



Building and Timber Pest Inspection Report

Inspection Date: Thu, 19 Mar 2026

Property Address: 41 Brennon Rd, Gorokan NSW 2263,
Australia



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on.

This Report reflects the opinion of the inspector based on the documents that have been provided.

This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail.

We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist.

If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection.

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Original Inspection Date Thu, 19 Mar 2026

Modified Date Fri, 20 Mar 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 41 Brennon Rd, Gorokan NSW 2263, Australia

Client's Email Address:

Client's Phone Number:

Consultant:

Company Name:

Company Address and Postcode:

Company Email:

Company Contact Numbers:

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report must be read in full and in conjunction with Section D5 – Assessment of the Overall Condition of the Property. The entire report should be reviewed to properly understand the findings, limitations, and context of the inspection.

The inspection and report reflect the condition of the property at the time of inspection only. Conditions

may change due to weather, occupancy, use, maintenance, or further deterioration. This report is valid for 90 days from the date of inspection.

This report focuses on the identification of safety hazards, major defects, and significant minor defects that may reasonably affect the property's condition, safety, serviceability, or value, or that may require repair, further investigation, or allowance in the foreseeable future. It is not an exhaustive list of all minor defects, cosmetic issues, or general wear and tear consistent with the age and use of the dwelling.

A non-invasive moisture meter was used as an auxiliary aid during the inspection. The instrument operates on a scale of 0–999, with readings above 200 considered elevated. Moisture readings are interpreted in conjunction with observable building condition and do not, on their own, confirm active leakage. As this was a visual, non-destructive inspection, concealed moisture-related damage may exist and cannot be ruled out.

The full extent of any termite damage, fungal decay, or concealed timber pest activity could not be determined due to inaccessible or concealed areas behind linings and finishes. Where applicable, further invasive inspection by a licensed pest controller may be required. Ongoing termite management and regular timber pest inspections are recommended.

Cladding observations are limited to visible condition only. Cladding type, composition, fixings, and concealed performance have not been identified or tested.

A drone was used to assist with visual inspection of roof areas where safe physical access was limited. The inspection was visual only and did not allow confirmation of concealed components or fixings. Further close-access inspection may be required.

Any verbal advice provided before or after the inspection is general in nature and does not form part of this written report.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Concrete Stumps
Furnished	Furnished
Occupied	Occupied
No. of bedrooms	3
Orientation	South West
Other Building Elements	Carport, Driveway, Porch
Other Timber Bldg Elements	Architraves, Deck, Door Frames, Doors, Eaves, Floating Floor, Floorboards, Skirting Boards, Veranda Posts, Weatherboards, Window Frames
Roof	Corrugated Iron (e.g. Colourbond), Pitched, Timber Framed
Storeys	Single
Walls	Fibre Cement Sheets, Weatherboards
Weather	Raining

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Posts
- Roof Exterior
- Roof Void - Part
- Subfloor - Part
- The Site
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Subfloor - Part.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Ceiling linings
- Fixed Furniture - Built-in Cabinetry
- Fixed ceilings
- Floor coverings
- Furniture
- Insulation
- Porch
- Stored items
- Subfloor was obscured due to poor clearance and obstructions. Less than 25% of the inspectable area was accessible.
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and

conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

Section D Significant Items

Safety Hazard

Finding 1.01

Building: Main Building

Location: Deck

Finding: Loose and non-compliant step – Rear deck stairs

Information: The bottom step to the rear deck stairs is loose and has an inconsistent rise and run compared to the other steps.

This presents a trip hazard and may worsen with continued use.
A qualified carpenter should be engaged to assess and rectify as required.
This should be done without delay.



Major Defect

Finding 2.01

Building: Main Building

Location: Exterior walls

Finding: Deteriorated weatherboards and joints / Inadequate wall junction detail / Deteriorated wall plate ends – External walls and roof perimeter

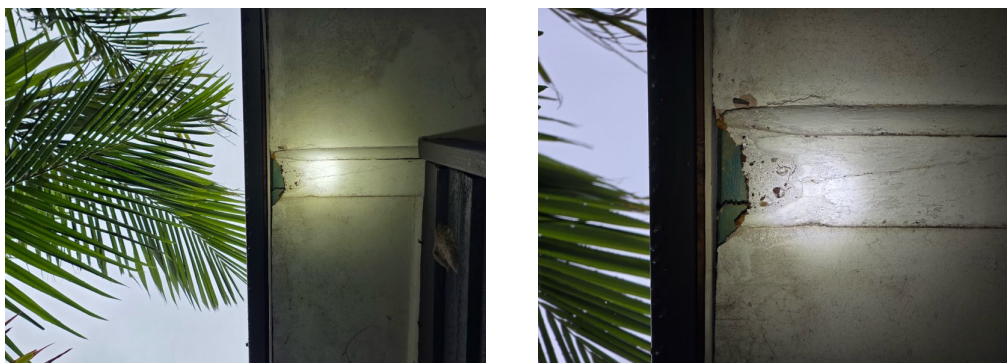
Information:

Timber weatherboards show signs of fungal decay, with movement, warping, and separation at joints. Sealant to junctions is no longer effective, and underlying wall linings appear to include suspected asbestos sheeting. A junction detail was observed where weatherboards extend beyond adjacent gable end sheeting, with deteriorated tape and no effective sealing. This creates an opening for water entry behind the cladding. Timber elements, likely wall plate ends, extend beyond the wall line and show signs of past fungal decay. These have been partially filled but remain exposed, with some internal framing visible.

This condition may allow moisture ingress and may lead to ongoing deterioration of external wall components and concealed materials. A qualified carpenter should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.







Finding 2.02

Building: Main Building

Location: Carport

Finding: Decayed and unstable posts – Carport

Information: Carport posts show fungal decay at their bases. One post is loose within its metal shoe with unsecured fixings, and another is installed in a leaning stirrup. The timber at the base of at least one post is soft.

This affects the stability of the structure and may lead to further movement or failure if deterioration continues.

A qualified carpenter should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.





Minor Defect

Finding 3.01

Building: Main Building

Location: Deck

Finding: Timber posts in contact with ground and early decay – Rear deck

Information: Timber posts supporting the rear deck are installed in direct contact with the ground. Minor fungal decay was observed at the base of these posts, indicating early-stage deterioration. The full extent of any internal decay could not be determined at the time of inspection. These timber posts are not designed for in ground contact.

This condition may lead to progressive deterioration of the timber and could affect the long-term performance of the supporting elements if not addressed. A licensed builder should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.02

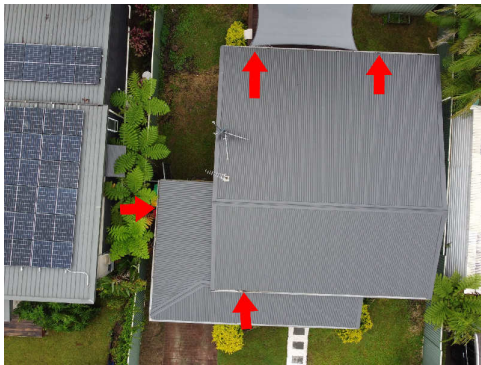
Building: Main Building

Location: Gutters

Finding: Leaking gutter, debris build-up, and inadequate fall – Carport and rear gutters

Information: The carport gutter is leaking, with water discharging onto an adjacent post and contributing to saturated ground conditions below. Debris was observed in sections of the guttering, and the carport gutter contains standing water, indicating inadequate fall toward the downpipe. Additional leaf litter is present in the rear gutters. From what can be seen, these conditions are restricting proper drainage.

This may accelerate deterioration of adjacent structural elements and contribute to ongoing moisture exposure. A licensed plumber should be engaged to clean, assess, and rectify the guttering, including correcting the fall as required. This should be done as soon as practicable.



Finding 3.03

Building: Main Building

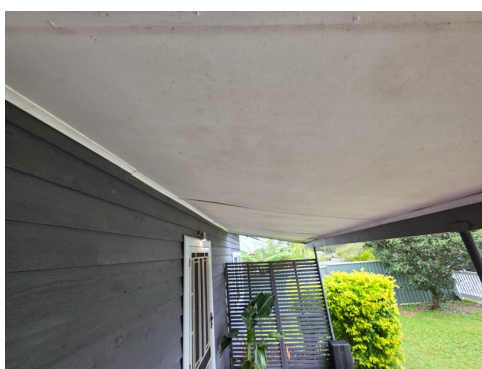
Location: Verandah

Finding: Sagging soffit lining – Front veranda

Information: The soffit lining to the front veranda is sagging in places and may include asbestos-containing material.

This indicates deterioration or loss of fixing support and may worsen over time.

A qualified carpenter should be engaged to assess and rectify as required. This should be done as soon as practicable.



Finding 3.04

Building: Main Building

Location: Front Elevation

Finding: Suspected Improper flashing detail

Information: The flashing detail at the junction between the barge capping, fascia and hip flashing appears to be incorrectly formed, with a section of flashing mechanically fixed (riveted) from the barge capping directly into the end of the gutter. This arrangement does not present as a standard or well-executed termination detail and may affect how water is directed and discharged at this point. From what can be seen, the installation appears improvised and may not provide a consistent, watertight transition.

A licensed roofer should be engaged to assess the flashing detail and rectify if required to ensure a proper and effective water-shedding arrangement. This should be addressed as soon as practical.



Finding 3.05

Building: Main Building

Location: All External Areas

Finding: Poor site drainage and water accumulation – External and subfloor

Information: The site exhibits poor drainage, with soggy ground conditions and areas of water accumulation observed around the property. Very wet conditions were also noted to the subfloor area. The extent to which this condition may impact the structure could not be determined at the time of inspection.

This indicates inadequate surface water management, which may contribute to moisture-related deterioration of building elements over time if conditions persist.

A licensed plumber should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.06

Building: Main Building

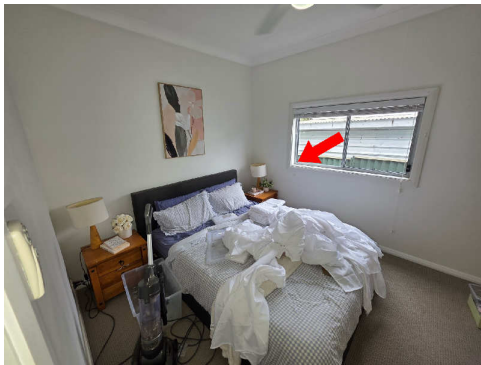
Location: Bedroom 3

Finding: Moisture damage and swelling – Bedroom window area

Information: Elevated moisture readings were detected to a bedroom windowsill, with associated swelling to the adjacent architraves. This is consistent with moisture ingress, possibly from window sealing, although the exact source could not be confirmed.

This may lead to further deterioration of internal finishes and concealed framing if not addressed.

A qualified carpenter should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.07

Building: Main Building

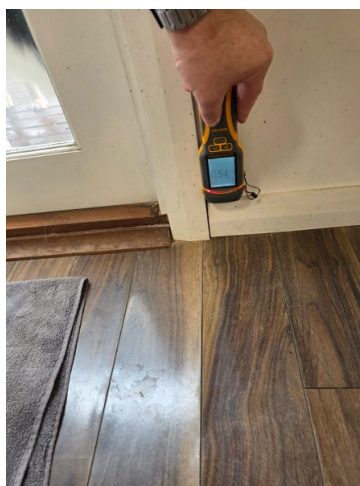
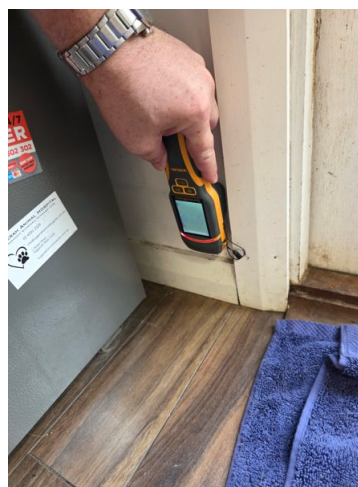
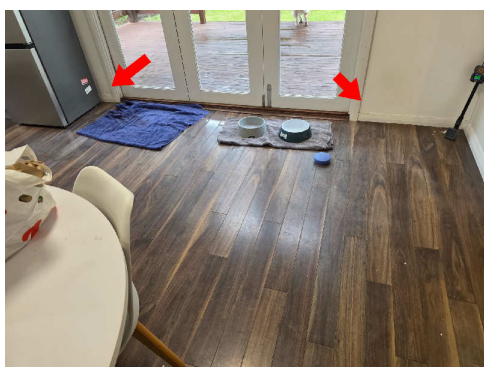
Location: Dining Room

Finding: Elevated moisture readings – Rear doorway (both sides)

Information: Elevated moisture readings were recorded to wall areas on both sides of the rear doorway. No visible signs of active leakage were observed at the time of inspection, and the source of the moisture could not be confirmed.

This indicates a potential moisture issue in a high-risk area that may develop into visible damage if conditions persist. Monitoring is recommended, and further investigation should be undertaken if mould, discolouration, or paint deterioration becomes evident.

A licensed builder should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.08

Building: Main Building

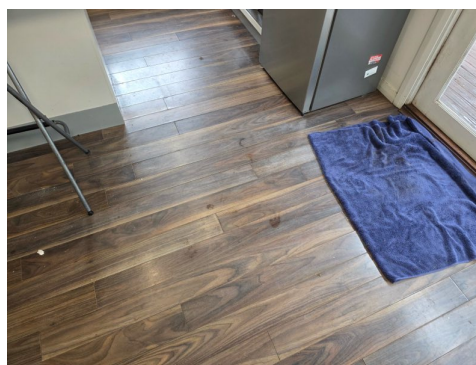
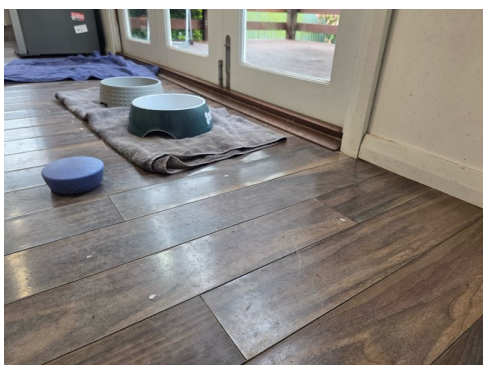
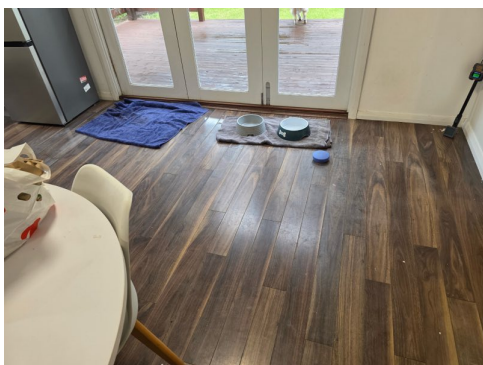
Location: Dining Room

Finding: Swollen and cupped flooring – Rear doorway

Information: Flooring adjacent to the rear doors shows minor swelling, cupping, and localised discolouration, consistent with moisture exposure. The extent of any underlying damage could not be determined.

This indicates moisture has affected the flooring in this area and may continue to cause deterioration if the source is ongoing.

A licensed carenter should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.09

Building: Main Building

Location: Bedroom 3

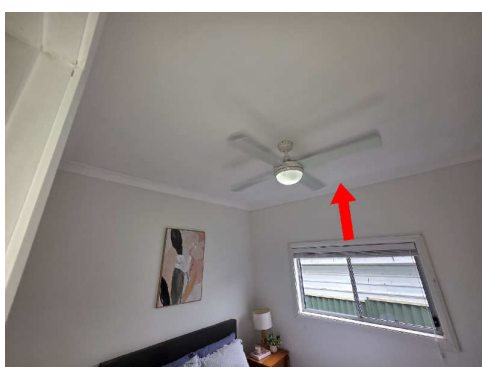
Finding: Ceiling lining deterioration – Bedroom 3

Information:

The ceiling lining in Bedroom 3 shows localised delamination of the plasterboard paper surface. Moisture readings in this area were inconclusive, with elevated readings noted more broadly across the ceiling, suggesting possible non-moisture influences; however, moisture ingress cannot be ruled out.

This condition may worsen if moisture is present, leading to further deterioration of the ceiling lining. Monitoring is recommended, and further investigation should be undertaken if additional deterioration, discolouration, or mould growth occurs.

A licensed builder should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.10

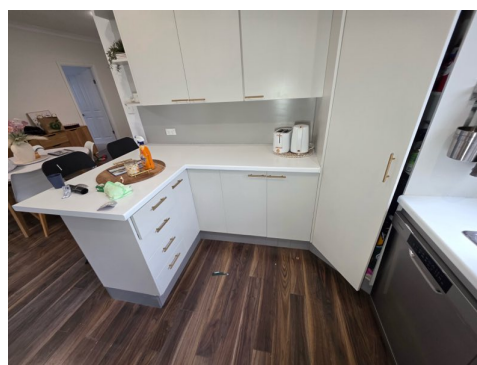
Building: Main Building
 Location: Kitchen
 Finding: Uneven and bouncy flooring – Kitchen

Information:

The kitchen floor was noted to feel bouncy underfoot and slopes across the room. This is consistent with movement or unevenness in the supporting structure, although the exact cause and extent could not be confirmed during a visual inspection.

This may indicate subfloor movement or deterioration that could worsen over time and affect floor performance.

A licensed builder should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.11

Building:

Main Building

Location:

All Internal Areas

Finding:

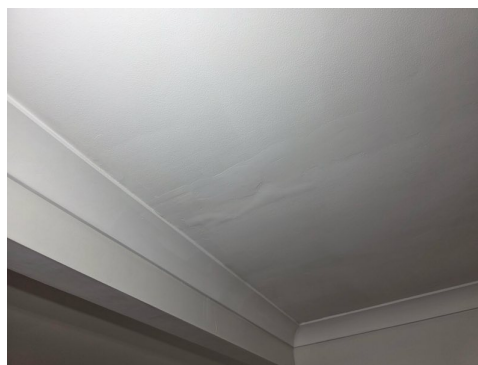
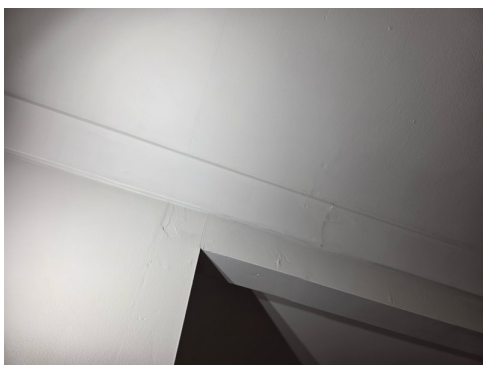
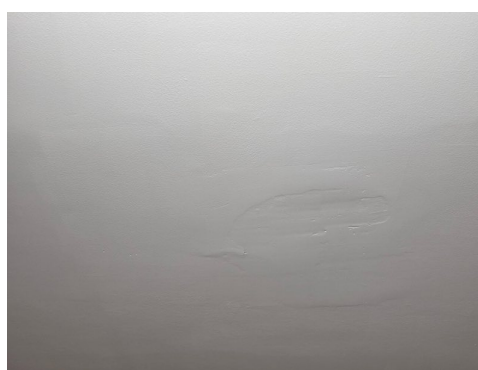
Poor patching finish – Internal walls and ceilings throughout

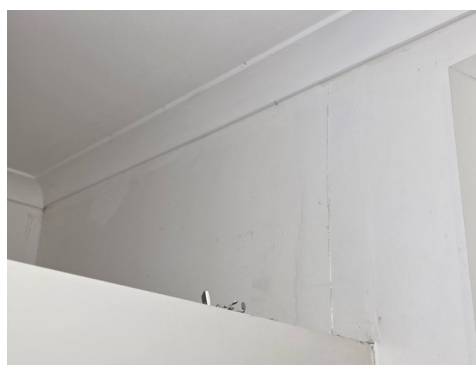
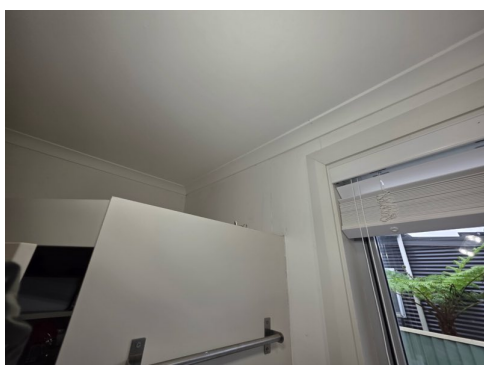
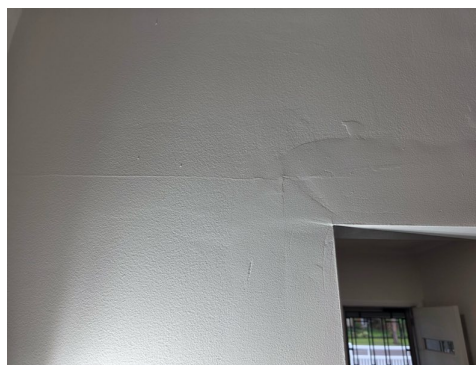
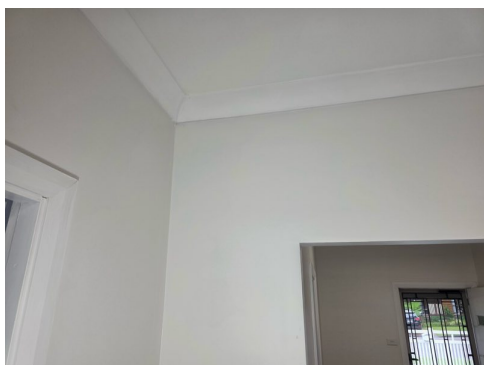
Information:

Patch repairs were observed to walls and ceilings throughout the property that have not been adequately sanded or finished, with filler visibly proud of surrounding surfaces. This results in an uneven appearance and indicates incomplete finishing works, which may affect overall presentation and durability of painted surfaces.

This condition is cosmetic in nature and may require further finishing to achieve an acceptable standard. Photos are indicative of the defect throughout.

A qualified tradesperson should be engaged to assess and rectify as required. This should be done at the owner's discretion.





Finding 3.12

Building: Main Building

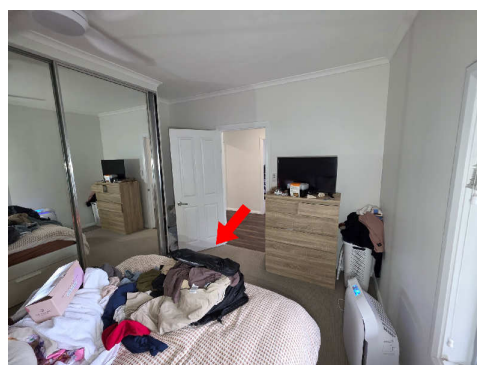
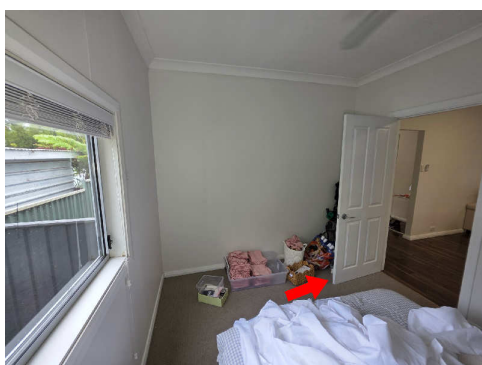
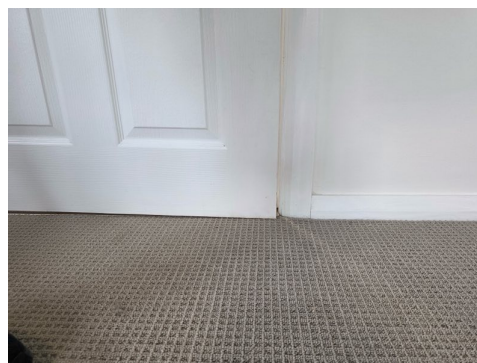
Location: Bedroom

Finding: Rubbing doors – Bedrooms 1 and 2

Information: The doors to all bedrooms were noted to rub slightly on the recently installed carpet. This appears to be due to reduced clearance following new floor coverings. the owner advised

This may cause ongoing wear to both the carpet and door edges if not addressed.

A qualified carpenter should be engaged to assess and rectify as required. This should be done at the owner's discretion.



Finding 3.13

Building: Main Building

Location: Eaves

Finding: Mould growth – Gable end sheeting and eave linings

Information: Mould growth was observed to the rear face of the gable end wall sheeting and to the underside of the eave linings along both sides of the house. The extent of mould and any associated moisture source could not be determined at the time of inspection.

This indicates prolonged moisture presence in these areas, which may contribute to material deterioration and potential health concerns if widespread.

A licensed builder should be engaged to carry out further investigation and rectify as required. This should be done as soon as practicable.



Finding 3.14

Building: Main Building

Location: Deck - rear

Finding: Deck - Structural assessment required for elevated deck

Information: An elevated external deck was observed at the rear of the property. Even if the structure appears sound or recently built, it may still pose a safety risk if inadequately supported. A detailed structural assessment is required to confirm its stability and load-bearing capacity.

A structural engineer should be engaged to carry out this assessment without delay. Until this has been completed and any necessary rectification works undertaken, users should take care not to overload the structure.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building: Main Building

Location: Yard - Front

Finding: Garden Beds - Conditions Conducive to Termites

Information: Garden beds, particularly those constructed from untreated timber, were noted adjacent to the dwelling. These create a highly conducive environment for termite activity due to the combination of retained soil moisture from watering, direct soil contact, and the organic material in the soil and timber edging. Such conditions increase the risk of concealed termite ingress into the property, as termites can travel through the garden beds and enter the structure undetected.

Where practical, garden beds should be removed, relocated, or modified so that they do not abut the dwelling. Where this is impractical or undesirable, the risk of concealed termite activity remains. In these cases, a licensed pest controller should establish an ongoing termite management plan, and regular timber pest inspections should be carried out every 6–12 months to assist in protecting the property against infestation.



Finding 6.02

Building: Main Building

Location: Subfloor

Finding: Damp Subfloor - Evidence of excessive moisture

Information: The subfloor area was observed to be broadly wet, with signs of water tracking across the ground surface rather than remaining localised. This indicates poor site drainage or uncontrolled water ingress beneath the dwelling. Prolonged moisture exposure in subfloor environments can contribute to timber deterioration and creates conditions conducive to termite activity.

A licensed plumber should be engaged to carry out further investigation and rectify drainage and moisture management as required. Regular timber pest inspections should also be carried out every 6–12 months. This should be done as soon as practicable.



Finding 6.03

Building: Main Building

Location: Deck

Finding: Ground - Timber materials in direct ground contact

Information:

Timber elements in direct contact with the ground, and consequently exposed to moisture or dampness, create conditions conducive to termite activity. Whether timber is used as part of a building structure, such as a fence or retaining wall, or stored as unused material, it can attract termite infestations.

When exposed to excessive moisture, timber begins to decay and develop wood rot. Any timber in direct contact with the ground - especially untreated or non-durable timber - provides an easy entry point for subterranean termites into the material.

To minimize the risk of termite attack, it is recommended to remove any materials that could foster termite activity. If removal is impractical or undesirable, it is strongly advised that termite or timber pest inspections be conducted every 6 to 12 months to protect the property from potential infestation.

**Finding 6.04**

Building:

Main Building

Location:	Yard - Back
Finding:	Tree Stumps - Tree stumps in yard may attract termites
Information:	Tree stumps were observed in the yard at the time of inspection. Decaying timber in contact with soil provides an ideal environment for termite nesting and activity, particularly when located near the dwelling.

Although no active timber pest activity was noted, concealed areas within the stumps could not be inspected. These stumps should be professionally treated or removed where practical, particularly if located near the dwelling. Ongoing monitoring and timber pest inspections are recommended every 6–12 months.



Finding 6.05

Building:	Main Building
Location:	Verandah
Finding:	Deck - Concealed or inaccessible deck substructure
Information:	The substructure of the decking in the front verandah was not accessible for inspection due to low clearance, ground contact, or cladding. Inaccessible areas such as this prevent a full visual inspection and create conditions conducive to concealed termite entry or timber decay, as any damage or activity may remain undetected until it becomes extensive.

Where practical, the deck should be modified to allow adequate clearance and access for future inspection. Where modification is not possible, the risk of concealed attack remains. In such cases, it is essential that a licensed pest controller establish an ongoing termite management plan and carry out regular timber pest inspections every 6–12 months.



Evidence of fungal decay activity and/or damage

Finding 7.01

Building: Main Building

Location: Weatherboards and deck post

Finding: Fungal decay - weatherboards and deck

Information: Fungal decay was observed to sections of the external timber weatherboards and to the base of a timber posts supporting the verandah/deck at the rear of the property and the carport along the side of the property. This condition indicates prolonged moisture exposure and may contribute to ongoing timber deterioration and conditions conducive to termite activity if not addressed.

A licensed builder should be engaged to carry out further investigation and rectify as required, and regular timber pest inspections should be carried out every 6–12 months to monitor for any further activity. This should be done as soon as practicable.



Evidence of wood borer activity and/or damage

No evidence was found

Evidence of a previous termite management program

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Licensed Plumber specialising in Roof Plumbing
- Registered/Licensed Builder
- Structural Engineer
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

The inspection identified several items requiring attention, including one safety hazard and a number of major defects. A safety hazard was noted to the rear deck stairs, where the bottom step is loose and presents a trip risk and should be addressed without delay. Major defects were identified to the external building envelope, including deteriorated weatherboards and ineffective junction detailing, which may allow moisture ingress and contribute to material deterioration. In addition, structural concerns were noted to the carport, where supporting timber posts show decay and instability.

The remaining defects are generally of a minor or maintenance nature. Internally, the dwelling appears to have been reasonably well maintained, with only localised issues observed. Externally, the building envelope and site conditions require ongoing maintenance and repair to manage moisture and prevent further deterioration. Given the age and style of the property, the presence of these types of defects is not unusual; however, they should be addressed in a timely manner to preserve the condition and performance of the structure.

For further information, advice and clarification please contact James Kerins on 0429 360 124

The following items were noted as -For your information

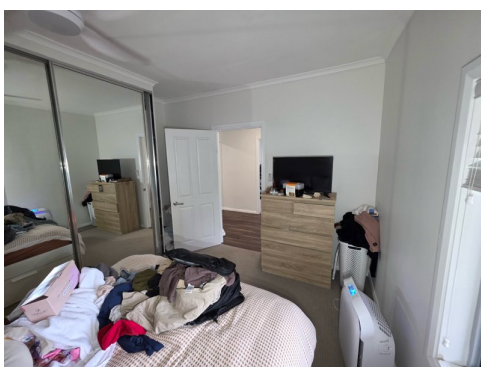
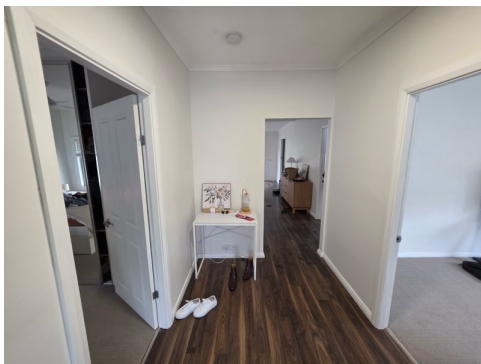
Noted Item

Building: Main Building

Location: All Areas

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Noted Item

Building: Main Building

Location: Multiple Areas

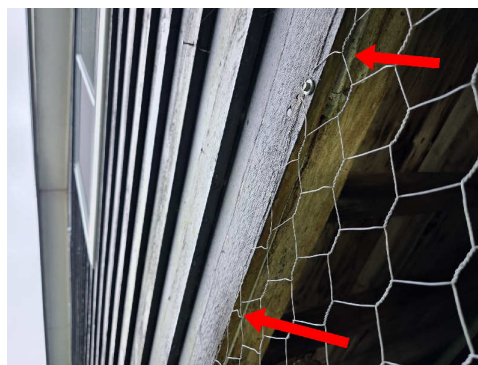
Finding: Asbestos - Suspected Asbestos-Containing Materials (ACMs)

Information: Reporting on asbestos is outside the scope of this inspection. Suspected asbestos-containing material (ACM) was observed in the meter box, subfloor floor sheet debris, external wall linings behind weatherboards and the gable ends of the roof void. Based on our experience in the building industry, there is a higher risk that the identified building elements contain asbestos, particularly given that any home constructed prior to 1990 may contain asbestos in various forms.

No sample testing has been undertaken to confirm the presence of asbestos. We strongly recommend a separate Asbestos Inspection and Condition Audit be carried out by a licensed assessor, which may include laboratory testing for definitive confirmation.

In the meantime, the client is advised to act with caution, especially when considering any disturbance of the material through wear and tear, renovations, extensions, demolition, or maintenance activities.





Noted Item

Building: Main Building

Location: In ground pipe work

Finding: Earthenware pipework – Subterranean drainage

Information: Earthenware drainage pipes were identified on the property. These materials are rigid and commonly subject to cracking or displacement due to ground movement or root intrusion.

This may result in reduced performance or failure of the drainage system. It would be worth engaging a licensed plumber to carry out a further investigation to determine the condition of the in-ground pipework. This should be done as soon as practicable.



Noted Item

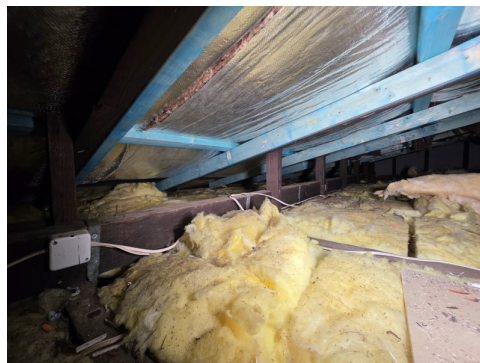
Building: Main Building

Location: Roof Void

Finding: Access - Roof void

Information: The roof void was not entered due to size restrictions, access limitations, and/or safety concerns. Inspection was carried out from the internal access hatch only, with observations limited to what could be safely viewed and photographed from this position.





Noted Item

Building: Main Building

Location: Subfloor

Finding: Access - Subfloor

Information: The subfloor area was not accessed due to unsafe conditions, and/or obstructions. Inspection of the subfloor was carried out from the perimeter of the property only.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber

Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Termites Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.
Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the Civil Law (Sale of Residential Property) Act 2003. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.

b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.