



# Building and Timber Pest Inspection Report

Inspection Date: Fri, 30 Jan 2026

Property Address: 13 St James Ct, Narre Warren VIC 3805,  
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Fri, 30 Jan 2026

## The Parties

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Name of the Client:

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Name of the Principal(If Applicable):

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Job Address: 13 St James Ct, Narre Warren VIC 3805, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Andrew Lacey Ph: 0419 824 486  
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Company Name: Jim's Building Inspections (Hawthorn)

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Company Address and Postcode: Camberwell 3124

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Company Email: Hawthorn@jimsbuildinginspections.com.au

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Company Contact Numbers: 0419 824 486

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: N/A

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>		✓
<b>Major Defect</b>		✓
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>	✓	
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with minor defects and maintenance items noted.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. Live activity and/or damage from timber pest activity was not found at the time, however, conditions conducive to timber pest activity were found at the time of inspection. A termite treatment is recommended.

## Section B General

### General description of the property

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Building Type	Residential, Detached
Company or Strata title	No
Floor	Suspended Timber Frame, Concrete Stumps, Chipboard
Furnished	Unfurnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	East
Other Building Elements	Fence - Post and Rail Construction, Garage, Driveway
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Internal Joinery, Landscaping Timbers and Construction, Skirting Boards, Floating Floor, Window Frames
Roof	Timber Framed, Pitched, Tiled
Storeys	Single
Walls	Brick Veneer
Weather	Fine

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## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Roof Exterior - Part
- Roof Void - Part
- Subfloor - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Roof Exterior - Part
- Subfloor - Part.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

### Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height

- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Debris or rubbish
- Evidence of recently painted walls or ceilings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Insulation
- Overhanging vegetation
- Roof framing - not trafficable
- Vegetation

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

### Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

No evidence was found

### Major Defect

No evidence was found

### Minor Defect

#### Finding 3.01

Building:

Location: All Areas

Finding: Sealant/ grout - Damaged or Missing

Information: Sealant or grout is damaged in this area. Sealant and grout is used to protect gaps and crevices in building materials to ensure that they are water-tight and prevent water penetration to the associated structures.

Where sealant or grout is missing or damaged , a competent handyman may be appointed to scrape out and re-apply any silicone where necessary.

Failure to do so may lead to further deterioration of the sealant which in turn can lead to water damage to the surrounding area.





### Finding 3.02

Building:	
Location:	All Areas
Finding:	Cracking - fine
Information:	Some fine cracking was noted throughout the property.

Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage. Generally, the cause of a fine crack is indicative of a separation between building materials and finishes (e.g. paint, plaster, etc.) along joints.

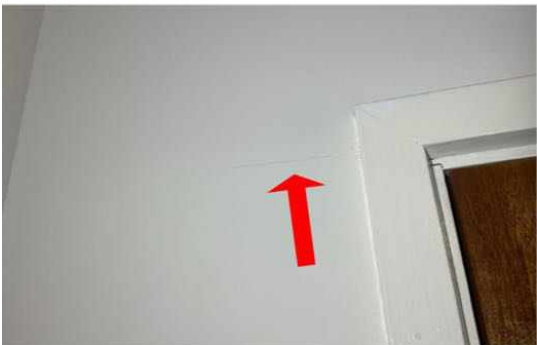
Cracking of this nature can generally be repaired with minor sanding, filling and/or

repainting. Such works should be performed by a qualified painter or a general handyman.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.

Note: photos included are indicative of fine cracking noted at the the time of inspection. Other fine cracks may be present but not recorded here.





**Finding 3.03**

Building:  
Location: Sunroom  
Finding: Cracking - Concrete flooring in the sunroom  
Information: Fine but noticeable cracks were identified in the concrete flooring of the sunroom . Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage.

Generally the cause of a fine crack in existing concrete flooring is indicative of the expansion and contraction of the concrete. Such causes are generally due to environmental factors, such as moisture levels, weather conditions, or to poor original installation of the concrete. Factors such as inadequate reinforcing of the slab may

create cracking and other secondary defects.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.



### Finding 3.04

Building:

Location: All Areas

Finding: Window - Sticking

Information: The window in this area was sticking and difficult to operate at the time of the inspection. Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the window may also create potential for secondary defects to the associated building elements, such as damage to the window frames as well as a potential safety hazard if required for emergency egress from the building.

The most usual causes are swelling of timbers due to moisture, bulging or bowing of frames, or general material degeneration.

Easement will be required, which may involve some sanding and repainting. It will almost always include ensuring the areas are cleaned and free of any debris that may be detrimental to their operational state.

A competent handyman or window specialist may be engaged to perform this task.



### Finding 3.05

Building:

Location: Bathroom

Finding: Grout and sealant - Missing or degraded within the bathroom area

Information: It was noted on inspection that grout or sealant is degraded to areas within the bathroom.

Grout and sealants are used to keep the joint water tight and protective of all associated building materials.

Different materials move at different rates, generally causing cracking to grout at this point. Build up of moisture in the bathroom can also cause grout and sealants to degrade and become mouldy.

Any damaged or degraded materials should be scraped out and flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that may occur. Regular maintenance and replacement of damaged or missing grout/ sealant is highly recommended to the wet areas, as this is a regular wear and tear defect. Both grout and sealant in areas that come into regular contact with water should be maintained for the long term care of your property.

A bathroom specialist or tiling contractor should be appointed to complete these works as soon as possible.





### Finding 3.06

Building:

Location: Bathroom

Finding: Suspected Moisture damage to lower wall next to shower

Information: Evidence of suspected moisture damage was identified to the lower wall next to the shower.

It is suspected that this has occurred as a result of excess moisture from spills from the shower. No current moisture was noted to the area when tested with a moisture meter. As such it is suspected no further damage will occur in the area.

A competent handyman may be engaged to inspect the moisture damaged areas and repair or replace any items at the discretion of the homeowner.



### Finding 3.07

Building:

Location: Bathroom

Finding: Gaps around tap hardware

Information: At the time of inspection, gaps were noted around the taps in the shower. These gaps can lead to water ingress behind the tiles which in turn can lead to secondary damage to other building materials.

All tap hardware and connections should be tightly fixed and sealed to prevent moisture ingress.

A competent handyman can be engaged to seal up the gaps.

This should be carried out as a priority. Failure to do so may result in further damage.



### Finding 3.08

Building:

Location: Bedroom - Master

Finding: Floor - creaking slightly

Information: The internal flooring in this area was creaking slightly when walked upon at the time of inspection.

Creaking floors generally indicate that the fixings for the flooring may be coming loose slightly.

The area should be monitored for any changes or unevenness. Should this occur, consultation with a registered builder should be undertaken to determine the cause. The potential resolution may involve regluing and screwing the floor down through to replacement of subfloor support structures.



### Finding 3.09

Building:

Location: Bedroom - Master

Finding: Door "self closing"

Information: It was noted at the time of inspection that the door to this area would not stay half open and "self closed".

This may be the result of incorrect installation or can be due the framing not being plumb.

A licensed carpenter or registered builder can be engaged to rectify these issues at the discretion of the homeowner.



### Finding 3.10

Building:

Location: All Areas

Finding: Floating Floor - creaking slightly

Information: The floating flooring in this area was creaking slightly when walked upon at the time of inspection.

Creaking floating floors generally indicate slight movement of the flooring and is very common with floating floors. Creaking can also be more obvious in cheaper quality

flooring.

The area should be monitored for any changes or movement. Should this occur, consultation with a flooring specialist should be undertaken to determine the cause . The potential resolution may involve lifting and relaying the flooring through to full replacement .



### Finding 3.11

Building:  
 Location: All Areas  
 Finding: Cracking to plasterboard walls - Noticeable

Information: Cracking was noted within the plasterboard wall in the dining area and also laundry.

Noticeable cracks are a common occurrence as a result of many primary defects. Such causes may include age, general wear and tear, expected building movement, general expansion/contraction of building materials in different weather conditions, and/or minor failings in the installation or application of building materials.

Noticeable cracks may result in minor sticking or jamming of associated doors and windows, which require easement. However, noticeable cracks are easily filled and repaired.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous. Additionally, your building inspector should also be contacted if associated building elements such as doors and windows become more difficult to operate over time.

Relevant tradespeople, such as carpenters, painters and plasterers, should be appointed to perform remedial works, as deemed necessary.



### Finding 3.12

Building:

Location: Kitchen

Finding: Floating floorboards - sponginess to the flooring in this area..

Information: At the time of inspection, there was some evidence of sponginess to the floating floor.

This sponginess may be the result of poor installation of the boards but may also indicate a fault in the subfloor structure underneath the flooring. Lower quality flooring can also be the cause. Without actually lifting the flooring in this area, it is difficult to determine the exact cause.

The flooring should be monitored for any further movement or changes and should that occur, consultation with a flooring specialist should be sought.

This may require the flooring to be lifted and the area underneath inspected.



### Finding 3.13

Building:

Location: Kitchen

Finding: Damage to the kitchen cupboards - edging peeling off

Information: Evidence of damage was identified to the kitchen cupboards at the time of inspection. It appears that the edging on the cupboards were peeling off.

The shelves may be re edged. Failing that , replacement of the shelves may need to be undertaken.

A kitchen specialist or competent handyman may be engaged to inspect the damaged areas and repair or replace any items where necessary.



### Finding 3.14

Building:

Location: Laundry

Finding: Wall tiles - Cracked

Information: Cracking in the wall tiles around the tap was evident in the laundry at the time of inspection. It is suspected that this cracking has occurred as a result of the slight movement within the building, impact damage or poor initial installation.

Cracked tiles throughout the household detract from the overall appearance of the affected areas, as well as creating potential for water penetration to adjoining building elements. If left unmanaged, water damage can occur as a result of constant water penetration over a prolonged period of time.

While not considered a matter of urgency, replacement of cracked tiles is advised as a solution. A tiling contractor may be appointed to perform these works at client discretion.



### Finding 3.15

Building:

Location: Living Room

Finding: Ceiling - Water stained

Information: Water staining to ceiling linings in this area was evident at the time of inspection. No current moisture was noted in the ceiling when checked with a moisture meter.

Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by interior ceilings.

Where water staining is active ( not suspected in this instance), a licensed plumber must be consulted to identify the cause of the staining and to provide advice on any reparation works that may be required. Replacement of any damaged structures is advised.

Conversely, where water staining is old and inactive, the ceiling may be repainted at the client's discretion.

Please note: it is suspected the staining may have been from a leak which has subsequently been fixed. Ongoing monitoring of the ceiling should be carried out to ensure no leaking occurs in the area in the future.





**Finding 3.16**

Building:  
 Location: All External Areas  
 Finding: Brickwork - Cracking [Fine]  
 Information: Find cracking was noted within the mortar between brickwork on this exterior wall .

Although fine cracks are quite noticeable, they are often only considered to be an appearance defect and usually do not indicate any structural damage. Generally, the cause of a fine crack is indicative of a separation between brickwork and mortar throughout the structure, but single bricks may also show cracks of this nature.

Cracking of this nature can generally be repaired with minor filling and should be conducted by a qualified bricklayer.

Always contact a building inspector should cracks widen lengthen or become more numerous.





### Finding 3.17

Building:

Location: All External Areas

Finding: Fascias - Slight Wood rot

Information: Slight wood rot was found to be affecting the fascias in this area. Wood rot also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

It is likely that this wood rot has developed as a result of faults in the roof plumbing, creating excessive moisture in this areas. Frequent exposure to rain and other weather conditions also make fascias and barges susceptible to accelerated deterioration.

Early intervention and regular maintenance will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner.

It is advised that a roof plumber be appointed to inspect all roof plumbing and subsequently identify the cause of the wood rot. Replacement of affected fascias and barges may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified roofing plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.



**Finding 3.18**

Building:  
Location: Driveway  
Finding: Noticeable Cracking - Concrete driveway  
Information: Noticeable cracks were identified in the concrete driveway.

General age and expected deterioration of the concreted areas is a common cause of this type of cracking. However, expansion and contraction of the driveway may also have occurred due to environmental factors. Such factors include variable moisture and weather conditions, the presence of trees and their roots having a settling or lifting affect on the soil, or the effect of load bearing, e.g. heavy vehicles over a sustained period of time.

Cracking to this degree may also be due to poor original installation of the driveway. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects. Noticeable cracks may also be due to subsidence of soils.

The area should be monitored for any changes that may occur and potentially cause tripping hazards. Should this occur, repair and likely replacement of the concrete section may be necessary.



### Finding 3.19

Building:  
 Location: Exterior walls - front  
 Finding: Timber - exposed to weather  
 Information: It was noted at the time of inspection that some exterior timbers were weathered .

Timbers that are frequently exposed to harsh weather conditions require adequate protection in order to maintain their condition. Where timbers have not been painted or treated adequately, general deterioration is likely to occur at an accelerated rate.

If left unattended, replacement of these timbers is likely to be necessary in the short-term future. Adequate treatment of these timbers is required as soon as possible by a painting contractor or general handyman.



### Finding 3.20

Building: Garage  
 Location: Garage  
 Finding: Downpipe damaged at the base  
 Information: At the time of inspection, the downpipe in this area has been damaged at the base near ground level . This has the potential to allow water to escape the downpipe and pool around the edge of the house.

Pooling water can undermine the foundations of the property over time and can also create conditions conducive to timber pest activity.

It is recommended that a licensed plumber be engaged to correctly seal the downpipe to prevent any leaking.



### Finding 3.21

Building: Eaves  
 Location: Eaves  
 Finding: Eave linings - Water stained  
 Information: At the time of inspection, there appeared to be some water staining to various areas of the eaves linings around the property .

Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed. It is suspected that the staining in this instance may be from overflowing gutters due to being blocked with leaves and other vegetation.

Where water staining is active, a licensed plumber must be consulted to identify the cause of the staining and to provide advice on any reparation works that may be

required. Replacement of any damaged structures is advised.

Conversely, where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion. All gutters should be cleared to allow for correct operation.

Please note: Eave sheeting was traditionally made of asbestos containing material (ACM) . Caution should be taken in the area. It is highly recommended that an asbestos inspection and sampling be carried out to determine the presents of any ACM. Consultation with your Jim's consultant should be carried out to seek further information.



### Finding 3.22

Building:	
Location:	Eaves
Finding:	Eaves - Damaged
Information:	The eaves in some areas of the property were found to be in a visibly poor condition. The damage may have been sustained as a result of a number of possible causes, including poor roof drainage, leaking roof plumbing or minor impact damage.

The damage to the eave sheeting in this area detracts from the appearance of the structure, as well as potentially compromising the structural integrity of the roofing area.

Where eaves show moderate to severe damage, remedial works may be required. Where water damage is suspected as being the underlying cause, appointment of a licensed plumber is advised as a matter of urgency to identify the source of the water leak.

Please note: Eave sheeting was traditionally made of asbestos containing material (ACM) . Caution should be taken in the area. It is highly recommended that an asbestos inspection and sampling be carried out to determine the presents of any ACM. Consultation with your Jim’s consultant should be carried out to seek further information.





### Finding 3.23

Building:

Location: Yard - Back

Finding: Rear yard overgrown and in need of tidy up.

Information: At the time of inspection, the rear yard was extremely overgrown and in need of a general tidy up.

This lack of maintenance can provide opportunities for vermin to be present undetected.

The homeowner, or gardener should be engaged to perform this task prior to settlement.





### Finding 3.24

Building:

Location: Exterior walls - rear

Finding: Beads - Damaged

Information: Beading acts (like cornice or skirtings) to cover the intersection or joins of building materials. It was noted at the time of inspection that beading in this area has come loose. This deterioration is suspected to have been caused by general ageing and frequent exposure to weather, which is expected in a building of this age and condition.

Beading is important in weatherproofing the surrounding building elements and preventing termite or pest ingress. Furthermore, beading works to protect the joins of building materials, which are more susceptible to deterioration and decay.

Repair or replacement of the beading is advised to ensure the protection and longevity of any associated building elements. Such works may be performed by a general handyperson or qualified carpenter.



### Finding 3.25

Building:

Location: Entry

Finding: Entry tiles - Cracked

Information: Minor Cracking in the entry tiles was evident at the time of inspection. It is suspected that this cracking may have occurred as a result of lacking a solid or suitable foundation for the tiles to be laid on. Settlement in the foundations may also have caused movement and resulted in the cracking and subsidence to tiles in this area.

Cracked tiles detract from the overall appearance of the affected areas, as well as creating potential for secondary damage to surrounding areas.

While not considered a matter of urgency, replacement of cracked tiles is advised. A tiling contractor or landscaper may be appointed to perform these works at client discretion.

Where cracks become more numerous, consultation with a registered builder specialising in foundations may be required.



### Finding 3.26

Building:

Location: Roof Exterior

Finding: Roof tiles - fair condition but with some maintenance required  
Information: Upon inspection of the exterior roofing, the roof tiles appeared weathered but were considered to be in a fair condition. While weathering of the tiles is consistent with the age of the property, some maintenance works are required.

Areas of minor chipping of tiles was noted. Evidence of some previous repairs were also observed. Rusting to the channels was also noted.

Repairs to chipped or cracked tiles is required.

Consultation with a roofing contractor is highly advised to gain advice on remedial works that will be required . Where left unmanaged, damage is likely to lead to a number of secondary defects, including potential water leaks and moisture exposure to internal roofing structures.





### Finding 3.27

Building:

Location: Roof Exterior

Finding: Roof plumbing - slight rusting or corrosion

Information: The guttering in this area has evidence of slight rusting and corrosion. It is suspected that this has been caused by blockages, resulting in pooling or standing water, that have prematurely rusted elements of the roof plumbing.

Rusted roof plumbing will generally develop holes and leaks that can affect other building elements with poor drainage of storm water. Poorly drained roof areas will also lead to damp conditions surrounding the base perimeter of the building which, if left unmanaged, can lead to a range of secondary building defects.

Where rusting has caused leaking, repair and/or replacement of rusted roof plumbing is highly required in order to reinstate the roof drainage system to a fully operational level. To further maintain these areas, gutters should be cleaned frequently, allowing the avoidance of any partial blockages.

A licensed plumber or specialist roof restoration company should be appointed to undertake these works. It is advised that such works be completed where relevant to prevent any further damage and deterioration.



Finding 3.28

Building:  
 Location: Roof Exterior  
 Finding: Roof valley - Rusted  
 Information: At the time of inspection it was noted that the valleys between the tiled roof structures have a coverage of surface rust.

If left unmanaged, this can lead to holes developing and potential water ingress to the internal roofing structures - leading to secondary damage of building elements. Accelerated deterioration of the valley channels and any associated building elements is also likely to occur.

A roofing contractor should be appointed to assess the damage and to perform remedial works as necessary. Works may include replacement of severely affected areas or minor works such as the application of rust-retardant surface protectors.



### Finding 3.29

Building:  
 Location: All Areas  
 Finding: Additional Photos - minor defects  
 Information: Additional photos are provided for your general reference. Arrows have been included where necessary to highlight areas of importance.





**Live Timber Pest Activity**

No evidence was found

**Timber Pest Damage**

No evidence was found

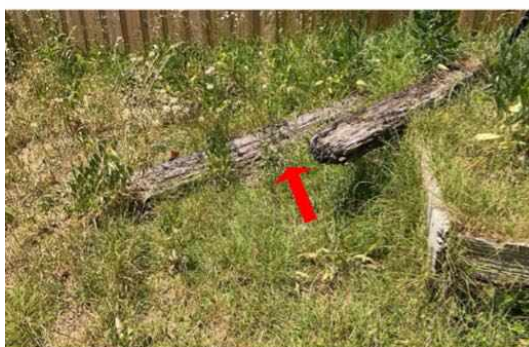
**Conditions Conducive to Timber Pest Activity**

**Finding 6.01**

Building:	
Location:	All External Areas
Finding:	Building materials in direct ground contact - conducive to termites
Information:	Where timber elements are in direct contact with the ground and consequently moisture or dampness, they become conducive to termite activity. Whether timber is used as a building element, part of a fencing structure or stored as an unused item, they can provide an environment that is attractive to termite infestation.

When met with excessive moisture, timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated or non-durable also provide ingress for subterranean termites into that particular element.

Where possible, the removal of any such materials that may be conducive to termite activity should be carried out as soon as possible to minimise the risk of termite attack. Where not possible or practical, regular monitoring of timber elements is recommended. Replacement of any damaged materials should be carried out where necessary.





## Finding 6.02

Building:

Location: All External Areas

Finding: Garden Beds - Conditions Conducive to Termites

Information: Garden beds were found to be evident around and against the property. These garden beds can make conditions conducive to termite activity and termite ingress.

Plants against or very close to buildings can provide cover/ shade which can provide an environment that is attractive to termite infestation.

The removal and replanting of species that do not provide "cover" or cutting back of existing vegetation will assist greatly in preventing this from occurring.

The removal of any such materials that may be conducive to termite activity should be carried out as soon as possible to minimize the risk of potential termite attack.



### Finding 6.03

Building:

Location: Exterior walls - rear

Finding: Hot Water System and Air Conditioning Overflow - Not plumbed for drainage

Information: The overflows from the hot water system and A/C unit were not plumbed or connected to suitable drainage, which may result in the surrounding area becoming excessively damp.

These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements or the formation of fungal decay. When coupled with poor site drainage, pooling of water may also attract termite activity to this area.

It is recommended that a qualified plumber be appointed to install adequate drainage to the overflows or that they be diverted away from the edge of the building. These works will ensure that the area remains dry and free of any secondary defects.





**Evidence of fungal decay activity and/or damage**

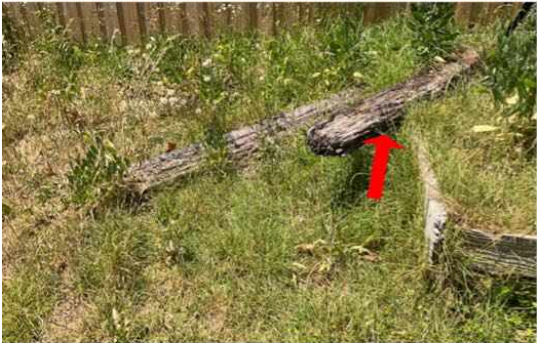
**Finding 7.01**

Building:  
Location: All External Areas  
Finding: Fungal decay - conditions conducive to timber pest attack  
Information: Fungal decay also known as wood decay or wood rot generally refers to the deterioration of timber elements when in contact with excessive levels of moisture for a prolonged period of time.

Generally fungal decay develops on timber elements that are in use in an external environment which are exposed to rain penetration.

Decaying timbers can create an environment conducive to timber pest attack. It is recommended that the decaying timbers be repaired / replaced to lessen the risk of timber pests.





**Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- The property at the time of inspection presented in a fair condition when compared with properties of a similar age and characteristic.

There were no major defects or safety hazards noted – just a range of minor defects and maintenance items consistent with the property such as this.

In terms of the timber pest inspection, there was no evidence of any termite activity or damage. No evidence of any previous chemical treatments or management plans were noted. There were several conditions noted which would be classified as conducive to timber pest activity. Some fungal decay (wood rot) was noted around the property. The property would be classified as a medium to higher risk for timber pest activity.

Detail details of all defects should be read in full within the body of the report. Action should be taken as per the recommendations listed within. Failure to do so may cause further deterioration to the property resulting in more significant defects.

Please note the property was unoccupied at the time of inspection. It is unclear how long the property has been empty. The lack of constant use of the shower may hide any previous moisture issues. Regular monitoring of the bathroom should be carried out for any signs of leaking and should they occur, consultation with a licensed plumber should be sought immediately.

For further information, advice and clarification please contact Andrew Lacey on: 0419 824 486

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building:  
 Location: All Areas  
 Finding: Termite inspection - no termite activity found  
 Information: All areas of the dwelling are checked with particular attention paid to wet areas which were closely assessed to check for excessive levels of moisture and temperature anomalies.

No evidence of termite activity was found inside the property at the time of the inspection.

In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, a moisture meter reading of susceptible areas, sounding of timber elements using a device called a "donga" visual assessment of materials affected by moisture or signs of deformity, trails and bridging constructed by termites, irregular and regular shaped holes in timber elements indicating pest destruction.

Termite activity generates high temperatures and moisture and if this irregularity is found it can be grounds for further investigation.

Wall paneling, wallpaper, carpet and fixed cabinetry can obscure termite activity.

#### Noted Item

Building:  
 Location: Meter Box  
 Finding: Termite Management System - no evidence of a chemical installation  
 Information: The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



**Noted Item**

Building:  
Location: All Areas  
Finding: Additional Photos - for your information  
Information: Additional photos are provided for your general reference.



**Noted Item**

Building:  
Location: All Areas

Finding: Insulation - older style blow in insulation

Information: At the time of inspection, it was noted that the insulation within the roof void was the older "blow in " style insulation. Whilst there appeared to be a decent coverage, this insulation has a tendency to settle and reduce in volume over time. This settling can reduce the effectiveness of the insulation.

Insufficient insulation will result in a comparatively higher cost to heat and cool a property. The insulation helps to keep out unwanted heat in summer and preserves warmth inside your home in winter. It can also help soundproof your home from unwanted airborne noise transfer.

Example - Where there is a gap in coverage totaling 5% there is a potential for up to 50% of the energy efficiency to escape.

Should the insulation settle too much and become less effective, it is recommended that new insulation be installed to improve the thermal efficiency.

Caution should be exercised when accessing the roof void. Do not attempt to stand on the framework to the underside of the trusses and be aware there is a potential for electric shock if contact is made with exposed or faulty electrical wiring.

An insulation contractor should be engaged to perform this task where necessary at the discretion of the homeowner.

Please note: insulation should always be kept away from above any downlight, as depending on the type of downlight, they can generate heat. Where the insulation is covering any downlights, it is recommended to move this away .





**Noted Item**

Building:  
Location: Kitchen  
Finding: Additional Photos - for your information  
Information: Additional photos are provided for your general reference.



**Noted Item**

Building:  
Location: All Areas  
Finding: Additional Photos - Obstructions and Limitations

Information:

These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.