



Building and Timber Pest Inspection Report

Inspection Date: Fri, 23 Jan 2026

Property Address: 13 Marsanne Place Eschol Park NSW 2558



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Fri, 23 Jan 2026

Modified Date: Sat, 24 Jan 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 13 Marsanne Place Eschol Park NSW 2558

Client's Email Address:

Client's Phone Number:

Consultant: David Piva Ph: 0466 136 675
Email: David.piva@jimsbuildinginspections.com.au

2743C

Company Name: Jim's Building Inspections (Canada Bay)

Company Address and Postcode: Horsley Park 2175

Company Email: David.piva@jimsbuildinginspections.com.au

Company Contact Numbers: 0466 136 675

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Important Pre-Report Requirements

- The Pre-Inspection Agreement outlining the scope, limitations, and exclusions must be read and agreed to prior to reviewing the report.
- This report is valid only on the date of inspection. Any defects or issues arising afterward are not covered.
- The report is for the exclusive use of the named client. Third parties relying on this report do so entirely at their own risk.

Timber Pest Risk & Recommendations

- Further investigation of all high-risk or inaccessible areas is strongly recommended.
- Consider implementing a termite management program in accordance with AS 3660, which may include:
 - Monitoring and baiting systems
 - Chemical and/or physical barriers
 - Regular termite inspections should be conducted at intervals not exceeding 12 months, or more frequently in high-risk areas.

Access Limitations

- Another manhole in the ceiling is recommended to enable complete access to the roof void.

General Risk Warning

- Due to:
 - Lack of a chemical termite management system,
 - Low clearance or restricted access to parts of the roof void,
 - And the number of limitations and obstructions listed,
 - There is a higher risk of undetected defects.
- A further invasive inspection is highly recommended once access is gained.

Termite Protection

- A post-construction chemical termite management system is highly recommended.
- Consult a qualified termite specialist for installation options, costs, and advice.
- Recommend obtaining records and maintenance history from the previous owner.

Safety & Compliance

- Where Major defects and safety hazards are found should be addressed immediately.
- Other defects should be rectified promptly to avoid escalation.
- It is highly recommended that:
 - A licensed electrician reviews all electrical components.
 - A licensed plumber reviews plumbing systems and provides maintenance guidance.
- These reviews help ensure safe usage and longevity of essential systems and protect your investment.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage		✓
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. A termite treatment is recommended.

Section B General

General description of the property

Building Type	Residential, Detached
Company or Strata title	No
Floor	Slab on ground
Furnished	Unfurnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	North West
Other Building Elements	Driveway, Fence - Fabricated Metal Fence, Garage, Pergola, Pool, Retaining Walls, Shed
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Internal Joinery, Skirting Boards
Roof	Pitched, Tiled
Storeys	Single
Walls	Brick Veneer
Weather	Overcast

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Interior
- Landscaping Timbers
- Roof Exterior - Part
- Roof Void - Part
- Wall Exterior
- Timber Retaining Walls

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Roof Exterior - Part
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.
- Timber retaining walls due to obstructions.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Areas of low roof pitch preventing full inspection
- Ceiling linings
- Duct work
- External finished ground level
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Lack of suitable access or entry point
- No power or light globes on site
- Insulation
- Roof framing - not trafficable
- Solar Panels
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Finding 2.01

Building: Main Building
Location: Pergola
Finding: Major Defect – Pergola Structure (Corrosion to Lower Posts and Fixings)
Information:

Observation:

The lower sections of the metal posts supporting the pergola exhibit advanced rusting and corrosion, most pronounced at the base plates and anchorage points. This deterioration is consistent with prolonged exposure to moisture and/or the absence or failure of appropriate protective coatings. The extent of corrosion suggests that the post bases and fixings have been compromised and may no longer be providing adequate structural support or restraint.

Implication:

Corrosion at the post bases significantly reduces the structural capacity of the pergola, particularly its resistance to uplift and lateral loads. As a result, there is an increased risk of movement of the posts under minor impact or wind loading. In adverse weather conditions, this defect may lead to progressive instability and presents a risk of partial or total collapse of the pergola roof structure. This condition constitutes a major defect due to the potential safety hazard to occupants and visitors and the likelihood of further deterioration if left unaddressed.

Recommendation:

It is strongly recommended that a registered builder or suitably qualified structural contractor be engaged as a matter of priority to assess the pergola structure. Remedial works are likely to include repair or replacement of the affected posts, base plates, and anchorage systems, together with appropriate corrosion protection measures. All works should be carried out in accordance with current building standards and manufacturer specifications to restore structural stability and reduce the risk of uplift or collapse.



Finding 2.02

Building:	Main Building
Location:	Garage
Finding:	Ceiling lining - Localised Ceiling Sagging (Garage Area).
Information:	During the inspection, the ceiling lining were found to be uneven and sagging, detachment was noted particularly near the garage doorway and sections at the rear. This type of defect is commonly observed in garage areas and is typically attributed to general wear over time.

Contributing factors may include:

- Age-related deterioration of ceiling fixings (e.g. nails, screws, or adhesive/glue)
- Moisture exposure or humidity-related expansion, often exacerbated by incorrect or low-grade paint coatings that fail to protect the ceiling surface adequately

While the defect is currently considered minor and does not appear to compromise the structural integrity of the ceiling, it may worsen over time if left untreated. Early signs such as minor sagging may eventually lead to partial detachment of ceiling sheets or visible cracking along joints or edges.

Recommendation:

Repairs may involve re-gluing and re-fixing the ceiling sheets to the joists, a task

generally undertaken by qualified plasterers or general interior trades. In some cases, repainting with moisture-resistant coatings may also be appropriate, particularly in garages where humidity levels can fluctuate.

It is recommended that buyers allow for maintenance or minor repair costs in the medium to long term and engage a relevant trade professional to assess and carry out works as needed. Timely intervention will help prevent further deterioration and maintain the visual and functional condition of the ceiling.





Minor Defect

Finding 3.01

Building: Main Building
 Location: Roof Exterior
 Finding: Roof Flashing - Defect & Recommendation (cracked).
 Information: Observation:

Cracking and displacement was observed in sections of the roof flashings. These materials, typically composed of metal, lead, or similar weather-resistant components,

are critical for sealing junctions between the roof covering and adjoining building elements.

Function of Flashings:

Roof flashings are designed to prevent water ingress by directing water away from vulnerable joins, such as those around chimneys, skylights, valleys, and wall-roof intersections. When functioning correctly, they are an essential component of the roof's overall waterproofing system.

Implications:

Damaged or deteriorated flashings significantly increase the risk of water penetration into the internal structure of the property. Over time, this can result in:

- Internal water damage (e.g., ceiling stains, plaster deterioration)
- Timber rot and structural degradation
- Premature ageing of surrounding roofing materials
- Development of secondary defects due to persistent moisture exposure

Recommendation:

It is recommended that a licensed roofing plumber or qualified carpenter be engaged as soon as possible to assess and repair the affected flashings. Prompt remediation will help prevent further water damage and ensure the roof plumbing system remains functional and weatherproof.





Finding 3.02

Building: Main Building
 Location: Roof Exterior
 Finding: Roof Tile Inspection Summary
 Information: 1. Access & Limitations

Observation:

The roof was assessed as being generally accessible; however, inspection was limited to visible and safely reachable roof sections only. Access was restricted in some areas by the presence of a rear pergola. The inspection was carried out from the ground and from accessible roof areas using a ladder and appropriate safety precautions.

Implication:

Areas concealed or obstructed by the pergola and other limitations may contain defects that were not visible at the time of inspection.

Recommendation:

No action required at this stage. Allow for the possibility that concealed defects may exist and consider further inspection if access is improved in the future.

□

2. Roof Covering Type

Observation:

The roof covering comprises concrete tiles, confirmed by visual inspection.

Implication:

Concrete tiles are durable but require periodic maintenance as they weather with age.

Recommendation:

Ongoing maintenance should be anticipated consistent with the age and condition of the roof.

□

3. General Condition of Roof Covering

Observation:

The roof tiles were generally in sound condition. Tiles appeared well seated overall; however, evidence of prior silicone repairs to cracked or dislodged tiles was noted. The tiles show general weathering consistent with age and exposure.

Implication:

Previous repairs suggest past minor issues. Weathered tiles may become more susceptible to cracking or water ingress over time if not maintained.

Recommendation:

Monitor repaired areas and undertake replacement of damaged tiles as required to maintain weatherproofing.

□

4. Tile Fixing & Alignment

Observation:

Tile alignment was generally uniform across the roof. Minor movement was noted to some tiles at the rear sections.

Implication:

Tile movement may allow wind-driven rain or debris ingress if it worsens.

Recommendation:

Secure any loose or mobile tiles as part of routine roof maintenance.

□

5. Ridge & Hip Cappings

Observation:

Ridge and hip cappings were generally intact, with bedding and pointing appearing sound overall. Minor cracking and deterioration were noted to the bedding/pointing at the front right corner.

Implication:

Localised deterioration may allow moisture entry if left unmanaged.

Recommendation:

Re-pointing is recommended as a non-urgent maintenance item to maintain long-term weather resistance.

□

6. Flashings & Penetrations

Observation:

Flashings around visible roof penetrations (vents, flues, etc.) appeared serviceable at the time of inspection. Flashings to both Dutch gables were observed to require maintenance and minor repairs.

Implication:

Deteriorated or poorly sealed flashings are a common source of water ingress.

Recommendation:

Maintenance and resealing of affected flashings should be carried out by a licensed roofing contractor.

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7. Valleys & Drainage Channels

Observation:

Valley irons and drainage channels were clear and unobstructed and appeared functional at the time of inspection.

Implication:

Blocked valleys can result in water overflow and internal leaks.

Recommendation:

Regular cleaning and maintenance are recommended to prevent debris build-up.

□

8. Moisture & Water Entry

Observation:

No visible signs of active roof leaks were identified at the time of inspection.

Implication:

Roof performance can vary depending on weather conditions, particularly during heavy or wind-driven rainfall.

Recommendation:

Monitor the roof during periods of heavy rain and investigate promptly if signs of leakage occur.

□

9. Roof Sarking / Underlay

Observation:

Roof sarking was not installed. This is understood to be typical of the construction period.

Implication:

The absence of sarking reduces protection against wind-driven rain, dust ingress, and

condensation.

Recommendation:

No immediate action required; however, this should be considered in future roof upgrades or replacement works.

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Guttering & Downpipes (Viewed in Association)

Observation:

Guttering appeared functional and generally free from obstruction at the time of inspection.

Implication:

Blocked or poorly maintained gutters can contribute to water backup beneath roof tiles.

Recommendation:

Maintain regular cleaning and servicing of gutters and downpipes.

□

Pergola (Associated Observation)

Observation:

A loose brick was observed placed on the metal pergola roof, positioned over a capping section.

Implication:

This may indicate an unsecured or loose section of the pergola roof and presents a potential safety and water ingress risk.

Recommendation:

Further investigation is recommended, with repairs carried out as necessary to properly secure the pergola roofing.

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Overall Roof Condition

Observation:

The roof and associated components were assessed as being in generally satisfactory condition for their age.

Implication:

While no major defects were identified, minor maintenance is required to preserve waterproofing and extend service life.

Recommendation:

Attend to noted maintenance items and engage a licensed roofing contractor where required.

□

Inspector's Comments

At the time of inspection, the tiled roof covering was generally sound, with no evidence of active leaks observed. Minor maintenance is recommended to flashings, ridge pointing, and select roof tiles to ensure continued weather resistance. Access limitations due to the pergola restricted inspection to safely accessible areas only. Regular roof and gutter maintenance is advised to maximise the remaining service life of the roof system.







Finding 3.03

Building: Yard
 Location: Pool Area
 Finding: Minor Defect – Masonry Retaining Wall.
 Information:

Observation:

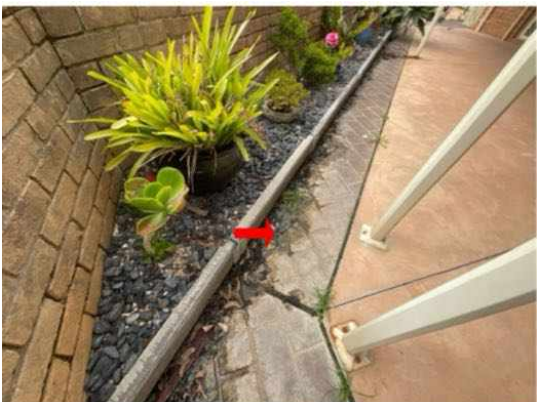
At the time of inspection, movement and step cracking were observed to sections of the masonry retaining walls. Minor displacement was evident, with visible gapping noted where the concrete paved area abuts the retaining wall. Cracking was also observed within the raised concrete paved area, consistent with minor subsidence and ground movement. Excessive moisture was present in the vicinity of the retaining walls, and the mortar joints to the brickwork appeared darkened with mould growth, suggesting an ongoing moisture-related issue. Minor movement was additionally noted to the rear retaining wall. It is suspected that a nearby swimming pool may be contributing to elevated moisture levels, potentially due to leakage.

Assessment:

Defects of this nature are commonly associated with factors such as age, inadequate drainage, soil movement, or original construction methods. While the observed movement and cracking were assessed as minor at the time of inspection and no immediate safety hazard was identified, continued moisture exposure and ground movement may result in progressive deterioration if left unmanaged.

Recommendation:

Ongoing monitoring of the retaining walls and adjoining paved areas is advised. Should movement, cracking, or moisture-related deterioration increase, further investigation and remedial action may be required. Consider engaging a suitably qualified landscaper or retaining wall contractor to assess and carry out repairs as necessary. Where the retaining wall is deemed to be structural, consultation with a qualified structural engineer or building surveyor is recommended to provide advice on appropriate remediation. A dedicated pool inspection is also recommended to confirm whether leakage is contributing to the elevated moisture levels.





Finding 3.04

Building: Yard
Location: Exterior yard - right side
Finding: Site/Yard Drainage – Below Average.
Information: Defect – Below Average Site Drainage

Observation:

Site drainage in the inspected areas appears to be below average, with no surface drains observed at the time of inspection. Ground surfaces and paved areas adjacent to the building do not appear to be adequately graded to facilitate effective surface water runoff.

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Limitations:

- The general adequacy of site drainage is not fully assessed under the scope of a Standard Property Inspection Report.
- Observations are based solely on conditions present at the time of inspection.
- In dry conditions, drainage issues may not be visible, but may become apparent during periods of heavy or sustained rainfall.

□

Observations & Risks:

- Water should not be allowed to accumulate against the base of external walls or around the perimeter of the dwelling.
- Prolonged moisture exposure can contribute to:
 - Dampness and structural deterioration
 - Movement of footings or erosion of subsoils
 - Conditions that are conducive to timber pest activity, including termites, which are attracted to moist environments
- Best practice site drainage includes:
 - Paved surfaces falling away from the building by at least 25mm over the first metre
 - Bare ground sloping away by at least 50mm over the first metre

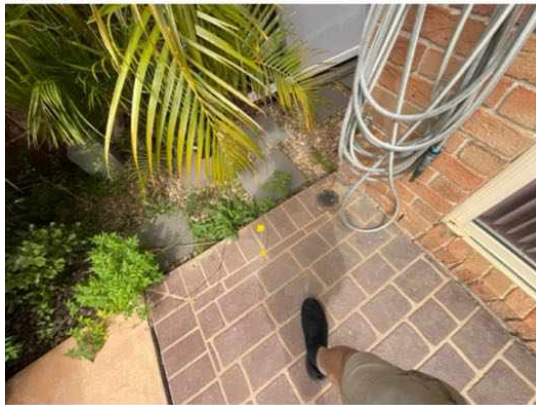
Failure to meet these minimum drainage falls increases the risk of water ingress, foundation issues, and secondary building defects.

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Recommendation:

- A licensed plumber and/or landscaping contractor should be engaged to:
 - Evaluate the current site grading and surface runoff conditions
 - Install or upgrade surface water drainage (e.g. strip drains, spoon drains, grated channels) as required
 - Improve grading around the building to ensure water flows away from the structure

Addressing these issues proactively will assist in protecting the structural integrity of the building, while also reducing environmental conditions favourable to termite activity.



Finding 3.05

Building: Yard
Location: Exterior yard - right side
Finding: Minor Defect – Surface Strip Drainage (Rear Shed)
Information: Observation:

At the time of inspection, the surface strip drainage located adjacent to the rear shed appeared to be blocked. The accumulation of debris within the drain has restricted its ability to collect and discharge surface water effectively.

Assessment:

Blocked strip drains are typically the result of inadequate routine maintenance. When drainage systems are unable to operate as intended, surface water may pond or overflow, increasing the risk of moisture retention against adjoining structures. If left unaddressed, this condition may contribute to the deterioration of surrounding building materials and may lead to more significant moisture-related defects over time.

Recommendation:

It is recommended that the strip drain be cleaned and cleared of all debris to restore proper drainage function and prevent water pooling. Ongoing periodic maintenance should be undertaken to ensure continued performance. Where remedial works or modifications to the drainage system are required, a licensed plumber should be engaged to carry out the works in accordance with relevant standards.



Finding 3.06

Building: Main Building
Location: Bathroom

Finding: Minor Defect – Roller Shutter (Damaged / Malfunctioning)

Information: Observation:

The roller shutter serving this area was observed to be damaged and in generally poor condition at the time of inspection. The shutter could only be partially opened before stopping, indicating that it was not operating as intended. The winder mechanism and/or operating handle appeared to be malfunctioning.

Assessment:

A malfunctioning roller shutter is commonly associated with wear and tear, mechanical failure of the winder mechanism, or misalignment of shutter components. While this condition does not present an immediate structural or safety concern, it restricts normal use and may worsen over time if left unaddressed.

Recommendation:

Repairs or replacement of the roller shutter and associated operating mechanisms are recommended at the client's discretion to restore full functionality. Engagement of a suitably qualified tradesperson or roller shutter specialist is advised to assess the defect and carry out appropriate remedial works.



Finding 3.07

Building: Main Building
Location: Bathroom
Finding: Evidence of Internal Water Leak – Toilet.
Information: Defect Type: Plumbing – Internal Leak

Significance: Moderate

Urgency: Prompt attention recommended

Observation:

At the time of inspection, the toilet showed visible evidence of leaking during operation.

Implications:

Although relatively common, internal water leaks can result in significant deterioration to surrounding building elements if left unresolved. Potential consequences include:

- Rust and corrosion of plumbing components
- Decay or damage to flooring and wall materials
- Formation of mould or mildew

Over time, these issues may escalate into major defects requiring extensive and costly repairs.

Recommendation:

It is strongly advised that the internal water leak is investigated and rectified by a licensed plumber at the earliest opportunity.

Use of the leaking toilet should be minimised until repairs are completed to avoid further damage.



Finding 3.08

Building: Main Building
Location: Lounge Room
Finding: Door - Binding on Floor Covering (insufficient clearance).
Information: Observation:

Binding or rubbing was observed between the bottom edge of the door and the floor covering during normal operation. The door does not open or close freely due to insufficient clearance.

Possible Cause:

This issue is commonly caused by:

- Swelling or warping of the door
- Changes in flooring height (e.g. new carpet, tiles, or floating floors)
- Minor misalignment of door hinges or frame

Implications:

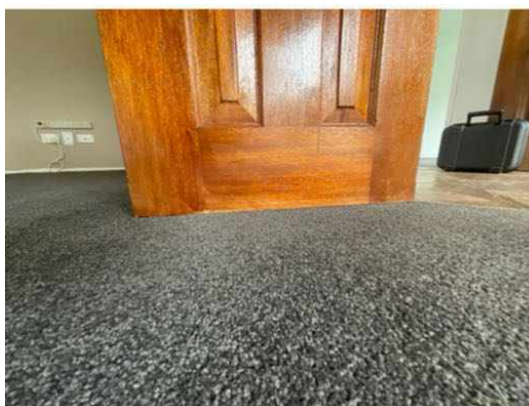
If left unresolved, continued friction may:

- Damage the door or floor surface
- Lead to wear of associated hardware (e.g. hinges)
- Restrict proper function and ease of access

Recommendation:

The bottom edge of the door should be trimmed or planed to provide adequate clearance, and the edge sealed appropriately after adjustment.

Rectification can be carried out by a qualified carpenter or general tradesperson, depending on the extent of adjustment required and at the client's discretion.



Finding 3.09

Building:	Main Building
Location:	Entry
Finding:	Minor Defect – External Doors (Missing Weather Seals).
Information:	Observation:

At the time of inspection, the external door(s) were observed to be missing required weather sealing. Adequate weather seals are necessary to limit air infiltration, improve weather resistance, and support the overall performance of the building envelope.

Assessment:

Current construction standards, including the NCC / BCA Volume Two – Clause 3.12.3.3, require external doors to be fitted with appropriate draft protection and perimeter sealing. In particular, the bottom edge of an external door is to be fitted with a draft protection device, and the remaining edges sealed with a suitable compressible or fibrous sealing product. The absence of these seals means the installation does not meet current requirements and may result in drafts, reduced energy efficiency, and an increased risk of water ingress and potential damage to internal finishes.

Recommendation:

It is recommended that compliant weather seals be installed to all applicable edges of the external door(s), including a draft protection device to the bottom edge. These works will assist in improving weather resistance, reducing air leakage, and minimising the risk of moisture affecting internal flooring and finishes. A suitably qualified tradesperson should be engaged to carry out the installation in accordance with NCC requirements.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Main Building
Location:	Exterior walls
Finding:	Plumbing and/or yard drainage - Conducive conditions..
Information:	Observation: Drainage Issues Around Property

Areas of the property—both around the perimeter and within the external yard—were noted to have drainage problems, resulting in water pooling, ponding, or stagnation. These conditions are considered highly conducive to timber pest activity.

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Timber Pest Risk Assessment:

- Termite Attraction: Excessive moisture around or beneath the structure creates an environment favourable to termite foraging and colonisation.
- Fungal Decay: Prolonged dampness also promotes fungal growth and wood decay, which can compromise structural timbers.
- Underlying Causes: Such moisture issues are typically associated with plumbing defects (e.g. leaking pipes, overflows) or landscaping problems (e.g. poor site drainage, negative grading).

□

Recommendation:

It is important that appropriate drainage improvements be undertaken to prevent moisture build-up around the building. This may include plumbing repairs, grading adjustments, or installation of drainage systems.

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Related Building Defects:

Please refer to the following defect(s) noted in the Building Section of this report for further detail and specific recommendations:

- Site/Yard Drainage – Below Average.

Finding 6.02

Building:	Main Building
Location:	Yard
Finding:	Restricted Inspection – Shed Obstructing External Wall and Termite Inspection Zone
Information:	Observation:

A shed or outbuilding is positioned directly against the external wall of the main structure, obstructing a clear visual inspection of the wall surface and weep holes in this area.

Termite Risk – Bridging Potential:

When inspection zones are blocked, there is a risk that termites may bridge the barrier undetected. Subterranean termites can use concealed pathways such as gaps behind sheds to gain entry to the structure, bypassing termite management systems.

Implications:

- Termite entry may go unnoticed, increasing the risk of concealed damage
- Obstruction prevents identification of moisture issues, material degradation, or pest activity
- Breaches termite barrier inspection requirements, reducing the effectiveness of any installed protection system

Recommendation:

- Remove or relocate the shed or create sufficient clearance from the wall to allow for full visual access

- Once access is restored, arrange a re-inspection of the previously obstructed area
- Maintain clear access to external walls and weep holes for ongoing periodic inspections



Evidence of fungal decay activity and/or damage

No evidence was found

Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Registered Roofing Contractor
- Registered/Licensed Builder
- Swimming Pool Fence Inspector
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- BUILDING AND PEST SUMMARY

Overall Property Condition

The dwelling was considered to be in good condition relative to others of similar age and construction that have been adequately maintained. No major structural defects were identified during the inspection. Major and minor defects, maintenance items, and timber pest risks were noted.

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MAJOR DEFECTS

- Significant rusting and corrosion were observed to the lower sections of the pergola posts and their fixings, indicating prolonged moisture exposure and deterioration of the anchorage. This condition compromises the pergola's resistance to uplift and lateral movement, increasing the risk of instability or collapse during windy conditions. Urgent assessment and rectification by a registered builder or suitably qualified contractor are recommended, with likely repair or replacement of affected posts and fixings.

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SAFETY HAZARDS

- None identified at the time of inspection.

□

BUILDING REPORT SUMMARY

Yard / Drainage

- Site drainage appeared below average on the day of inspection, in particular the right side of the property
- Some low-lying areas should be monitored during periods of heavy rain to ensure water does not pond near the building perimeter.
- Recommend landscaping adjustments and/or installing drainage to divert water away from the building perimeter.
- General drainage adequacy is outside the scope of this inspection. A smoke test is advised to assess for illegal or damaged connections
- Monitoring during and after rainfall is essential to evaluate effectiveness of any rectifications.

Roof Plumbing

- Gutters and downpipes were in serviceable condition with no active leaks noted.

Recommended actions:

- Clean gutters and remove debris.
- Connect downpipes to stormwater system.
- Cut back overhanging tree branches.
- Roof drainage compliance is outside the inspection scope — further advice should be sought from a licensed roof plumber.

Roof Exterior

- The roof appeared to be in good condition overall, with no major visible defects from ladder-accessed areas.
- Roof flashings are in fair condition
- Roof not fully accessible due to restrictions and limitations
- Due to limitations and other defects found a closer inspection is recommended by a roofing contractor to assess minor tile deterioration or hidden defects to confirm condition and carry out any necessary repairs.

External Walls

- External masonry walls appeared generally sound.
- No discernible or significant structural cracking observed.

Building Perimeter

- Ensure that surface water drains away from the building at all times.

Hot Water System (HWS), Taps, and Plumbing

- HWS appeared serviceable
- Taps and fixtures were operational; water pressure was consistent but not tested under full operating conditions.
- No significant leaks or water hammer noted.
- Recommend further testing after regular usage resumes.

- Further plumbing assessment advised, especially after periods of vacancy or infrequent use.

Interior Linings

- Walls and ceilings were generally in good condition with minor wear and tear.
- No evidence of active ceiling leaks or water damage observed at the time of inspection.
- Sagging, unevenness and detachment was noted in particular the garage ceiling surface, which is not uncommon in properties of this age and construction. Prompt repairs is highly recommended

The client should be aware that changes can occur after the inspection, and ongoing monitoring is recommended.

Windows & Doors

- Accessible windows and doors were operational.
- Minor adjustment or servicing is recommended to improve function and prevent wear.

Bathroom

- Overall condition good
- Ensuite recently renovated? consider confirming waterproofing certification.
- No elevated moisture readings were found behind the shower at the time of inspection.
- Monitoring after more frequent use is advised, and further invasive inspection may be warranted if leaks recur.
- Recommend sealing tiles and grout to prevent moisture ingress.
- No signs of active leaks; waterproofing assumed intact based on visual cues. Invasive inspection required for confirmation.

Kitchen

- The kitchen was in good condition overall with no visible defects.
- Recommend appliance testing by a licensed technician (outside scope of this report).

Plumbing, Leaks & Waterproofing (Limitations)

- This visual, non-invasive inspection cannot confirm the presence of leaks or the condition of waterproofing in wet areas.
- Water pressure and tapware condition were not fully assessed.
- A licensed plumber is required to provide an accurate assessment.

Note: Client should ensure any additions are council-approved.

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TIMBER PEST REPORT SUMMARY

Termite Activity

- No visible evidence of active termites, termite damage, or mud leads at the time of inspection.

Timber Decay

- No Wood rot observed.

Moisture Conditions

- No elevated moisture detected in wet areas, including behind showers, at the time of inspection using a Tramex Moisture Encounter Plus.
- However, as the property may have been vacant or unused, moisture issues may only become apparent after extended use. Monitoring is essential.
- Note: Properties left vacant may not show leaks until plumbing is in regular use. Recommend post-settlement monitoring and potential follow-up inspection.

Obstructions & Limitations

- Insulation in the roof void may conceal termite activity or damage.
- Limited access in some roof void areas due to low pitch or clearance.
- Full access is required to allow for a more comprehensive assessment, a re-inspection is recommended after access is made available.

Termite Management System

- No durable notice or record of an existing termite management system was found.
- The client should seek further information from the vendor or arrange for a professional termite barrier or treatment system to be installed.

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KEY RECOMMENDATIONS

- Attend to any Safety Hazards immediately and Major Defects as soon as possible found in this report
- Attend to roofing defects promptly
- Monitor rear retaining wall for future movement and moisture issues.
- Pool inspection advised
- Consider installing or confirming a termite management system.
- Engage a roofer for closer inspection of roof tile condition.
- Seek documentation for bathroom renovations (e.g., waterproofing certificates).
- Schedule annual pest inspections in accordance with AS 3660.2 for ongoing risk management.

For further information, advice and clarification please contact David Piva on: 0466 136 675

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building:	Main Building
Location:	Perimeter Slab Edge
Finding:	Slab Edge Inspection Zone – Not Maintained..
Information:	Observation:

An inspection zone of at least 75mm should be maintained between the bottom course of brickwork and any adjoining surface (e.g., paving, soil, turf, or concrete) to allow for visual detection of termite activity. This area, known as the exposed slab edge, is a critical part of termite management and monitoring.

Risk:

If the slab edge is concealed by render, landscaping, cladding, soil, or other obstructions, termites may gain undetected access to the structure. Without a clear inspection zone, there is a high risk of concealed termite entry, particularly where no physical or chemical barrier can be confirmed.

Additional Note:

In some cases, determining the type of slab construction (e.g., waffle pod, conventional) may require review of original building plans or advice from a qualified builder or architect.

Recommendation:

- Ensure that the slab edge is kept fully exposed around the perimeter of the building.
- Remove any obstructions such as soil, mulch, paving, or cladding that may hinder visibility.
- Where the slab edge cannot be fully exposed, it is strongly recommended that timber pest inspections be carried out every 6 to 12 months to monitor for termite activity and minimise risk to the structure.

Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Evidence of live termite activity was not visible at the time of the inspection..
Information:	Termite Activity – Important Advisory

Although no visible evidence of live termite activity was found at the time of this inspection, it is important to understand that early-stage termite attacks often show no visible signs. Termite activity can remain concealed within walls, floors, or other inaccessible areas, and evidence may only become apparent after significant damage has occurred.

□

Limitations of the Inspection:

This inspection report reflects the conditions present on the day of inspection only. As such, it cannot guarantee the absence of termite activity, particularly in concealed or inaccessible areas.

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Recommendation:

If any new evidence of termite workings, mud leads, or timber damage is discovered before the next scheduled inspection, you should immediately contact a licensed pest management professional for further assessment and treatment if required.

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Note: Regular inspections (at least annually) are essential for the early detection of termite activity and to reduce the risk of serious structural damage.

Noted Item

Building: Main Building
 Location: All Areas
 Finding: Evidence of termite workings / damage was not visible at the time of inspection
 Information: No visible evidence was found at the time of inspection to suggest that termite activity is present on the property including past workings and damage.

Annual pest inspections are advised in order to identify such workings.

Noted Item

Building: Main Building
 Location: All Areas
 Finding: Evidence of chemical delignification was not visible at the time of inspection..
 Information: Overview:

Chemical delignification (wood defibration) is the chemical breakdown of lignin, causing wood fibers to deteriorate. It typically affects roof battens and other exposed

structural timbers.

Causes:

Occurs mainly in marine or chemically reactive environments due to exposure to airborne salts, corrosive gases, or industrial pollutants.

Consequences:

Reduces timber strength and integrity, potentially leading to roof structure failure if untreated.

Inspection Findings:

No signs of chemical delignification observed during inspection.

Noted Item

Building: Main Building
 Location: All Areas
 Finding: Wood borer activity - not identified..
 Information: Wood Borer Activity

No evidence of active wood borer was observed in accessible areas. Some timber elements were obstructed or inaccessible, so concealed activity cannot be fully excluded. Wood-borer-related damage typically presents as fine powder (frass), small round exit holes, or weakened timber surfaces.

Recommendation

Clear obstructed areas for further inspection where possible and maintain annual pest inspections in line with AS 4349.3. If any signs of frass, exit holes, or timber deterioration appear, obtain further assessment from a licensed pest technician.

Noted Item

Building: Main Building
 Location: All Areas
 Finding: Fungal decay - Absent at the time of inspection..
 Information: Fungal Decay (Wood Rot) – Risk Awareness

No visible signs of fungal decay were identified at the time of inspection. Fungal decay occurs when timber is exposed to prolonged moisture in conditions that support fungal growth, including elevated moisture content, poor ventilation, and suitable ambient temperatures.

Recommendation

Continue routine monitoring of all accessible timber elements, particularly those located in areas where moisture may be present. Ongoing maintenance such as maintaining ventilation, managing moisture sources, sealing or coating exposed timber surfaces, and replacing any deteriorated material will help reduce the risk of decay developing over time.

Noted Item

Building: Main Building
 Location: All Areas
 Finding: Thermal Imaging – Termite Activity Assessment..
 Information: During the inspection, a Flir E6 Thermal Imaging Camera was used to detect irregularities in the internal walls and ceilings.

Termites can often be identified by:

- Nesting activity or visible mud tubes
- Moisture sources or structural damage

Termites release heat in the form of carbon dioxide and build mud tubes with high moisture content, which can create irregular heat patterns on surfaces such as walls, ceilings, and floors.

At the time of the inspection, no abnormalities indicating live termite activity were observed. However, it's important to note that various factors—such as obstructions, ambient temperature, and wall material/thickness—can impact the accuracy of thermal readings. In cases where surfaces are visually restricted or obstructed, a comprehensive thermal scan may not always be feasible.



Noted Item

Building: Main Building
 Location: All Areas
 Finding: Termite Management System - Missing Durable Notice..

Information: Observation: Missing Durable Notice for Termite Management System

At the time of inspection, no durable notice or sticker was found within the switchboard unit or other accessible areas to indicate the presence or type of termite management system currently installed.

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Recommendation:

It is strongly recommended that a durable notice be affixed within the main electrical switchboard or another prominent location (e.g. meter box or inside garage) to clearly identify:

- The type of termite management system installed (e.g. chemical barrier, physical barrier, reticulation system, baiting system)
- The installation date
- The installer's contact information
- Ongoing maintenance or inspection requirements
- If no reliable information can be obtained, or if the existing system is found to be outdated or non-functional, it is recommended that a new termite management system be installed by a licensed pest control professional.

The client should also consult the current homeowner or builder for any documentation or warranties related to an existing termite management system.

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Summary:

A termite management system is a critical component in protecting a property from termite attack. These systems may include a combination of:

- Physical barriers
- Chemical soil treatments
- Reticulation or baiting systems
- Regular inspections

Proper maintenance and documentation are essential to ensure continued protection. Without a visible durable notice, there is no clear indication of what system (if any) is in place, which may limit the effectiveness of future termite inspections and hinder warranty claims.



Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Proposal for Termite Risk Management – AS 3660.2 Compliance..
Information:	Recommendation:

A termite management proposal, in accordance with Australian Standard AS 3660.2, is strongly recommended to assist in the prevention of future subterranean termite access to buildings and associated structures.

This recommendation applies particularly to properties where conditions conducive to termite or timber pest activity have been identified—such as excess moisture, poor ventilation, timber in ground contact, or drainage deficiencies.

□

Rationale:

- Prevention is significantly more effective and less costly than managing an active termite infestation.
- Properties with known risk factors are more likely to experience termite attack unless proactive management measures are implemented.

□

Preventative Measures May Include:

- Post-construction chemical termite barrier installation by a licensed pest management professional.
- Improving site drainage and reducing excess moisture in high-risk areas such as subfloors and building perimeters.

- Regular inspections as outlined under AS 3660.2 for ongoing monitoring.

□

Note: It is essential that any termite management system implemented is accompanied by a durable notice as per AS 3660.2, and that inspections are carried out at least annually by a qualified professional.

Noted Item

Building: Yard
 Location: Pool Area
 Finding: Swimming Pool – Excluded from Standard Building Inspection.
 Information: Observation:

A swimming pool is present on the property.

Important Note:

This building inspection does not include an assessment of the swimming pool, its structural condition, associated equipment (such as pumps, filters, chlorinators), or the pool surrounds.

These items fall outside the scope of a standard pre-purchase building inspection as defined under AS 4349.1–2007.

Recommendation:

It is strongly recommended that a specialist pool safety inspection be carried out by a licensed and suitably qualified pool safety inspector. This should include assessment of the following:

- The structural condition and interior finish of the pool
- Fencing and safety barriers (including compliance with local council and legislative requirements)
- The operation and condition of pool equipment, including pumps, filters, and heating systems
- The condition of pool surrounds, paving, and drainage systems

Undertaking this inspection will help ensure that any safety, compliance, or maintenance issues are properly identified and addressed prior to finalising the property purchase.



Noted Item

Building: Main Building
 Location: Roof Void
 Finding: Roof Void – Limited Accessibility..
 Information: Observation:

Access to the roof void was restricted due to several limiting factors, including:

- Low roof pitch
- Non-trafficable framing
- Inaccessible or obstructed areas
- Presence of insulation

As a result, a complete inspection of the roof void was not possible.

A visual inspection was conducted from all accessible entry points, and supplementary photographs have been provided for your reference.

Important Note:

A full inspection of the roof space is not achievable unless all obstructions—including

insulation and restricted access points—are removed, and full, safe access is provided. Termite activity or timber pest damage may go undetected in concealed or inaccessible areas.

Recommendation:

Installation of an additional manhole is recommended to facilitate a re-inspection and enable a more thorough assessment of the roof void in the future. This will help ensure that all structural elements and concealed areas are properly evaluated.





Noted Item

Building: Main Building
 Location: Kitchen
 Finding: Kitchen Sink – Overall Condition & Recommendations.
 Information: Observations:

- The kitchen sink tap(s) were water tested at the time of inspection, with no evidence of leaks or blockages observed in the visible plumbing or drainage.
- No significant water damage was observed to the cabinetry/unit, however, minor water damage was noted, which may be indicative of past moisture exposure.

□

Recommendations:

- Further monitoring and testing are recommended once the tap(s) are in constant use, to identify any drainage issues or signs of slow leaks not evident during the limited inspection.
- Flexible, mould-resistant sealant should be applied at wall junctions and other wet-area interfaces to prevent water ingress and potential damage. This is considered routine maintenance, and damaged or missing sealant should be replaced as needed.
- For long-term property care, it is advised that sealant and grouting in water-exposed areas be regularly inspected and maintained. A sealant specialist or tiling contractor may be engaged to carry out these works where necessary.



Noted Item

Building: Main Building
 Location: Laundry
 Finding: Laundry - Taps/Plumbing/Drainage.
 Information: Observation: Laundry Tub – Taps, Plumbing, and Cabinetry

- The taps to the laundry tub were water tested and inspected, with no evidence of

plumbing or drainage leaks observed at the time of inspection.

- No visible signs of water damage, rust, or corrosion were noted to the cabinetry or surrounding unit during the inspection.

Toilet:

- No leaks were observed during the flushing process.
- The toilet operated normally with no signs of malfunction or abnormal water flow.
- The toilet pan was securely fixed to the floor at the time of inspection.
- The cistern is loose and not adequately fixed to the wall

□

Recommendations:

- Further monitoring or testing is recommended once the taps are placed into regular use, to ensure no leaks develop over time and that the drainage system continues to perform adequately.
- Flexible and mould-resistant sealant should be applied to junctions between the basin and the wall to prevent water ingress that may lead to damage.
- Regular maintenance and prompt replacement of missing or deteriorated sealant is highly recommended, as this is a common wear-and-tear issue.
- Sealant and grouting in wet areas should be maintained as part of the long-term care and upkeep of the property.
- Where required, a sealant specialist or qualified tiling contractor should be appointed to carry out remedial sealing works.





Noted Item

Building: Main Building
Location: Bathroom
Finding: Wet Areas - Bathroom(s) - Overall Condition & Recommendations.
Information: Overall Condition & Recommendations

□

SHOWER:

- Water appeared to flow freely towards the floor waste during testing of the shower taps. However, further monitoring is required after regular use to determine whether

water pooling or retention occurs.

- Flood testing of the shower recess is recommended. This may reveal inadequacies in the waterproofing or shower screens, which could lead to water damage in surrounding areas.
- Floor waste was found to be clear and free of blockages at the time of inspection. Further monitoring is advised after consistent use to identify any drainage issues or buildup requiring cleaning.
- No elevated moisture readings were detected around the tap fittings or behind the shower walls (as viewed from adjacent rooms), suggesting no active plumbing leaks at the time of inspection.
- Sealing of grout and tiles is recommended to prevent moisture buildup and mould growth in damp areas such as showers.
- The condition of grout appeared to be serviceable and in average condition.
- Grout in wall and/or floor junctions may crack and deteriorate over time. It is recommended to remove any rigid grout from junctions and replace with flexible, mould-resistant sealant in accordance with best building practices.
- The exhaust fan which supports moisture control in the bathroom was not tested. (Power off)

□

TOILET:

- Leaks were observed during flushing. The toilet operated normally, and the toilet pan appeared to be securely fixed to the floor.

□

VANITY UNIT:

- Basin(s) were water tested and inspected, with no leaks or blockages identified in the plumbing or drainage system at the time of inspection.
- Further monitoring is recommended after the basin(s) are placed under regular use to confirm ongoing performance and cleanliness.
- Water damage was noted to the vanity unit, appearing minor. Further investigation or replacement may be required depending on the extent of deterioration.

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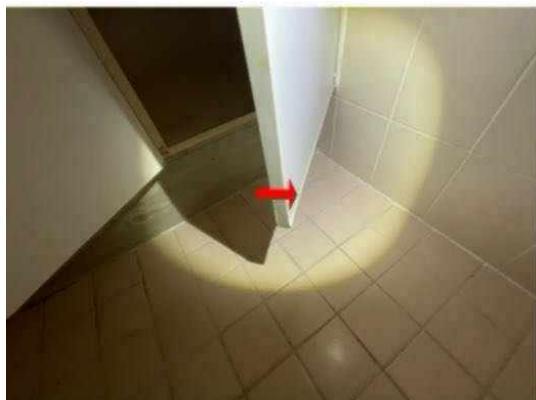
IMPORTANT NOTE:

It is not possible under the visual inspection criteria of a standard pre-purchase report to categorically determine if leaks are present. If a more detailed or accurate assessment is required, a special-purpose inspection should be undertaken.

Alternatively, the assumption should be made that leakage may occur, particularly where historical or environmental conditions are conducive. The visual nature of this inspection cannot detect issues concealed behind wall/floor linings or cabinetry, and invasive investigation may be necessary to confirm the true condition of adjacent or hidden structures.







Noted Item

Building: Main Building
 Location: Ensuite
 Finding: Wet Areas - Bathroom(s) - Overall Condition & Recommendations.
 Information: Overall Condition & Recommendations

□

SHOWER:

- Water appeared to flow freely towards the floor waste during testing of the shower taps. However, further monitoring is required after regular use to determine whether water pooling or retention occurs.
- Flood testing of the shower recess is recommended. This may reveal inadequacies in the waterproofing or shower screens, which could lead to water damage in surrounding areas.
- Floor waste was found to be clear and free of blockages at the time of inspection. Further monitoring is advised after consistent use to identify any drainage issues or buildup requiring cleaning.
- No elevated moisture readings were detected around the tap fittings or behind the shower walls (as viewed from adjacent rooms), suggesting no active plumbing leaks at the time of inspection.
- Sealing of grout and tiles is recommended to prevent moisture buildup and mould growth in damp areas such as showers.
- The condition of grout and sealant appeared to be good.
- The exhaust fan was not tested (Power off)

□

TOILET:

- No leaks were observed during flushing. The toilet operated normally, and the toilet pan appeared to be securely fixed to the floor.

□

VANITY UNIT:

- Basin(s) were water tested and inspected, with no leaks or blockages identified in the plumbing or drainage system at the time of inspection.
- Further monitoring is recommended after the basin(s) are placed under regular use to confirm ongoing performance and cleanliness.
- No visible water damage was observed to the vanity cabinetry at the time of inspection.

Sealant:

- Sealant to the wall junctions is missing.
- It is recommended that flexible, mould-resistant sealant be applied or replaced where missing or degraded to prevent future water ingress.
- Regular maintenance of sealant and grouting in wet areas is essential to prolong the life of surrounding materials and reduce the risk of water damage.

□

IMPORTANT NOTE:

It is not possible under the visual inspection criteria of a standard pre-purchase report to categorically determine if leaks are present. If a more detailed or accurate assessment is required, a special-purpose inspection should be undertaken.

Alternatively, the assumption should be made that leakage may occur, particularly where historical or environmental conditions are conducive. The visual nature of this inspection cannot detect issues concealed behind wall/floor linings or cabinetry, and invasive investigation may be necessary to confirm the true condition of adjacent or hidden structures.





Noted Item

Building: Main Building
 Location: All Areas
 Finding: Water Pressure – Observation Only.
 Information: During the inspection, water pressure appeared to be within a normal operating range based on a basic functional check. However, this observation was made without the use of pressure testing equipment and does not constitute an assessment by a licensed plumber.

No detailed inspection of the internal plumbing system, pipework, or compliance with plumbing standards was carried out as part of this report.

Recommendation:

It is strongly recommended that a Licensed Plumber be engaged to conduct a comprehensive assessment of the plumbing system to verify its functionality, check for any underlying issues, and confirm compliance with current regulations and standards.

Noted Item

Building: Main Building
 Location: All Areas
 Finding: Ceiling Condition & Observations.

Information: All areas of the dwelling were inspected, with particular attention given to the ceilings. These were closely assessed for any signs of moisture staining, damage, or visible anomalies that could indicate leaks or other issues.

- At the time of inspection, no evidence of moisture staining or damage was observed in the ceilings to suggest any active leaks or failures in the roof covering.

Please note that the observations in this section are based solely on the conditions present at the time of inspection. As this is a visual inspection, it cannot predict future issues or reveal problems that may only become apparent over time. Ceiling conditions can change, particularly following adverse weather events or wear to roofing materials.

Recommendation:

We strongly advise immediate further investigation should any signs of moisture, staining, or ceiling-related issues become visible in the future. Ongoing monitoring is recommended, and if concerns arise, a licensed roofing contractor or building professional should be consulted.

Noted Item

Building: Main Building

Location: All Areas

Finding: Plumbing, Electrical & Gas Installations – Scope and Recommendations.

Information: Plumbing and electrical inspections fall outside the scope of this building inspection and must be carried out by appropriately licensed and registered tradespersons.

- Any gas appliances (if applicable) must be inspected by a licensed gas plumber to confirm they are operating safely and efficiently.
- We also recommend that all other plumbing and electrical installations be thoroughly checked by qualified professionals to ensure they are functioning correctly and meet current safety and compliance standards.

While this inspection includes observations of visually apparent defects relating to plumbing and electrical elements, it does not assess compliance with current regulations. Legislation requires that any such assessment be undertaken and documented by licensed electricians and plumbers.

Additional photos have been supplied with this report for your general reference.



Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Smoke Detectors / Alarms.
Information:	Reporting on the presence, type, location, or compliance of smoke detectors or alarms, including hard-wired smoke detection systems and their legislative requirements, is outside the scope of this inspection report.

Please note:

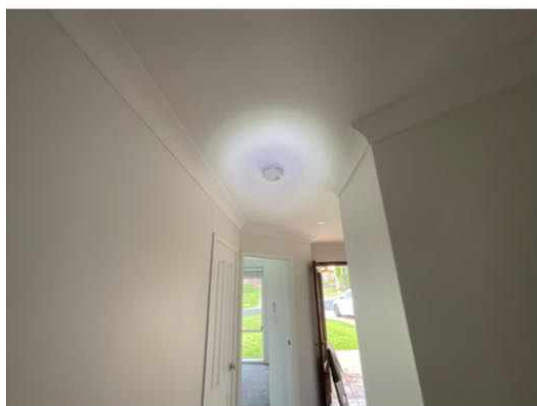
This information is provided as a general caution only.

To ensure compliance and safety, further inspection and/or advisory services from a qualified specialist are recommended. These services can confirm the sufficiency, type, location, and functionality of all smoke detection devices within the property.

It is the responsibility of the property owner or occupant to ensure that suitable and functional smoke detectors are installed prior to occupancy. As a minimum, it is advised that:

- All smoke detectors be tested monthly by the homeowner.
- All systems comply with the requirements of AS 3786 and any applicable state-based legislation.

Failure to comply with these requirements may pose a serious risk to occupant safety.



Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Shower Recess Waterproofing – Visual Assessment Only.
Information:	A visual inspection of the shower recess and surrounding walls was carried out where accessible. No evidence of recent water damage was observed at the time of inspection. Based on this limited assessment, there is no conclusive indication of current leakage, and it is reasonable to assume that the shower waterproofing is

functioning as intended.

Important Note:

If the shower has not been used recently, moisture readings may not reflect the presence of leaks, as water ingress often only becomes apparent during or shortly after regular use. This can result in false-negative results during non-invasive inspections.

Limitations:

This inspection was conducted under the visual-only criteria of a standard pre-purchase report. As such, it is not possible to categorically confirm the integrity of the waterproofing or the absence of leaks.

Recommendation:

If a more accurate assessment is required, the following options are recommended:

- Commissioning a special purpose (invasive) inspection by a qualified professional
- Proceeding with the assumption that the shower may leak, particularly in older properties or where no recent waterproofing documentation exists

Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.