



Building and Timber Pest Inspection Report

Inspection Date: Wed, 11 Feb 2026

Property Address: 46 Dulcimere St, Tahmoor NSW 2573,
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Wed, 11 Feb 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 46 Dulcimere St, Tahmoor NSW 2573, Australia

Client's Email Address:

Client's Phone Number:

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Company Address and Postcode: Bowral 2576

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Company Contact Numbers: 0438 465 646

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report must be read in conjunction with D5 Conclusion - Assessment of the overall condition of the property. The report must be read in full to clearly understand all items identified as defects in the report.

- This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects. The report is only valid for 90 days, were after a re-inspection must take place.

- Where any elevated Structure (deck, balcony, verandah etc) is present, and this elevated structure is

designed to accommodate people, you MUST have this structure checked by an engineer or other suitably qualified person.

- You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance, that may become necessary, is identified. Care must be taken not to overload the structure.

- Nothing contained in this report should be taken as an indicator that an assessment has been made, on any elevated structure, as suitable for any specific number of people or purpose. This can only be done by a qualified engineer. For the purpose of this report, the Structure includes elevated decks, verandah, pergolas, balconies, handrails, stairs and children's play areas

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage		✓
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program	✓	

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in Good condition with safety hazards identified. Major and minor defects were also found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. A current termite treatment is in place. Minimum 12 monthly inspections should be carried out.

Section B General

General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Slab on ground
Furnished	Unfurnished
No. of bedrooms	4
Occupied	Unoccupied
Orientation	South
Other Building Elements	Garage, Porch, Driveway, Party Walls, Pergola, Fence - Fabricated Metal Fence, Water Tanks
Other Timber Bldg Elements	Eaves, Internal Joinery, Patio, Porch / Patio, Skirting Boards, Architraves, Doors, Door Frames, Stair Railing, Staircase, Floating Floor, Fascias, Weatherboards, Window Frames
Roof	Pitched, Timber Framed, Corrugated Iron (e.g. Colourbond)
Storeys	Double
Walls	Brick Veneer (Timber Framed), Timber Framed and Clad
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Roof Void - Part
- The Site
- Roof Exterior - First Floor Only
- Roof Exterior - Part

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Exterior Roof Surface - Second Storey.
- Ceiling Cavity.
- Roof Exterior - Part
- Roof Void due to lack of access.
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.
- Wall Exterior - where neighbouring buildings immediately adjoin.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling linings
- Duct work
- External concrete or paving
- Fixed Furniture - Built-in Cabinetry
- External finished ground level
- Fixed ceilings
- Floor coverings
- Insulation
- No safe point from which to access roof exterior
- Porch
- Patio
- Proximity of perimeter fence to building
- Sarking
- Unsafe to Access Roof - No Fall Protection System
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

Building:	Main Building
Location:	Stairs - Internal > Upstairs
Finding:	Stair Balustrade - Excessive Movement
Information:	Excessive movement was observed in the stairs' balustrade at the time of inspection. This may be due to inadequate fixings, deterioration of materials, or substandard installation.

A loose balustrade presents a significant safety risk, as it may not provide adequate support or restraint, particularly under load. If left unmanaged, further movement or potential failure of the structure may occur.

It is recommended that a registered builder be engaged urgently to assess and rectify the issue to ensure the balustrade is securely fixed and meets safety requirements.



Finding 1.02

Building:	Main Building
Location:	Walk-In Robe - Master > Upstairs
Finding:	Electrical wires exposed - manhole access
Information:	Electrical wiring was observed running directly across the manhole access within the ceiling void. This installation may pose a safety hazard when accessing the roof space, as personal contact or accidental damage to the wiring may occur when using the manhole.

Best practice is for electrical wiring to be routed away from access points to minimise risk. The client should engage a licensed electrician to assess the installation and, if necessary, reposition or protect the wiring in accordance with current electrical standards and safety requirements.

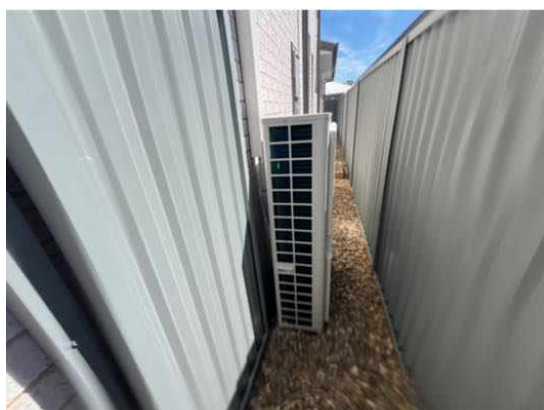


Finding 1.03

Building:	Main Building
Location:	Exterior walls - right side
Finding:	Air Conditioning - Electrical Fault Indicated
Information:	The air-conditioning system was observed to trip the main circuit via the residual current device (RCD) during operation. Tripping of an RCD indicates the presence of an electrical fault condition, such as current leakage, which may be associated with the air-conditioning unit, associated wiring, or connected components.

While the RCD is functioning as intended to protect occupants, repeated tripping indicates an underlying issue that requires attention. If left unmanaged, this condition may affect the reliability of the electrical system and presents an ongoing safety concern.

It is recommended that a licensed electrician assess the air-conditioning system and associated electrical components to identify the cause of the RCD tripping and carry out any necessary rectification.



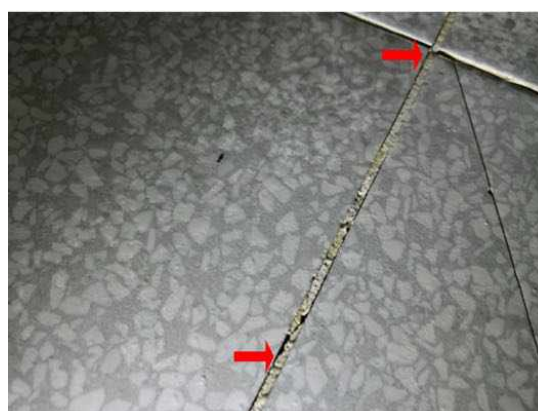
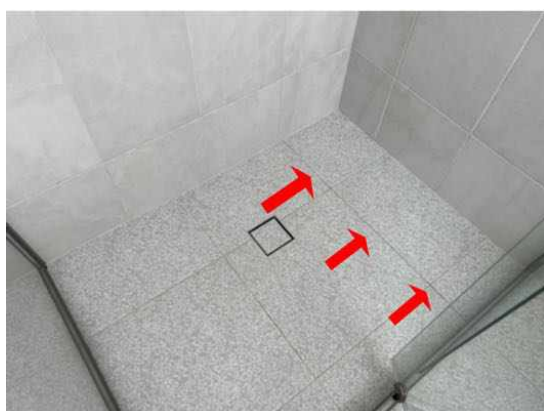
Major Defect

Finding 2.01

Building:	Main Building
Location:	Bathroom > Upstairs
Finding:	Shower Recess - Drummy and Popped Tiles
Information:	Grout deterioration and several popped or drummy tiles were observed within the tiled shower recess. Drummy or loose tiles indicate that the bond between the tile and substrate has weakened, likely due to moisture ingress, thermal movement, or substandard installation at the time of tiling.

This condition compromises the waterproofing integrity of the recess, allowing moisture to track behind the tiles and into concealed wall or floor structures. If left unmanaged, progressive water penetration may result in mould development, decay of framing materials, and deterioration of finishes.

A qualified tiler should be engaged to assess the extent of detachment and replace affected tiles to restore proper bonding and surface waterproofing.



Finding 2.02

Building:	Main Building
Location:	Verandah >
Finding:	Gutter Termination - Moisture Discharge to Wall

Information: The guttering was observed to terminate directly against the masonry wall without an appropriate end stop or formed termination detail. Sealant has been applied at the junction; however, staining and biological growth to the adjacent brickwork indicate ongoing moisture discharge at this location.

Gutters should be adequately terminated to prevent water escaping at wall interfaces. Discharge against masonry can allow moisture penetration into the wall cavity and contribute to deterioration of finishes and concealed structural elements over time.

This installation is considered substandard and poses an elevated risk of water ingress. Assessment and rectification by a licensed roof plumber or registered builder is recommended.



Finding 2.03

Building: Main Building
 Location: Roof Exterior
 Finding: Roof plumbing - Flashing inadequate
 Information: Some sections of the roof were observed to be missing or fitted with inadequate flashings at junctions between roof coverings and adjoining building elements. Flashings are installed to seal and protect intersections and transitions within the roof system and to direct water away from vulnerable areas.

Where flashings are missing, incorrectly installed, or inadequately detailed, there is an increased risk of water penetration into concealed building components. Ongoing moisture exposure may result in deterioration of building materials and the development of secondary defects if not addressed.

A licensed roofing plumber should be appointed to assess the affected areas and install or rectify flashing details as required to ensure adequate weatherproofing and roof plumbing performance.



Finding 2.04

Building:

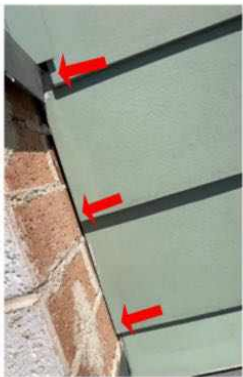
Main Building

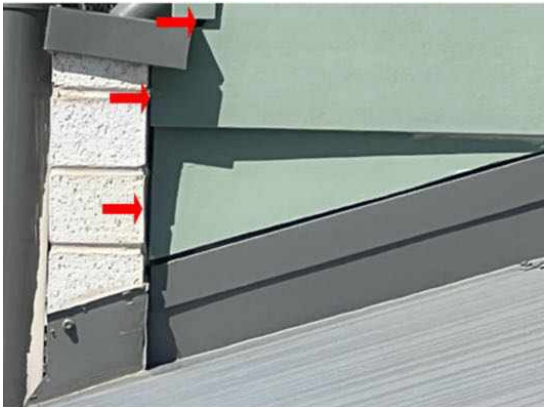
Location: Exterior walls - 1st floor > Upstairs
Finding: Cladding to Masonry Junction - Inadequate Flashing
Information: The upper lightweight cladding was observed abutting directly against the brick half-wall without a clearly defined or compliant flashing detail at the junction. Noticeable separation gaps were present where the cladding interfaces with the masonry structure.

Junctions between differing materials are particularly vulnerable to moisture ingress where appropriate flashing and weatherproof detailing is incomplete or absent. The absence of a visible flashing at this interface increases the likelihood of water penetration behind the cladding system and into concealed wall cavities.

Prolonged moisture exposure in these areas may result in deterioration of framing members, corrosion of fixings, and damage to internal finishes. Given the exposed location and visible detailing deficiencies, this condition presents an elevated risk of concealed moisture ingress and is considered a major defect.

Further assessment by a licensed roof plumber or registered builder is recommended to determine the adequacy of the installation and to address any required remedial works.





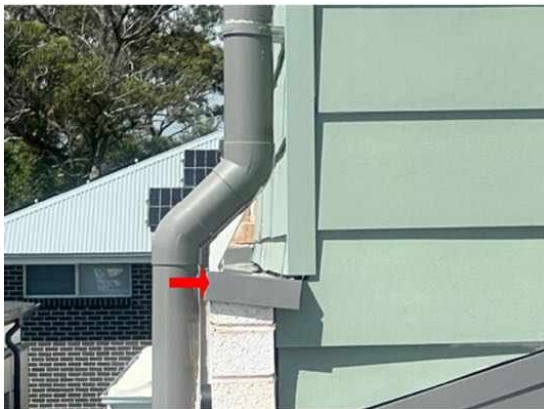
Finding 2.05

Building: Main Building
Location: Exterior walls - 1st floor > Upstairs
Finding: Parapet Flashing - Negative Fall
Information:

The parapet flashing to the upper-level roof area was observed to be installed with a fall directed back toward the wall rather than away from the structure. Flashings are intended to shed water away from building elements, and incorrect fall may allow water to pond or track toward the building envelope.

Where parapet flashings do not adequately discharge water, there is an increased risk of moisture penetration into adjoining cladding and wall systems. If left unmanaged, this condition may lead to concealed deterioration of internal building elements.

It is recommended that a registered builder assess the parapet flashing installation and undertake rectification as required to ensure adequate drainage and weatherproofing.





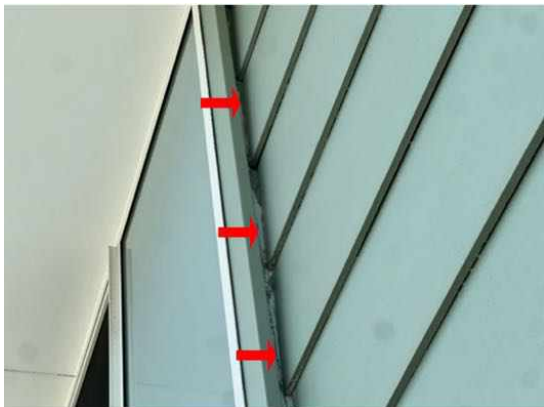
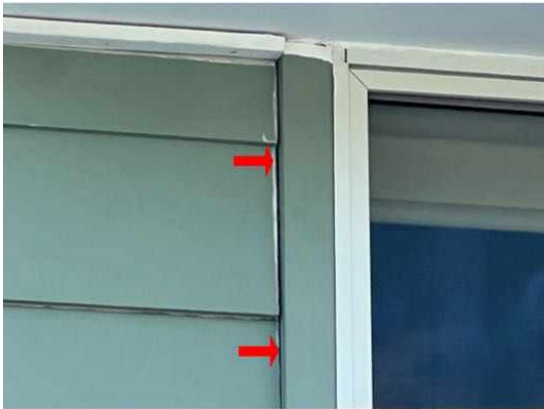
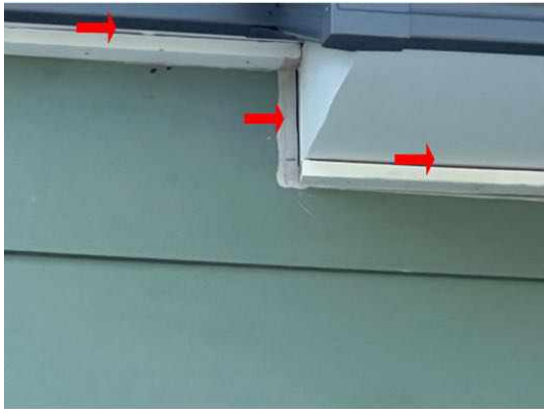
Finding 2.06

Building:	Main Building
Location:	Exterior walls - 1st floor > Upstairs
Finding:	Window Trims - Inadequate Sealing to Cladding
Information:	Gaps were observed between the external cladding boards and window trims, with junctions not sealed using an appropriate flexible sealant. Inconsistent detailing was noted, including trims installed over the face of cladding in some locations and cladding butting into trims in others without effective sealing. Based on visual assessment, the installation appears substandard and not in keeping with typical weatherproof detailing practices.

Perimeter junctions around windows are particularly susceptible to moisture ingress where sealing and detailing are incomplete. Unsealed interfaces at these locations increase the risk of water penetration into concealed wall cavities, which may lead to deterioration of framing members, corrosion of fixings, and damage to internal linings over time.

Further assessment by a registered builder is recommended to determine the adequacy of the installation and to address the weatherproofing detailing as required.





Minor Defect

Finding 3.01

Building:	Main Building
Location:	Entry
Finding:	Flooring - Uneven on slab
Information:	The internal flooring in this area is out of level and uneven. Uneven flooring is likely to indicate the floor installed over a concrete slab is not level, showing noticeable unevenness across the surface.

An unlevel floor can create aesthetic issues, such as visible gaps between boards and uneven transitions at doorways, which detracts from the overall appearance. Functional problems may arise, including difficulty in closing doors, improper furniture placement, and increased wear on floor finishes. Significant unevenness may indicate underlying issues with the concrete slab, such as settling, moisture problems, or inadequate preparation during installation, which could compromise the integrity of the flooring system.

Consult a Flooring specialist or a registered builder to assess the extent of the unevenness and determine the underlying causes.

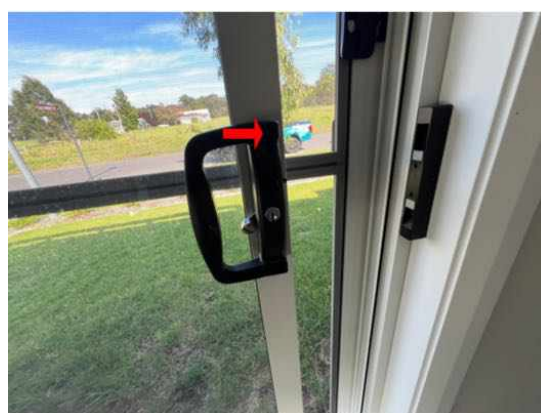
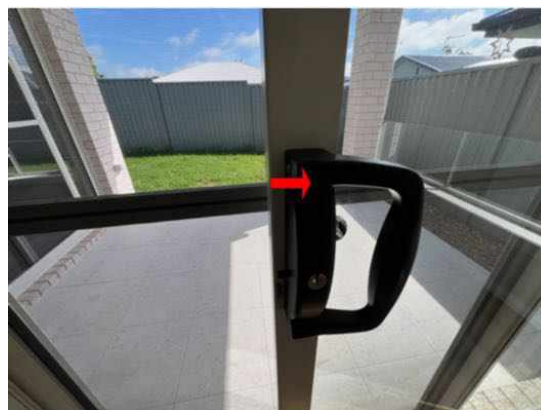
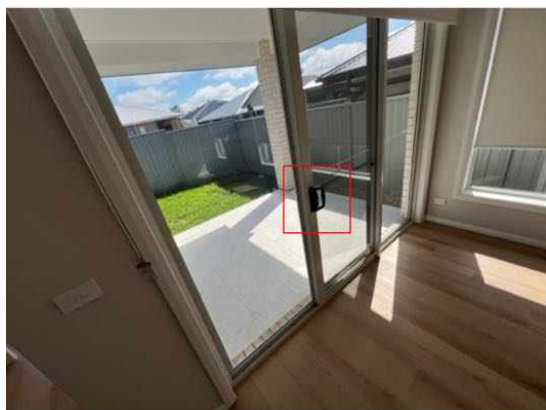


Finding 3.02

Building:	Main Building
Location:	Bedroom - Guest, Dining Room
Finding:	Door Handle - misaligned/loose
Information:	The door handle in this area was found to be misaligned/loose at the time of inspection. Breakage occurs generally when the building materials have aged and decayed, but may be indicative of impact damage (accidental or deliberate).

Adjustment/securing of door handle is advised to improve the operational state of the associated door.

A qualified carpenter or general handyman should be appointed to repair the door handle at the client's discretion.



Finding 3.03

Building:	Main Building
Location:	Walk-In Robe - Guest
Finding:	Laminate Floor – Board Separation
Information:	Sections of the floating laminate flooring were observed with visible separation between adjoining boards. The flooring is installed over a concrete slab and no expansion joints were identified throughout the floor area. Floating floor systems rely on adequate expansion allowances to accommodate natural movement, and the absence of these joints can lead to board separation or uneven gaps forming over time.

While the condition appears cosmetic, it may indicate installation practices that do not fully align with manufacturer recommendations. Further advice should be sought from a qualified flooring installer if confirmation of installation quality or long-term performance is required.

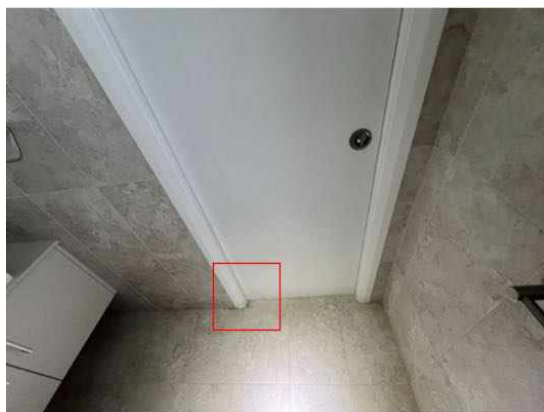


Finding 3.04

Building:	Main Building
Location:	Ensuite - Guest
Finding:	Cavity Sliding Door – Door Guide Missing
Information:	The cavity sliding door was noted to be misaligned or not running correctly within its floor or wall guide. This condition is typically caused by loose fixings, missing door guides, movement within the door frame, or lack of proper adjustment to the guide mechanism.

If left unadjusted, the door may scrape, jam, or fail to close properly over time.

A carpenter should be engaged to realign and adjust or install door guides to ensure smooth and correct operation.

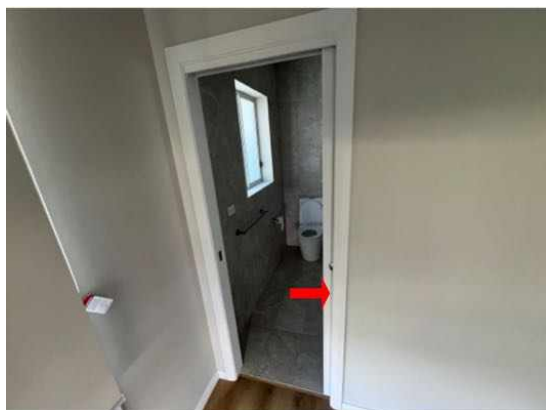


Finding 3.05

Building:	Main Building
Location:	Ensuite - Guest
Finding:	Cavity Slider Door - Scratched Surface
Information:	A scratch was observed on the cavity slider door at the time of inspection. The damage appears to have been caused by a protruding nail or fixing inside the door pocket, which has made contact with the door surface during operation.

If left unmanaged, continued use of the door may result in further deterioration of the door surface and potential operational issues.

It is recommended that a qualified carpenter be engaged to assess and rectify the issue by removing or adjusting the protruding fixing and, if necessary, repairing or refinishing the affected door surface.



Finding 3.06

Building:	Main Building
Location:	Ensuite - Guest
Finding:	Tiles - Cracked or damaged
Information:	Cracking was evident to the tiling in this area at the time of inspection. While the cracking appears to be minor, this area is frequently exposed to water, allowing potential for water penetration into adjoining sections of walls or flooring.

If left unmanaged, water penetration to these areas may lead to subsequent water damage, which is likely necessitate repair work to affected building elements.

A tiling contractor should be appointed to ensure that no further water damage occurs. The re-application of silicone and grouting throughout remaining tile work is also advised, to further protect the area against water penetration.

Where water penetration has led to water damage, appointment of a relevant tradesperson may be required to repair damaged building elements.



Finding 3.07

Building:	Main Building
Location:	Ensuite - Guest, Ensuite - Master, Bathroom
Finding:	Shower base - Water pooling
Information:	Evidence of water pooling around the floor waste in the shower recess was noticed at the time of inspection. It is suspected that this excessive moisture is attributed to insufficient fall in the shower floor tiles.

This pooling is minor overall but is still considered unsatisfactory, as standard tiling practices would not permit this situation to occur. Pooling water around floor wastes can create a slip hazard in extreme cases and create conditions that are conducive to mould growth over time. Where left unmanaged, the degradation of sealant and grouting is also likely to occur, possibly necessitating further repair works.

Remedial works may involve some sections of tiling and flooring repair and replacement. A tiling contractor or bathroom specialist should be appointed to provide further advice on reparation options and to perform works as necessary.





Finding 3.08

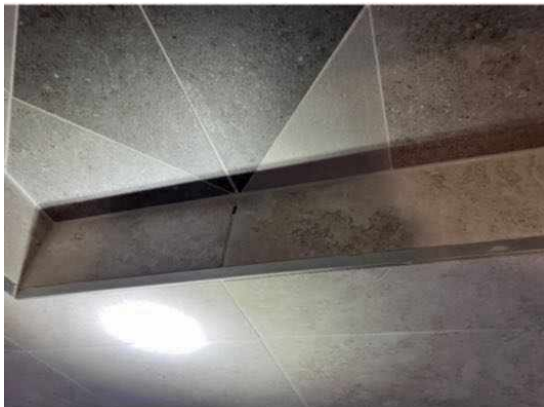
Building:	Main Building
Location:	Ensuite - Guest, Ensuite - Master, Bathroom
Finding:	Sealant and grouting - Missing or damaged
Information:	It was noted on inspection that sealant or grout is degraded to the tiled shower alcove and or other areas of the bathroom.

Different materials and floor areas move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

There appears to be excessive mould to the sealant and grout which will likely require scraping out and replacement.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible







Finding 3.09

Building: Main Building
Location: Ensuite - Guest, Ensuite - Master, Bathroom
Finding: Shower screen - active leak
Information: A active leak was identified to the shower screen, likely due to deteriorated or inadequate sealant. If left unmanaged, water ingress may lead to damage to adjacent walls and flooring, as well as creating conditions conducive to mould growth.

Resealing is recommended to restore a watertight seal and prevent further deterioration.





Finding 3.10

Building: Main Building

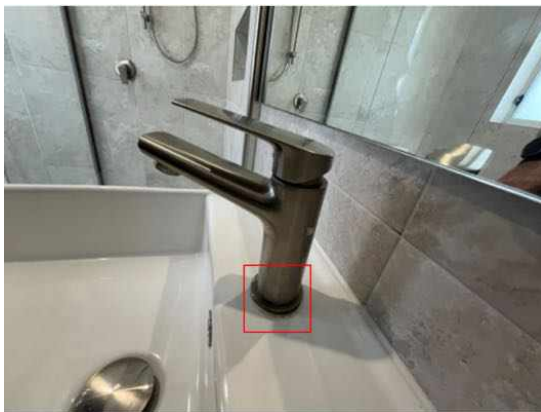
Location: Ensuite - Guest, Ensuite - Master, Bathroom

Finding: Tap - Loose at connection

Information: The tap was observed to be loose at its connection point at the time of inspection. This condition is commonly caused by poor installation, deterioration of sealant, or movement in the fixture over time.

The tap may lead to water leakage behind the wall/floor, potentially causing moisture damage and deterioration of associated building elements if left unmanaged.

It is recommended that a licensed plumber be engaged to assess and properly secure the tap to prevent further movement and potential water ingress.





Finding 3.11

Building: Main Building
 Location: Garage
 Finding: Door - Broken handle
 Information: The door handle in this area was found to be broken at the time of inspection. Breakage occurs generally when the building materials have aged and decayed, but may be indicative of impact damage (accidental or deliberate).

Repair and/or replacement of the broken door handle is advised to improve the operational state of the associated door.

A qualified carpenter or general handyman should be appointed to repair/replace the door handle at the client's discretion.



Finding 3.12

Building: Main Building
 Location: Garage
 Finding: Timber - Water Stained
 Information: Water staining was observed to sections of the timber element. The staining pattern indicates intermittent or prolonged exposure to moisture rather than a single isolated event.

Continued moisture exposure may result in deterioration of protective coatings and surface finishes, increasing the risk of timber degradation over time. If left unmanaged, this condition may contribute to swelling, surface breakdown, or decay of the affected timber.

Further investigation is recommended to identify the source of moisture and determine whether remedial works are required. Maintenance or repair may include drying, surface treatment, or repair of affected timber elements, depending on the extent of deterioration.



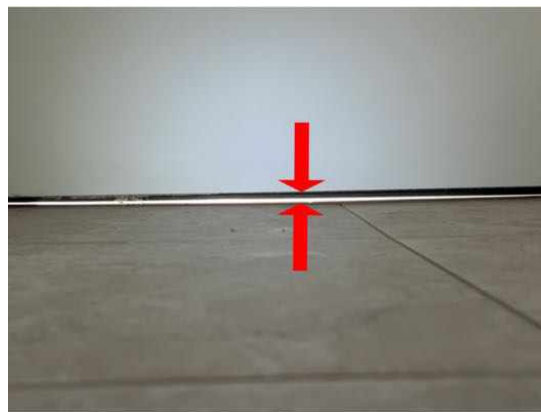
Finding 3.13

Building: Main Building

Location: Laundry

Finding: Door - weather seals (inadequate)

Information: The weather seals to the external door appear to be either missing, incomplete, or inadequately installed. Properly fitted weather seals are essential for preventing air and water infiltration, improving energy efficiency, and ensuring compliance with standard construction practices. Where seals are not installed correctly, gaps may allow drafts, moisture ingress, or pest intrusion. The fix out carpenter should assess the installation and undertake corrective work as required to ensure the weather seals are fitted to an acceptable standard.



Finding 3.14

Building:	Main Building
Location:	Toilet (WC)
Finding:	Joinery - Incomplete or substandard works
Information:	The joinery to this area appear to be incomplete or have been completed to a substandard level.

Works that have not been completed to a satisfactory level create potential for the development of building defects and may impede on the safety and integrity of the overall structure.

It is highly recommended that a joiner/cabinetmaker be appointed to complete these works and ensure the safety of the area and the longevity of all associated building elements.



Finding 3.15

Building:	Main Building
Location:	Kitchen
Finding:	Shelving - water damage
Information:	Water damage was observed to the shelving within the sink cabinet. This type of defect is typically caused by prolonged moisture exposure from minor plumbing leaks,

condensation, or poor sealing around fixtures and fittings.

If left unmanaged, water ingress can lead to swelling, delamination, or deterioration of the joinery, potentially compromising its functionality and hygiene. Moist conditions in enclosed cabinetry may also create an environment conducive to mould or timber pest activity.

It is recommended that a licensed plumber be engaged to inspect the sink plumbing for leaks or seepage. A cabinetmaker or qualified joiner may also be required to replace the affected shelving or restore the unit where practical.

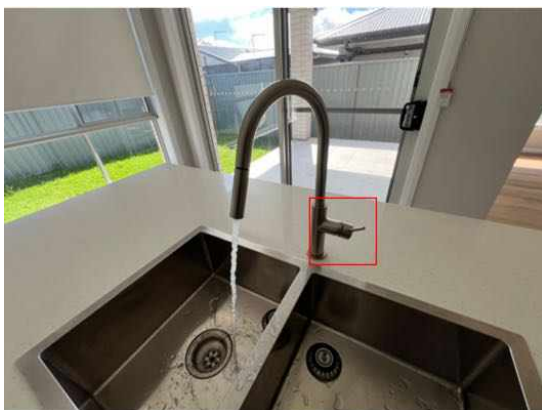


Finding 3.16

Building:	Main Building
Location:	Kitchen
Finding:	Tap - Water hammer
Information:	This tap shows evidence of water hammer being present. Water hammer, a pressure surge resulting when a fluid is forced to suddenly change direction, is a common defect in plumbing fittings, particularly those that are aged and not frequently maintained. Water hammer is generally caused by factors that create high water pressure in the affected plumbing fixture, usually evidenced by a faint banging noise during operation of the affected tap.

Although water hammer is generally considered to be a minor defect, subsequent damage such as erosion of tap hardware and/or water damage to associated building elements is likely to occur if left unmanaged.

A licensed plumber should be appointed as soon as possible to replace any affected tap hardware and perform any remedial works as necessary. Please be advised that the appointment of a cabinet maker or qualified carpenter may be necessary if water damage to associated building elements has occurred.



Finding 3.17

Building:	Main Building
Location:	Kitchen
Finding:	Mixer (veggie sprayer) - counterweight
Information:	The counterweight for the mixer with a veggie sprayer is obstructed by the plumbing beneath the benchtop, preventing smooth retraction of the hose. This issue is typically caused by insufficient clearance or poor positioning of the plumbing in relation to the mixer assembly. Where movement is restricted, the functionality of the sprayer is compromised, leading to potential strain on the fittings. The responsible plumber should assess the installation and undertake corrective work as required to ensure the counterweight operates freely without obstruction.



Finding 3.18

Building:	Main Building
Location:	Living Room 2 > Upstairs
Finding:	Ceiling - Incomplete or substandard works
Information:	The ceiling patch to this area appear to be incomplete or have been completed to a substandard level.

Works that have not been completed to a satisfactory level create potential for the development of building defects and may impede on the safety and integrity of the

overall structure.

It is highly recommended that a licensed plasterboard contractor should be appointed to repair the ceiling. To ensure the safety of the area and the longevity of all associated building elements.



Finding 3.19

Building: Main Building
 Location: Living Room 2 > Upstairs
 Finding: Cavity Sliding Door – Guide Out of Alignment
 Information: The cavity sliding door was noted to be misaligned or not running correctly within its floor or wall guide. This condition is typically caused by loose fixings, movement within the door frame, or lack of proper adjustment to the guide mechanism.

If left unadjusted, the door may scrape, jam, or fail to close properly over time.

A carpenter should be engaged to realign and adjust the door guide to ensure smooth and correct operation.





Finding 3.20

Building:	Main Building
Location:	Ensuite - Master, Bathroom > Upstairs
Finding:	Moisture in Shower
Information:	Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp. Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.

Consultation with a qualified plumber or bathroom specialist is advised to identify the cause of damp and to perform remedial works as required.

Please note, the moisture meter used operates on the principle of electrical impedance, generating a low-frequency alternating electric field between its electrodes. The instrument measures moisture content within the material at a maximum depth of 19mm below the surface, rather than on the surface itself.

As a result, surface moisture such as residual water on shower tiles does not influence the reading, ensuring that the measurement reflects subsurface moisture levels within the building material, not superficial wetness.



Finding 3.21

Building: Main Building
Location: Bathroom > Upstairs
Finding: Door Handle - Loose
Information: The door handle in this area was identified as loose at the time of inspection. A loose door handle can impede the proper operation of the door and, if left unattended, may lead to further deterioration or damage to the associated door structure.

This defect is typically caused by wear and tear, insufficient fixing, or deterioration of the handle's components.

It is recommended that a qualified carpenter or general handyperson be appointed to secure or replace the handle to restore its functionality and ensure proper operation.



Finding 3.22

Building: Main Building
Location: Bathroom > Upstairs
Finding: Bath spout - Loose
Information: The bath spout was observed to be loose at its connection point at the time of inspection. This condition is commonly caused by poor installation, deterioration of sealant, or movement in the fixture over time.

A bath spout may lead to water leakage behind the wall/floor, potentially causing moisture damage and deterioration of associated building elements if left unmanaged.

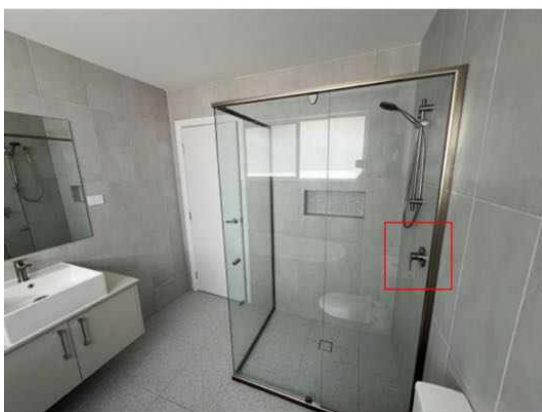
It is recommended that a licensed plumber be engaged to assess and properly secure the spout to prevent further movement and potential water ingress.



Finding 3.23

Building:	Main Building
Location:	Bathroom > Upstairs
Finding:	Mixer Tap - damage
Information:	The mixer tap was identified as damaged at the time of inspection. Damage to the mixer tap may impair its functionality, including water flow control, and may result in leaks over time, leading to potential water damage to surrounding cabinetry and building elements.

It is recommended that a licensed plumber be appointed to inspect the mixer tap and undertake necessary repairs or replacement to ensure the fixture operates as intended.



Finding 3.24

Building:	Main Building
Location:	Verandah
Finding:	Grout - Missing
Information:	Grout is missing in this area. Grout is used to protect gaps and crevices in building materials to ensure that they are water-tight and prevent water penetration to the associated structures.

Where grout is missing, a tiling contractor should be appointed immediately to apply grout and re-apply any silicone where necessary. Failure to do so is likely to lead to water damage to the surrounding area.



Finding 3.25

Building:	Main Building
Location:	Exterior walls - right side
Finding:	Paint finish - Incomplete
Information:	The paint finish in this area was identified as being incomplete at the time of inspection.

Whilst incomplete or missing paint finish is generally an appearance defect, it can also lead to the development of secondary building defects over time. Incomplete areas of paint finish expose the area to moisture, potentially accelerating the deterioration of underlying building materials.

Incomplete paint finishes should be sanded back, filled, leveled and painted, as applicable. Where inadequate or missing paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

A painting contractor should be appointed as soon as possible to perform necessary works to aid the appearance of the affected area and to ensure the area is protected against further deterioration. Alternatively, the homeowner following manufacturer instructions may perform these works.



Finding 3.26

Building:	Main Building
Location:	Exterior walls - right side
Finding:	Window Sill Seals - damaged/compromised
Information:	The window seals have been damaged/compromised at the time of installation and subsequent failure to provide adequate protection and coverage. Due to frequent exposure to weather conditions and subsequent moisture, will lead to water ingress, energy loss and even pest entry.

Where window seals have not fully covered the gap between the brickwork and window, the window is no longer weather-tight; rain penetration and subsequent water damage is therefore likely to ensue. Insulation of the area against external weather conditions will also be compromised.

It is recommended that all window sill seals be replaced by a general handyman or sealant expert to prevent any further damage and to restore the window to a fully functional level.



Finding 3.27

Building:	Main Building
Location:	Exterior walls - 1st floor

Finding: Paint finish - Substandard

Information: The paint finish in this area was found to have been completed to a substandard level. Substandard painting is generally classified as an appearance defect. However, the substandard appearance may also be indicative of poor surface preparation and substandard workmanship.

If this applies, further areas of poor and incomplete finishes could develop over time. Furthermore, substandard paint finishes in areas exposed to moisture, e.g. external areas or wet areas, could lead to deterioration of underlying building materials.

Substandard paint finishes should be sanded back, filled, leveled and repainted, as applicable. Where inadequate paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

A painting contractor should be appointed as soon as possible to perform necessary works to aid the appearance of the affected area and to ensure that the area is protected against further deterioration. Alternatively, the homeowner following manufacturer instructions may be able to provide this service.

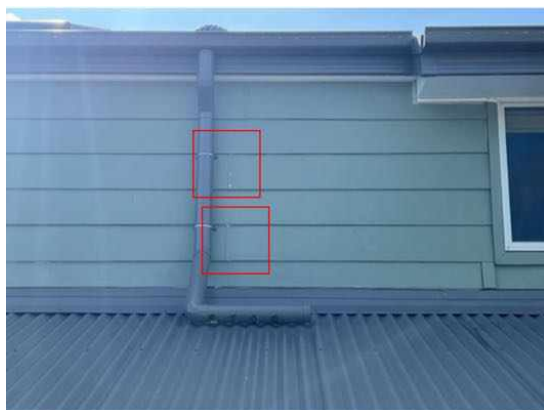




Finding 3.28

Building: Main Building
Location: Exterior walls - 1st floor
Finding: Cladding - Joining Strips Slipping / Insecure
Information: Cladding joining strips were observed to be slipping or not fully engaged with adjoining boards in several areas. While no immediate structural failure was evident, loose joining components may allow movement and create minor gaps over time.

These areas should be monitored and secured to maintain alignment and performance of the cladding system.



Finding 3.29

Building:	Main Building
Location:	Verandah
Finding:	Gutters - Water pooling
Information:	Water was found to be pooling in sections of the roof guttering. This is generally a secondary defect caused by blocked or partially blocked gutters. Such blockages and subsequent water pooling are likely to lead to rust and water damage to associated structures if left unattended.

Any areas of guttering that shows evidence of water pooling should be checked for partial or full blockages and any secondary damage that may have occurred as a result. Depending on the extent of the damage, building elements may require repair and/or replacement to ensure adequate roof drainage and function of exterior plumbing system.

A roofing plumber should be appointed as soon as possible to rectify this issue. It is highly advised that all gutters be maintained on a frequent basis to ensure the condition of roof plumbing.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Main Building
Location:	Ensuite - Master, Bathroom
Finding:	Moisture in Shower (Photos shown in previous defect section)
Information:	Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp. Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.

Consultation with a qualified plumber or bathroom specialist is advised to identify the cause of damp and to perform remedial works as required.

Please note, the moisture meter used operates on the principle of electrical impedance, generating a low-frequency alternating electric field between its electrodes. The instrument measures moisture content within the material at a maximum depth of 19mm below the surface, rather than on the surface itself.

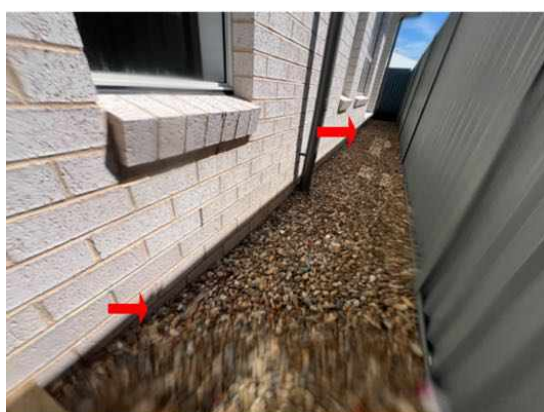
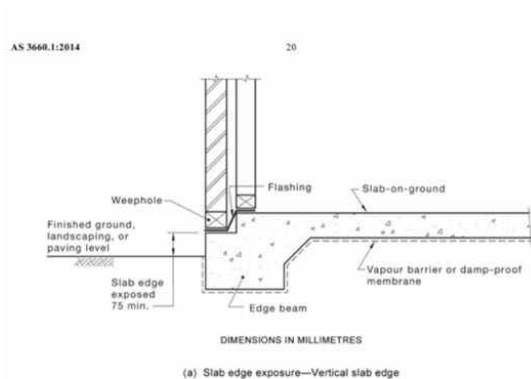
As a result, surface moisture such as residual water on shower tiles does not influence the reading, ensuring that the measurement reflects subsurface moisture levels within the building material, not superficial wetness.

Finding 6.02

Building:	Main Building
Location:	All External Areas
Finding:	Slab Edge - Exposure
Information:	An inspection zone of at least 75mm in relation to the exposed slab edge, between the bottom brick and the perimeter pavement, is required. This inspection zone should be maintained in order to force termites into the open where they can be detected more readily during regular inspections. The slab edge should not be concealed by anything that may prevent inspection of the area, including render, landscaping, soil, turf, paving, concrete cladding or other structures.

If the slab edge is not properly exposed there is a high risk of termite attack. Sometimes, in order to determine the type of slab, a suitably qualified person such as an architect or builder may be required to consult the construction plans.

Where the slab edge cannot be properly inspected, it is highly recommended that termite or timber pest inspections be carried out every 6-12 months to aid protection of the property against infestation.



Finding 6.03

Building: Main Building
 Location: Verandah, Alfresco
 Finding: Bridging of physical termite barriers - Concrete Patio
 Information: The tiled concrete pad to the verandah and alfresco including other areas directly abuts dwelling causing bridging. Bridging is the span of a physical termite barrier or inspection zone so that subterranean termites have an entry point over or around that barrier.

Where a concrete patio is retrospectively installed against an external wall, this provides a concealed entry point for termites.

The client should consider obtaining further advice from a timber pest technician regarding treatments required in this area. It is recommended that obtaining such

advice be a short-term priority.



Finding 6.04

Building: Main Building
 Location: Pergola
 Finding: Bridging of termite barrier - Posts.
 Information: Posts that are attached to home from ground to structure without a 75mm inspection zone (metal stirrup) causes a bridging point. Bridging of termite barriers occurs when termites bridge (usually by building a mud tunnel) a termite barrier or inspection zone or where termites have a passage allowing them to bridge the barrier.

Generally this takes the form of finished ground levels external paving or concrete being retrospectively installed above the damp course level the adjacent internal floor level or weep and ventilation holes.

Where bridging has occurred full inspection is prevented and termites may enter a property in a concealed or undetectable manner.

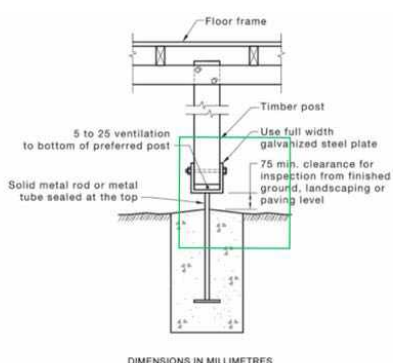


FIGURE 3.1(D) METAL STIRRUP AS ALTERNATIVE TO SHEETING FOR POSTS



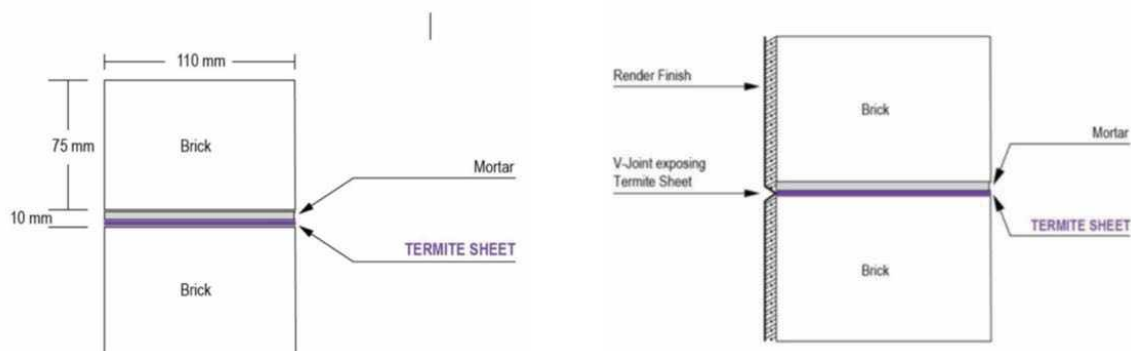


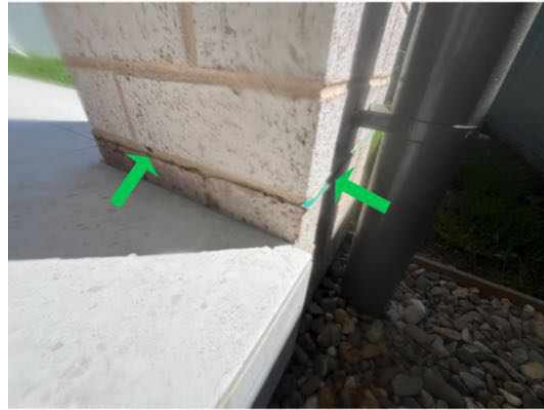
Finding 6.05

Building: Main Building
 Location: Verandah, Alfresco
 Finding: Bridging of termite barrier - brick piers.
 Information: Brick pier that are attached from ground to structure without a visible inspection zone (barrier 75mm AFL) causes a bridging point. Bridging of termite barriers occurs when termites bridge (usually by building a mud tunnel) a termite barrier or inspection zone or where termites have a passage allowing them to bridge the barrier.

Generally this takes the form of finished ground levels external paving or concrete being retrospectively installed above the damp course level the adjacent internal floor level or weep and ventilation holes.

Where bridging has occurred full inspection is prevented and termites may enter a property in a concealed or undetectable manner.





Finding 6.06

Building:	Main Building
Location:	All External Areas
Finding:	Bridging - Attachments to Buildings.
Information:	Bridging occurs when items against a building provide a concealed entry point for termites into the building or by passing around a termite management system.

Where any part of an attachment to a building is not isolated and is not provided with a clear gap of not less than 25mm from the building, bridging occurs. Attachments to buildings such as hot water services, downpipes, verandahs, decks, steps, fences, service conduits and the like provide the opportunity for concealed entry.

Building attachments of this nature need to be frequently inspected for termite activity by a qualified inspector



Finding 6.07

Building:	Main Building
Location:	Verandah
Finding:	Evidence of excessive moisture was present at the time of inspection (Photos shown in previous defect section)
Information:	Excessive moisture can attract termites and produce conditions that promote termite attack, fungal growth and wood decay. Excessive moisture is generally caused by deteriorated, inadequate or missing roof drainage, leaking plumbing pipes or fixtures, poorly plumbed HWS overflows or condenser units and poor site drainage. It is highly recommended that all plumbing and drainage fixtures and fittings be maintained regularly in order to prevent excessive moisture being present in the external / internal property.



Finding 6.08

Building:	Yard
Location:	Yard - Front
Finding:	In ground contact
Information:	Any timbers in direct ground contact provide opportunity for concealed termite entry and are likely to be subject to premature rot and decay as the soil retains moisture or damp conditions against the timbers.

Remove untreated timber that is in direct contact with external grounds. Consider replacement with more durable materials i.e. treated timber or non timber elements. Frequent pest inspections are advised to readily identify any termite activity in these areas.



Evidence of fungal decay activity and/or damage

No evidence was found

Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Licensed Electrician
- Licensed Plumber
- Licensed Plumber specialising in Roof Plumbing
- As identified in summary and defect statements
- Registered/Licensed Builder
- Termite and Timber Pest Technician / Licensed Pest Controller
- Surveyor

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- BUILDING

The building when compared to others of similar age and construction at the time of inspection, is in the condition stated in Section A - Overall Condition (Building) and risk rating of unidentifiable defects is stated in Section C Accessibility - Undetected defect risk (Building).

Obstructions were present as stated in Section C Accessibility - Obstructions and Limitations.

All room numbers are labeled from right to left as walking through the property from the front door through each level.

Please be aware that limitation's did affect the inspection and areas like low clearance, insulation, mechanical ventilation, ducting, stored items, garden vegetation, meant that some areas was obstructed.

No access was available to the roof void to the lower roof ONLY at the time of inspection. A visual inspection was not carried out. It is recommend to install a roof access in one or more accessible areas for a re-inspection.

It is recommended that all minor defects along with any maintenance advise provided are actioned to prevent theses defects from escalating into major defects or safety hazards.

The building compared to others of a similar built of age of construction appears to be mostly in GOOD condition. It does however have maintenance issues that will require attention and remedial maintenance.

Please note the following key items;

- Excessive movement was noted to the upstairs stair balustrade, presenting a safety risk.

- Exposed electrical wiring was observed at the upstairs manhole access within the walk-in robe, presenting a safety hazard.

- An electrical fault was indicated to the air conditioning system at the exterior right side, requiring further investigation.

- Drummy and popped tiles were identified to the upstairs shower recess, indicating likely substrate or waterproofing concerns.

- Defective gutter termination to the verandah was discharging moisture against the wall, resulting in visible staining and risk of deterioration.

- Inadequate or missing roof flashings were observed to sections of the roof, increasing the risk of water penetration to internal building elements.

- Inadequate flashing was observed at the first floor cladding to masonry junction, increasing the risk of moisture ingress.

- Parapet flashing to the first floor exhibited negative fall, which may lead to water ponding and premature deterioration.

- Window trims to the first floor were inadequately sealed to the cladding, creating a risk of water penetration at wall openings.

Left unmanaged some of these defects may become costly in the future and develop into more major defects over time.

Note that if the baths, showers, toilets , vanities, kitchens etc. are not used, or have not been used for some time, moisture readings would not vary significantly and this can lead to erroneous results. It is not possible under the visual inspection criteria (under which a prepurchase inspection is carried out) to categorically determine if there are leaks. If a more accurate assessment is required, a special purpose inspection should be requested. Alternatively, the assumption should be made that the shower may leak.

AS ALL DEFECT ARE NOT LISTED IN THE SUMMARY, IT IS IMPORTANT TO READ EVERY DEFECT IN THE REPORT INDIVIDUALLY AND ASK FOR ANY CLARIFICATION THAT YOU MAY REQUIRE.

-TIMBER PEST

The building when compared to others of similar age is in the condition stated in Section A - Overall Condition (Timber Pest) and risk rating of unidentifiable defects is stated in Section C Accessibility - Undetected defect risk (Timber Pest).

Obstructions were present as stated in Section C Accessibility - Obstructions and Limitations.

There are areas that are conducive to timber pest attack and should be monitored on regular basis.

A Timber Pest Management Plan should be implemented and maintained for this property by engaging a Pest Management Technician. Due to the degree of risk of subterranean termite infestation, we strongly recommend that a full chemical termite management system be installed to the property and inspections in accordance with AS 4349.3 or AS 3660.2:2017 is conducted at this property not exceeding 12 months (or as otherwise recommended by the pest control company installing the system).

Note: Regular inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, a moisture meter reading of susceptible areas, sounding of timber elements using a tapping device, visual assessment of materials affected by moisture or signs of deformity, mud trails and bridging constructed by termites, irregular and regular shaped holes in timber elements indicating pest destruction. Termite activity generates high temperatures and moisture and if this irregularity is found it can be grounds for further investigation.

Please be aware evidence of termites, including damage, may be present to concealed and inaccessible timbers, and would only be found if exposed by invasive means. Wall paneling, wall paper, carpet and fixed cabinetry can obscure termite activity.

ADDITIONAL INVASIVE AND NON INVASIVE TESTS

These tests involve the use of limited invasive techniques or additional specialist equipment intended to allow assessment of building components or areas not accessible or not covered by a Standard Timber Pest Inspection. Recommendations for additional tests are often as the result of a Standard Timber Pest Inspection and for this reason, additional tests would usually be carried out following a Standard Timber Pest Inspection. Additional specialist tests (special purpose reports) include but are not limited to: thermal imaging; movement detectors (Termatrac™); viewing devices (borescope); termite detection dogs; removal or drilling of building components.

Trees and stumps, where present, have been visually inspected up to a 2 meter height where possible and practicable, for evidence of termite activity.

It is very difficult, and generally not possible to locate termite nests when they are underground and if within trees they are usually well concealed. We therefore strongly recommend trees and stumps be

test drilled for evidence of termite nests.

AS ALL DEFECT ARE NOT LISTED IN THE SUMMARY, IT IS IMPORTANT TO READ EVERY DEFECT IN THE REPORT INDIVIDUALLY AND ASK FOR ANY CLARIFICATION THAT YOU MAY REQUIRE.

For further information, advice and clarification please contact Richie Reinikka on: 0438 465 646

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
 Location:
 Finding: FYI - Obstructions and Limitations
 Information: Obstructions can hide an array of defects and should be removed where possible to allow full inspection to be carried out. List of obstructions can be found in section C Accessibility - Obstructions and Limitations.

These are typically like ceiling and wall linings, Built-in-Cabinetry, Floor covering, Furniture, Insulation etc. Photos can be seen in additional photos section.

It is noted that the presence of obstructions can never be fully removed. While we are able to remove some of these obstructions in vacant properties, there are others such as the lining of walls, low pitch roofs, insulation, and flooring that can never be fully removed, as it is not financially viable.

As a result, there will always be some risk present due to these types of obstructions.

It is important to be aware of this when considering the purchase of the property.

Noted Item

Building: Main Building
 Location:
 Finding: Plumbing and Electrical - Outside of the scope of this inspection
 Information: Plumbing and electrical inspections are outside the scope of the building inspection and must be conducted by a Licensed and registered Trades person.

It is highly recommended that the client makes immediate arrangements to have the gas appliances checked by a licensed gas plumber to ensure that the appliances are working safely and efficiently.

Whilst we note and comment of visually apparent defects that present during the building inspection, legislation requires the checking and documenting of compliance for plumbing and electrical requirements be done by licensed electrician and plumbers respectively to ensure they are functioning correctly.

Noted Item

Building: Main Building

Location:

Finding: Wet Area Limitations - Unoccupied or Infrequently Used.

Information: Where water services are connected, wet area components; including shower recesses, baths, vanities, troughs, toilets, and associated tiling, may be tested using brief water flow to identify any obvious signs of leakage.

It should be noted that these tests are limited in nature and may not detect slow or intermittent leaks, particularly in unoccupied homes where wet areas are not subject to regular use. Additionally, if silicone, liquid sealants, or masonry waterproofing products have been recently applied, they may temporarily mask defects. Such treatments are not permanent waterproofing solutions and may deteriorate over time.

The inspection is visual and non-invasive. Water testing is limited to short-duration observations and does not replicate prolonged, everyday use. As such, leaks or waterproofing failures may go undetected at the time of inspection and may only become evident after extended use of wet areas.

The absence of visible leakage at the time of inspection does not guarantee the long-term integrity of waterproofing systems. Regular monitoring and ongoing maintenance of all wet areas is strongly advised. Undetected leakage may lead to deterioration of building materials and create conditions conducive to timber pest activity.

Noted Item

Building: Main Building

Location:

Finding: FYI - Taps, drainage and toilets tested

Information: Taps, drainage and toilets were checked for water flow and drainage was checked for leakage.

Unless identified in a separate defect, no remedial work appears to be required on these items at the time of the inspection.

Photos may be shown in additional photos section.

NOTE: Please be aware that although cupboards have had a thorough inspection, obstructions in cupboards may conceal potential water damage, prevent a full inspection and conditions can change after the initial inspection was carried out, therefore damage may be found after obstructions are removed.

Noted Item

Building: Main Building

Location:

Finding: FYI - Windows and doors were tested for operations

Information: Windows and doors were tested during the inspection. Some windows and doors

were locked and/or affected by obstructions. Those that could be tested appeared to operate as intended at the time of the inspection.

Unless identified in a separate items, no remedial work is required on these items.

Photos may be shown in additional photos section.

Noted Item

Building: Main Building

Location:

Finding: FYI - Additional Photos

Information: Additional photos are provided for your general reference and may include obstructions, testing of water & windows, moisture readings or minor maintenance items.

















Noted Item

Building: Main Building
Location: Ensuite - Guest
Finding: Moisture in shower - No action required
Information: Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure.

Given that no moisture was detected around plumbing and at the other side of the wall, no action is required on this defect.

PS. The moisture meter that we use measures the electrical impedance of the sample by creating a low frequency alternating electric field between the electrodes and only measures moisture between 5-15mm deep from the surface and not the surface itself.

This means that although the shower surface may be wet, it does not affect the moisture reading.



Noted Item

Building: Main Building

Location: Garage
Finding: Cracking - External Concrete Paving Damage Category 0 - Hairline (less than 1mm)
Information: Hairline cracks were identified in external concrete paving. Hairline cracks are very minor in nature and generally are only ever an appearance defect. To be classified as a Category 0 or hairline crack, the crack width would be less than 0.3mm. While such cracking may be noticeable in some cases, it is common and does not indicate any structural damage.

Generally the cause of a hairline crack in existing concrete paving such as driveways and pathways is indicative of the expansion and contraction of the concrete. Such causes are generally due to environmental factors, such as moisture levels, weather conditions, root systems of nearby trees or the soil types on which they are laid.

Hairline cracks may also be due to poor original installation of the concrete. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.



Noted Item

Building: Yard

Location: Yard - Side
Finding: Colourbond Fencing - damage
Information: Sections of the Colorbond fencing were identified as damaged at the time of inspection. Damage to fencing panels may occur due to impact, weathering, or improper installation, potentially affecting the structural integrity and appearance of the fence.

Where Colorbond panels are compromised, they may be more susceptible to corrosion and further deterioration over time.

It is recommended that a licensed fencing contractor be appointed to assess the extent of the damage and provide advice on remedial options to restore the fencing.



Noted Item

Building: Main Building
Location: Roof Exterior
Finding: Gutter - Clear and clean
Information: At the time of inspection, the gutters were found to be clear of debris and in a clean condition. Blocked gutters are a common cause of water ingress and associated damage to eaves, walls, and internal ceilings. While no concerns were noted at present, it is essential that gutters are routinely maintained and kept free of debris to ensure proper stormwater flow and to avoid potential overflow issues during periods of heavy rainfall.



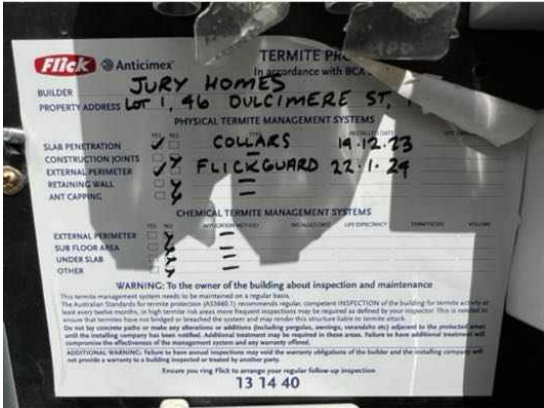
The following items were noted as - Evidence of a previous termite management program

Noted Item

Building: Main Building
 Location: Meter Box
 Finding: Evidence of a previous termite management system was identified
 Information: There are a number of factors which indicate the presence of a previously installed or applied termite barrier. The most common are a durable notice (to the inside of your meter box) observable physical barriers installed to building perimeter and in ground reticulation systems.

Where a Termite Management System has been identified you should refer to the type of barrier date of installation warranty conditions and any documentation provided by a builder or past owner. Consult the company who installed the barrier to confirm whether the system is still under warranty.

Most chemical termite management systems expire and require replenishment and all physical systems are primarily designed to prevent concealed entry.



Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.