



**BEFORE YOU BUY**

**BEFORE YOU BUILD**

# Building and Timber Pest Inspection Report

Inspection Date: Tue, 24 Mar 2026

Property Address: 7 Bridge Rd, WESTMEAD, NSW, 2145,  
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 24 Mar 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 7 Bridge Rd, WESTMEAD, NSW, 2145, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Steve Ahn Ph: 0413 377 511  
Email: Wentworthville@jimsbuildinginspections.com.au

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Company Name: Jim's Building Inspections (Wentworthville)

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Company Address and Postcode: Ashfield 2131

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Company Email: Wentworthville@jimsbuildinginspections.com.au

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Company Contact Numbers: 0413 377 511

### Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>		✓
<b>Major Defect</b>		✓
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>		✓
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with maintenance items required.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is low risk in relation to susceptibility to timber pests. A termite treatment should always be considered even in a low-risk environment.

## Section B General

### General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Brick Stumps or Piers
Furnished	Furnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	
Other Building Elements	Driveway, Carport, Fence - Fabricated Metal Fence, Fence - Post and Rail Construction, Footpath
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Floorboards, Skirting Boards, Staircase, Window Frames
Roof	Timber Framed, Tiled, Pitched, Flat, Corrugated Iron (e.g. Colourbond)
Storeys	Single
Walls	Full Brick
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior
- Fencing
- Exterior
- Roof Exterior
- Roof Void
- Stumps
- Subfloor
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

### Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- Decking

- Evidence of recently painted walls or ceilings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Floor coverings
- Furniture
- Insulation
- Ceiling manhole less than 600 x 400
- Subfloor was obscured due to poor clearance and obstructions. Less than 75% of the inspectable area was accessible.

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

### Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

No evidence was found

### Major Defect

No evidence was found

### Minor Defect

#### Finding 3.01

Building: Main Building

Location: Entry

Finding: Door Binding or Jamming

Information: It appears that there is a problem with this door as it is binding or jamming during normal operation. This defect not only affects the functionality of the door but also poses a risk for other building elements such as damage to the floor covering.

There could be various reasons behind the binding of the door, ranging from minor issues like poor installation or damaged hinges to major structural problems such as damage to the subfloor.

If the problem appears to be a major structural issue, it is advisable to seek the services of a registered builder who specializes in re-stumping. They can provide an estimate for the cost of repairing the problem.

For minor issues, it is recommended to hire a qualified carpenter or handyman to carry out the necessary repairs as per the client's discretion.

In some cases, the binding of the door may be caused by termite activities. In such instances, it is recommended to monitor the situation closely or conduct an invasive inspection to identify the root cause of the problem.



### Finding 3.02

Building: Main Building

Location: Fencing

Finding: Fencing - Deteriorated

Information: It was noted at the time of inspection that sections of the fencing throughout the property have deteriorated. Typically fencing deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

If left unattended, it is likely that further damage will occur. It is suspected that repair of several elements of the fencing may be required however replacement may be a consideration of the client also.

A licensed fencing contractor should be appointed to provide further advice and perform rectification works as necessary.



### Finding 3.03

Building: Main Building

Location: Exterior walls - rear

Finding: Wall with ACMs cracked and broken

Information: The external wall cladding to the subfloor perimeter is observed to be damaged and deteriorated in several locations, particularly at sheet junctions and lower edges. Sections of the sheeting are cracked, broken and missing, exposing the underlying framing and creating openings into the subfloor space. The damage appears consistent with age-related deterioration and possible impact or moisture-related weakening, with further evidence of delamination and friability noted along the edges. The condition of the material raises concern that the cladding may contain asbestos cement (ACMs), which was commonly used in this type of installation, and the observed deterioration increases the risk of fibre release if disturbed. Additionally, gaps at joints and penetrations reduce the effectiveness of the enclosure, allowing potential pest entry and moisture ingress.

It is recommended that the material be treated as presumed asbestos-containing until confirmed otherwise by laboratory testing. A licensed asbestos assessor should be engaged to sample and assess the material, and any repair or removal works should be carried out by appropriately licensed contractors in accordance with relevant safety regulations. In the interim, the material should not be disturbed.



### Finding 3.04

Building: Main Building  
Location: All Areas  
Finding: Flooring - Uneven

**Information:** The internal flooring in this area is out of level and uneven. Uneven flooring is likely to indicate minor defects such as expected movement of the foundations of the property, but may also indicate subsidence of the associated subfloor stumps.

It is advised that the flooring be closely monitored to identify any further movement. Where flooring remains relatively unchanged for an extended period of time (i.e. several months), it is likely that this defect has been caused by expected movement of the foundations of the property.

However, where flooring is uneven further, potentially invasive inspection of the subfloor structures and stumps in this area is required. In this case, works to repair are likely to be required, and would be carried out by a registered builder specialising in re-stumping.



### Finding 3.05

**Building:** Main Building  
**Location:** All Areas  
**Finding:** Doors Binding or Jamming  
**Information:** It appears that there is a problem with this door as it is binding or jamming during normal operation. This defect not only affects the functionality of the door but also poses a risk for other building elements such as damage to the floor covering.

There could be various reasons behind the binding of the door, ranging from minor issues like poor installation or damaged hinges to major structural problems such as damage to the subfloor.

If the problem appears to be a major structural issue, it is advisable to seek the services of a registered builder who specializes in re-stumping. They can provide an estimate for the cost of repairing the problem.

For minor issues, it is recommended to hire a qualified carpenter or handyman to carry out the necessary repairs as per the client's discretion.

In some cases, the binding of the door may be caused by termite activities. In such instances, it is recommended to monitor the situation closely or conduct an invasive inspection to identify the root cause of the problem.



### Finding 3.06

Building:	Main Building
Location:	All Areas
Finding:	Windows - Stiff to slide
Information:	Several windows throughout the property were jammed and difficult to operate at the time of the inspection. Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the window

may also pose as a potential safety hazard if required for emergency egress from the building.

Generally, factors such as general age of the building element and a lack of maintenance are the usual causes for this type of defect.

Replacement of window hardware or frame may be required, as well as minor repairs and cleaning. A registered builder or general handy person will be required to repair the affected windows.



### Finding 3.07

Building:	Main Building
Location:	Roof Exterior
Finding:	Valley Gutter - Rusted
Information:	The valley gutter area shows advanced signs of rust and surface corrosion, particularly where roof tiles meet at the junction.

This deterioration is likely due to the accumulation of leaf litter or debris in the valley, which can obstruct water flow and lead to pooling.

Standing water accelerates corrosion in metal roof plumbing components, eventually causing leaks and water ingress into internal roof or wall cavities. If left unresolved, this condition may lead to water damage to internal finishes, ceiling linings, or even structural timber elements.

It is strongly recommended that the rusted valley gutter be repaired or replaced by a licensed plumber or roof restoration specialist.

Regular clearing of debris from valley gutters is also advised to maintain effective roof drainage and extend the service life of roofing elements.



### Finding 3.08

Building:	Main Building
Location:	All Areas
Finding:	Deterioration due to fair wear and tears
Information:	Certain forms of deterioration commonly associated with fair wear and tear may not be specifically identified or itemised within this report. Minor cracking to brickwork, mortar joints, render, concrete paving, tiles, plaster linings, and timber beading, along with isolated areas of mortar loss, stiff or tight-operating windows, and similar age-related conditions, are typical of buildings over time and do not necessarily indicate defective workmanship or structural failure.

Some of minor defects due to fair and wear and tears are ; minor cracks on concrete pavements, minor cracks on brick fence, deteriorated brick mortar, uneven pavement, cracked tile, cracked glass, not latching door and minor rattling door due to misaligned strike plate.

In accordance with the pre-inspection agreement, these minor and cosmetic conditions are generally excluded from reporting unless they constitute a major defect, safety issue, or significant structural concern. As such, the absence of specific reference to these items in the report should not be construed as an indication that they do not exist, but rather that they fall within the scope of accepted fair wear and tear and normal ageing for a property of this type and age.





## Live Timber Pest Activity

No evidence was found

## Timber Pest Damage

No evidence was found

## Conditions Conducive to Timber Pest Activity

### Finding 6.01

Building: Main Building  
 Location: All Areas  
 Finding: Conditions Conducive to Termite Activity  
 Information: The following areas and environmental conditions were identified as conducive to termite activity. These conditions increase the risk of concealed termite entry and should be addressed through appropriate maintenance, repairs, improved drainage, additional monitoring, or the installation of a compliant termite management system.

#### Absence of a Termite Management System

No durable notice or evidence of a termite management system was identified on site. Without a barrier system, the property is at higher risk of concealed termite ingress.

Recommendation: Where no system exists, install a compliant termite management system and retain all documentation for future reference.

#### Inadequate Hot Water System (HWS) Overflow

The HWS overflow discharges directly to ground, resulting in constant moisture at the building perimeter. Excess moisture provides conditions favourable to termite activity.

Recommendation: Connect the overflow to suitable stormwater drainage to divert water away from all structural elements.

#### Inadequate Air Conditioner Overflow Drainage

Air conditioner condensation lines discharging near walls can cause damp soil conditions, attracting termites.

Recommendation: Ensure AC overflow pipes are connected to appropriate stormwater drainage.

#### No Drain to External Tap

External taps without drainage provisions allow pooling at the base of walls, increasing

moisture levels.

Recommendation: Install a drainage system or concrete plinth that directs runoff away from the structure.

#### Blocked Gutters and Downpipes

Blocked gutters were noted to cause overflow, directing water onto walls and foundations. Excess moisture increases termite attractivity.

Recommendation: Clean and maintain gutters and downpipes regularly.

#### Old Tree Stumps and Garden Beds

Stumps and garden beds near the dwelling provide both moisture and cellulose, creating ideal termite feeding sites.

Recommendation: Remove decaying stumps and avoid positioning garden beds directly against walls.

#### Timber Fences, Decks, and Landscaping Timbers

Timbers installed directly into soil without separation provide a direct food source for termites.

Recommendation: Use treated or termite-resistant timbers and ensure separation from soil.

#### Stored Timber and Cellulose Materials

Timber offcuts, cardboard, or loose debris in subfloor or external areas provide an ongoing food source.

Recommendation: Remove all loose timber and maintain the subfloor clear of debris.

□

#### Overall Recommendations

- Rectify all identified conducive conditions through appropriate maintenance and repair.
- Implement routine moisture monitoring and schedule regular timber pest inspections.
- Install or upgrade a termite management system for long-term protection.
- Where mature trees are present, test-drill trees over 100 mm in diameter to assess potential termite activity.

- Where high-risk conditions or concealed areas exist, consider invasive inspection prior to purchase or during further investigation.





**Evidence of fungal decay activity and/or damage**

No evidence was found

**Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- Upon completion of the building and timber pest inspection at 7 Bridge Rd, WESTMEAD, NSW, 2145, Australia, the dwelling was found to be in fair overall condition when compared with properties of similar age and construction. A number of maintenance items and minor defects were identified that require attention; however, no major structural defects, no immediate safety hazards, and no live timber pest activity or timber pest damage were observed in the accessible areas inspected.

The principal building concerns relate to general age-related deterioration, including uneven flooring, binding and jamming doors, stiff windows, deterioration to fencing, rusting to the roof valley gutter, and deterioration to external wall cladding at the subfloor perimeter. Within the subfloor, there is evidence of moisture-related deterioration, debris accumulation, and cracking and displacement to sections of the masonry piers and perimeter walls. While the timber subfloor framing appeared generally serviceable, the condition of the masonry supports and overall subfloor environment indicates the need for repair and improved maintenance.

The roof void generally presented as serviceable in the visible areas; however, insulation is aged, displaced and unevenly distributed, and minor daylight penetration was noted at tile junctions, indicating potential gaps or ageing of roofing components. Services within both the roof void and subfloor appear to have been installed in an ad hoc manner, with loose and unsupported wiring and plumbing noted, which should be rectified to improve safety and durability.

Although no evidence of active termite infestation, fungal decay, or borer activity was found at the time of inspection, several conditions conducive to timber pest activity were identified. These include moisture sources around the building, drainage issues, blocked or suboptimal roof drainage components, absence of a visible termite management system, and the presence of timber or cellulose materials in vulnerable locations. These factors increase the risk of future timber pest activity and should be addressed.

It is also important to note that the inspection was subject to limitations, including restricted access to portions of the roof void and subfloor areas. As a result, there is an increased risk that concealed defects or timber pest activity may exist in inaccessible areas. This report should therefore be read as a

visual, non-invasive assessment of accessible areas only, and further investigation or re-inspection is recommended where access can be improved.

Overall, the property represents an older dwelling exhibiting typical age-related wear and tear. With timely maintenance, rectification of the identified defects, improvements to drainage and ventilation, and implementation of appropriate termite risk management measures, the condition and longevity of the structure can be maintained.

For further information, advice and clarification please contact Steve Ahn on: 0413 377 511

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building: Main Building  
Location: Bathrooms  
Finding: Minimum Moisture Readings Detected  
Information: After assessing the shower recess, the moisture content of the walls within and surrounding the wet area was examined. The readings showed no significant variation between the walls behind the shower and other internal walls, and there were no visible signs of recent moisture-related damage on the surrounding accessible wall surfaces. Based on these findings, the waterproofing system appears to be performing adequately at the time of inspection, with no current evidence of active leakage.

However, it must be acknowledged that if the shower has not been used recently, moisture meter readings may not provide an accurate indication of the waterproofing condition. A lack of elevated readings under these circumstances does not conclusively confirm that the shower is free from leaks.

It is also important to note that this inspection was conducted using standard visual and non-invasive methods, which have inherent limitations. Such methods cannot reliably detect all types of concealed leaks or membrane failures, particularly those occurring behind wall linings or beneath floor tiles. For a more precise and conclusive assessment, a special-purpose or invasive inspection by a suitably qualified professional is recommended. Until such further investigation is undertaken, the possibility of a leak cannot be entirely ruled out.

Furthermore, although no visual evidence of water-related damage was identified, this does not guarantee that moisture ingress has never occurred. Concealed areas may still have been affected in the past, including the potential for timber deterioration or termite-related damage that may no longer be active or visible. Only an invasive inspection would allow the condition of concealed building elements to be fully determined.



Noted Item

Building:	Main Building
Location:	Lounge Room
Finding:	Smoke Detector - Not hardwired
Information:	Smoke detectors were installed. It is recommended that mains operated, battery backup smoke detectors be installed in accordance with the Building Code of Australia (Part 3.7.2) and the relevant Australian Standards. The operation of these detectors should be checked and ensure that operational batteries are fitted prior to occupation.



### Noted Item

Building:	Main Building
Location:	Roof Void
Finding:	Condition of Building Elements in the Roof Void
Information:	The roof void was inspected and the visible structural framing, including timber rafters, purlins and underpurlins, appeared generally serviceable with no evidence of significant distortion, sagging or structural failure noted at the time of inspection. The roof tiling to the underside was observed to be typical of its age, with no widespread signs of active water ingress; however, isolated daylight penetration was noted at tile junctions, which may indicate minor gaps, displacement or aged bedding and pointing. While no active moisture staining was clearly evident at the time of inspection, these areas may allow wind-driven rain entry under certain conditions and should be monitored and maintained as required.

The insulation within the roof void is aged, compressed and unevenly distributed, with sections displaced and accumulated in piles rather than providing consistent coverage. This reduces its thermal effectiveness and may contribute to heat loss or gain within the dwelling. In addition, the insulation material appears to be older type fibrous material and, depending on the age of the building, may potentially contain materials that should be handled with care if disturbed.

A flexible duct associated with the AC system was observed within the roof space; however, its installation appears informal, with no clear evidence of proper support or secure connection at all points. This may affect system efficiency and long-term

durability. Electrical cabling was noted running across the ceiling joists in a loose manner, which is typical of older installations, although care should be taken to ensure it remains protected and not subject to damage.

Overall, the roof void condition is consistent with an older structure, showing general age-related wear rather than any immediate structural concern. Ongoing maintenance of roof coverings, improvement of insulation distribution, and minor rectification of service installations would be beneficial to maintain performance and reduce the risk of future issues.





### Noted Item

Building:	Main Building
Location:	Subfloor
Finding:	Condition of Building Elements in the Roof Void
Information:	The subfloor area was inspected and is of conventional construction comprising timber bearers and joists supported on masonry piers. The timber framing generally appeared serviceable with no obvious signs of significant structural failure; however, there is evidence of moisture-related deterioration to the subfloor lining/underfloor sheeting, which is sagging, delaminated and locally deteriorated in several areas. This condition is consistent with prolonged exposure to damp conditions and may affect durability over time.

The masonry piers and perimeter walls exhibit notable defects, including cracking, mortar deterioration and areas of displacement. Sections of the perimeter wall show horizontal cracking and localised loss of bricks, indicating possible past movement, inadequate lateral support or previous alteration without proper reinstatement. While the majority of piers appear to be supporting the structure, some show signs of wear and minor misalignment, which should be monitored and may require rectification to ensure ongoing stability.

The subfloor environment is poorly maintained, with debris, loose materials and uneven ground surfaces present throughout. There are signs of moisture influence, including damp soil and staining to masonry, which may be exacerbated by limited subfloor ventilation. Services within the subfloor, including plumbing and electrical cabling, appear to have been installed in an ad hoc manner, with loose and unsupported wiring noted and plumbing that appears retrofitted.

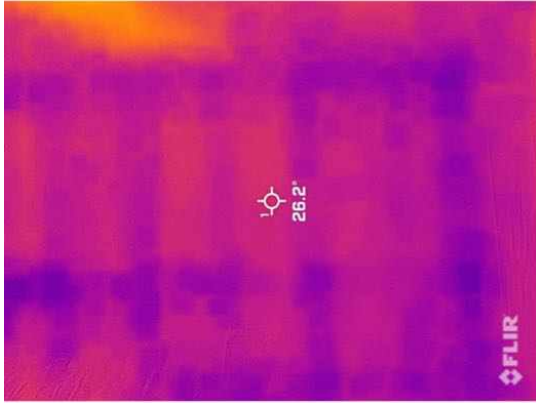
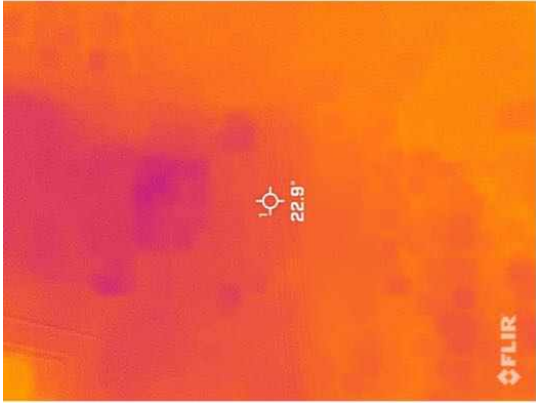
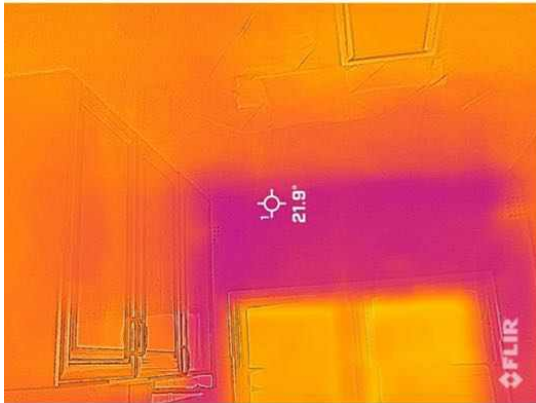
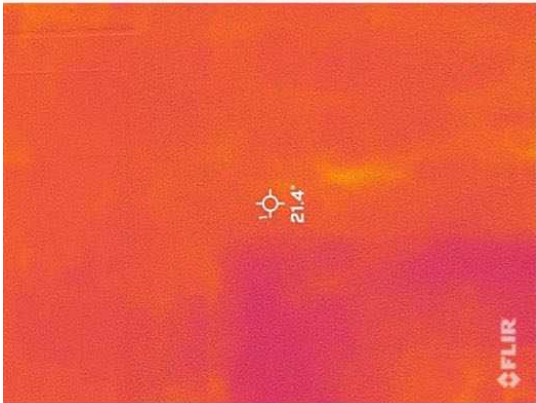
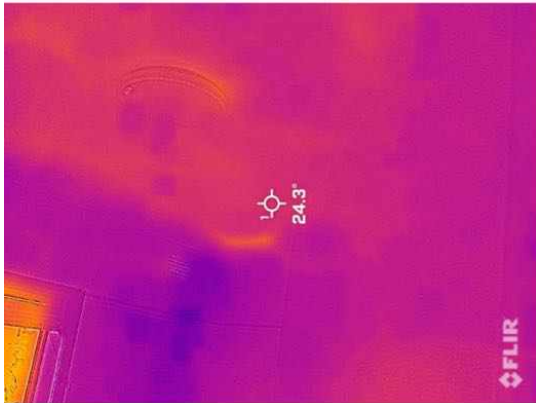
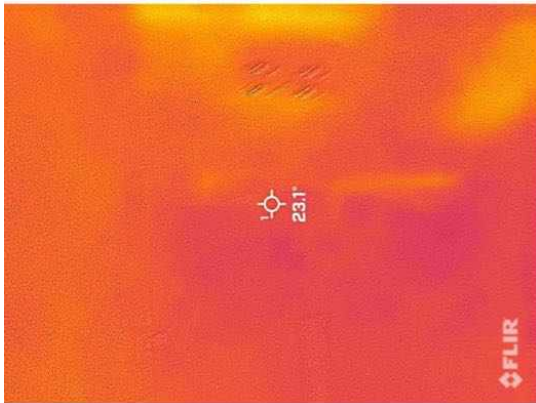
Overall, the subfloor condition reflects an ageing structure with a combination of moisture-related deterioration, maintenance issues and some structural concerns associated with the masonry supports. Further assessment by a suitably qualified contractor or structural specialist is recommended to address the cracking and displacement in the masonry, improve ventilation and drainage to the subfloor, and tidy and secure services to reduce the risk of damage or future defects.

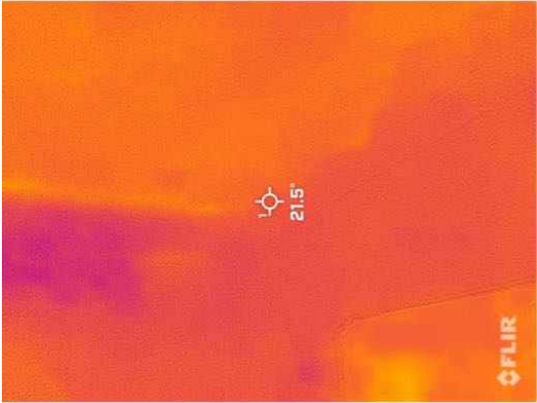
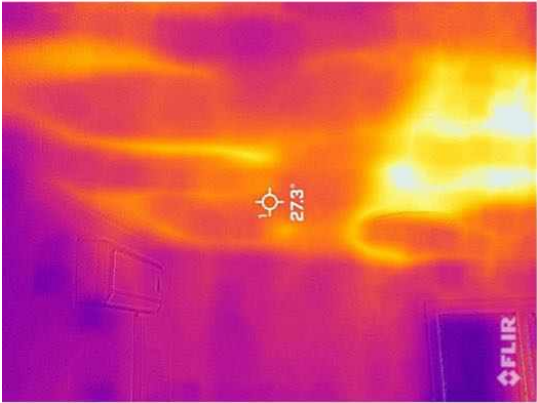
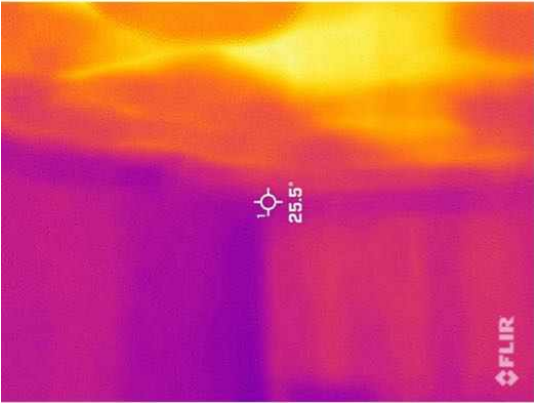




**Noted Item**

Building: Main Building  
Location: All Areas  
Finding: Additional Photos  
Information: Thermal imaging camera was used to detect any active water leaks or/ and termite activities in the property. No water leaks or termite activities were found from inspection by thermal imaging camera. Additional photos are attached for general reference.





## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.