage

### Finding 7.01

Building: Main Building

Location: Eaves > Existing

Finding: Fascias - Wood rot

Information: At the time of inspection wood rot was found to be affecting fascias and barges, evidenced by the presence of mould on the surface in some areas (as per example photos). Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

Frequent exposure to rain and other weather conditions make fascias and barges susceptible to accelerated deterioration.

Early intervention and regular maintenance will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner.

A qualified carpenter or registered builder will be required to replace affected fascia's.





### Finding 7.02

Building:	Main Building
Location:	Balcony > Front Left
Finding:	Wood rot
Information:	The timber bearer, support post and decking on the front left balcony shows evidence of wood rot. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials.

A registered builder or qualified carpenter will be required to replace the affected building materials.



**Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Asbestos Inspector
- Damp Proofing Specialist
- Licensed Plumber
- Registered/Licensed Builder
- Licensed Electrician
- Licensed Plumber specialising in Roof Plumbing
- Termite and Timber Pest Technician / Licensed Pest Controller
- Tree surgeon (arborist)

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- The building compared to others of a similar age and construction appears to be in fair condition.

It does however have some safety concerns and some major and minor maintenance issues that will require attention. Left unmanaged some of these defects may become costly in the future and develop into more major defects over time.

At the time of inspection there was no timber termite activity found on the site or in the dwelling. No evidence of a previously installed physical or chemical termite barrier was noted, and no evidence of recent annual or regular inspections found.

A timber termite chemical treatment along with annual inspections of the property is highly recommended.

For further information, advice and clarification please contact Tony Winders on: 0419 662 882

## Section D Significant Items

### The following items were noted as - For your information

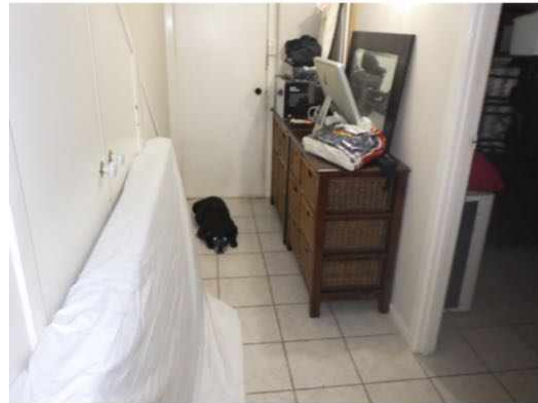
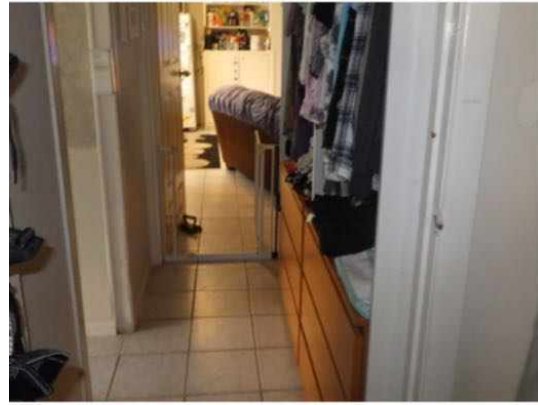
#### Noted Item

Building: Main Building  
 Location: Utilities Room 1 > Existing  
 Finding: Obstructions and Limitations Internal Areas  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the ground floor utilities room 1 area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



#### Noted Item

Building: Main Building  
 Location: Hallway 2  
 Finding: No obvious defect  
 Information: No obvious defects found at the time of inspection.



### Noted Item

Building: Main Building  
 Location: Utilities Room 2 > Existing  
 Finding: Obstructions and Limitations Internal Areas  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the ground floor utilities room 2 internal area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





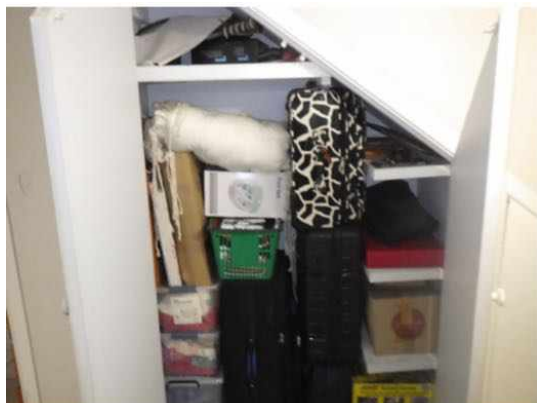
**Noted Item**

Building: Main Building  
Location: Utilities Room 3 > Existing  
Finding: Obstructions and Limitations Internal Areas  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the ground floor utilities room 3 internal areas at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



**Noted Item**

Building: Main Building  
 Location: Under Stair Void or Storeroom > Existing  
 Finding: Obstructions and Limitations Internal Areas  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the ground floor under stair storage areas at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



### Noted Item

Building: Main Building  
 Location: Entry > Existing  
 Finding: Obstructions and Limitations Internal Areas  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the entry internal area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



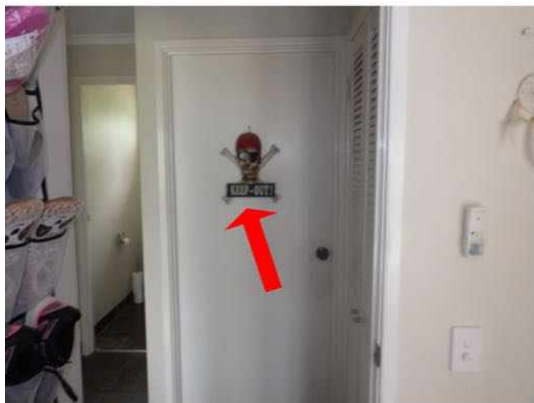
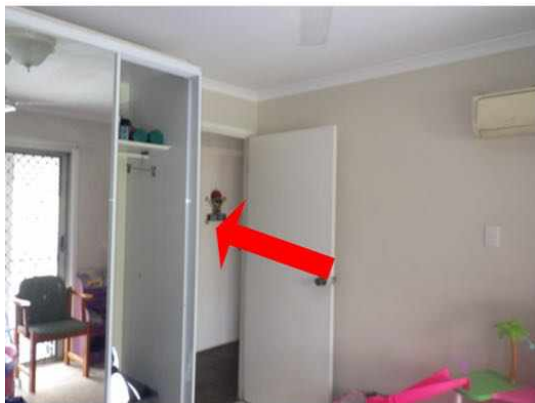
### Noted Item

Building: Main Building  
Location: Stairs - Internal  
Finding: No obvious defect  
Information: No obvious defects found at the time of inspection.



### Noted Item

Building: Main Building  
Location: Bedroom 3 > Existing  
Finding: No Access  
Information: At the time of inspection access was denied to the bedroom 3 interior, due to a sleeping shift worker.  
  
No inspection of the bedroom 3 internal area was undertaken.



### Noted Item

Building: Main Building  
Location: Laundry > Existing  
Finding: Obstructions and Limitations Internal Areas  
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the upper level internal areas at the time of inspection.

These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



### Noted Item

Building: Main Building  
 Location: Alfresco > Existing  
 Finding: Obstructions and Limitations External Areas  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the alfresco area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





**Noted Item**

Building: Main Building  
 Location: Balcony > Existing  
 Finding: Obstructions and Limitations External Areas  
 Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the external balcony area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



**Noted Item**

Building: Main Building  
Location: Roof Exterior > Existing  
Finding: Roof Photos  
Information: Roof area photos were taken with the DJI Mini 3 Drone flown over the roof at the time of inspection.





**Noted Item**

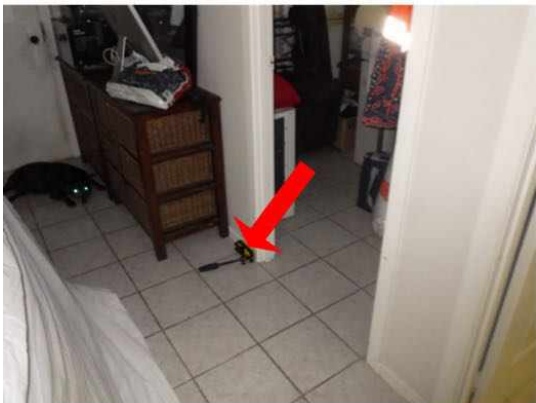
Building: Main Building  
Location: Attic > Existing  
Finding: Additional Photos  
Information: Additional photos are provided for your general reference





**Noted Item**

Building: Main Building  
Location: Internal Areas  
Finding: Termitracker  
Information: The termitracker itracker was positioned randomly to internal wall, timber skirting and window frame areas checking for signs of termite activity.  
  
No activity was recorded at the time of inspection.





**Noted Item**

Building: Main Building  
 Location: External Areas > Existing  
 Finding: Building Compliance  
 Information: At the time of inspection it was noted there has been building extension works and/or renovation/alteration works to the dwelling.

It is highly recommended that the seller provides the relevant approval information, or a search of the Local Council and QBCC records be made to determine what approvals have been granted for the extension, alterations and/or renovation works to the property.

Note - Information of any alterations or extensions may be noted on the (Form 2) seller disclosure statement as part of the contract of sale.



## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.