



Building Inspection Report

Inspection Date: Thu, 12 Feb 2026

Property Address: 22 Cavendish Ave, Blacktown NSW 2148,
Australia



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on.

This Report reflects the opinion of the inspector based on the documents that have been provided.

This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail.

We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist.

If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection.

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Original Inspection Date Thu, 12 Feb 2026

Modified Date Thu, 12 Feb 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 22 Cavendish Ave, Blacktown NSW 2148, Australia

Client's Email Address:

Client's Phone Number:

Consultant:

Company Name:

Company Address and Postcode:

Company Email:

Company Contact Numbers:

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: The inspection was subject to access limitations including restricted access to sections of the roof space, subfloor, and parts of the site due to obstructions and clearance constraints. Areas not fully accessible were not inspected and the risk of undetected defects in those locations is considered higher than normal.

Moisture was noted within sections of the subfloor and cracking was observed to external hard surfaces. While no significant structural impact was evident at the time of inspection, these conditions should be monitored and maintained to reduce the likelihood of deterioration or future defects.

The property displayed a number of minor maintenance items consistent with age and general wear. Ongoing routine maintenance and timely repairs are recommended to preserve building condition and performance.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	

Overall Condition

In summary, the building, compared to others of similar age and construction is in good condition with some minor defects found.

Section B General

General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Brick Stumps or Piers, Suspended Timber Frame
Furnished	Furnished
Occupied	Occupied
No. of bedrooms	3
Orientation	South East
Other Building Elements	Driveway, Fence - Fabricated Metal Fence, Pergola
Other Timber Bldg Elements	Architraves, Deck, Door Frames, Doors, Fascias, Floorboards
Roof	Corrugated Iron (e.g. Colourbond), Flat, Pitched, Tiles, Timber Framed
Storeys	Single
Walls	Brick Veneer, Brick Veneer (Timber Framed), Light Weight Wall Clad
Weather	Overcast

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Gardens
- Interior
- Roof Exterior - Part
- Roof Void - Part
- Subfloor - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Roof Exterior - Part
- Site - Part.
- Subfloor - Part.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling linings
- Debris or rubbish
- Decking
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Lack of clearance - subfloor
- Stored items
- Subfloor area - Limited access due to restrictive crawl space
- Vegetation

- Wall linings

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: - **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Defects 3.01

Building: Main Building

Location: Kitchen

Finding: Ceiling – Hairline Cracking to Plasterboard

Information: Hairline cracking was observed to the plasterboard ceiling within the kitchen area, extending horizontally across the ceiling surface in proximity to the smoke alarm. The cracking appears fine and linear in nature and is consistent with minor movement or joint separation within the plasterboard lining. Such cracking commonly occurs due to normal building movement, minor structural settlement, or seasonal expansion and contraction of framing timbers.

At the time of inspection, the cracking appeared minor and did not display significant displacement, sagging, or evidence of active water staining. While currently considered a minor defect, if left unaddressed the cracking may widen over time and require more extensive rectification. It is recommended that a qualified plasterer assess and repair the affected area as required. Repairs can be undertaken as part of routine maintenance in the short to medium term, with ongoing monitoring for any signs of further movement.





Defects 3.02

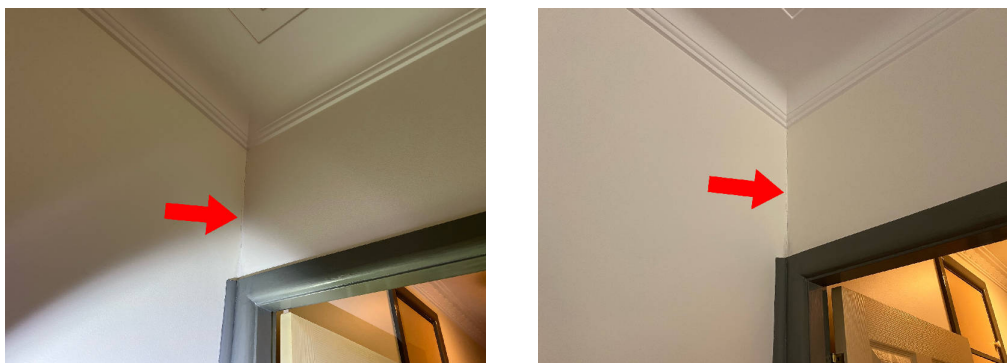
Building: Main Building

Location: Living Room

Finding: Vertical Corner Cracking Above Door Opening

Information: A vertical crack was observed to the internal wall lining at the corner junction above the door opening. The cracking extends from the cornice line downward along the wall junction and appears consistent with minor separation at the plasterboard joint. This type of cracking commonly occurs at stress points such as wall intersections and above openings, where differential movement, minor settlement, or thermal expansion and contraction can place stress on the plasterboard and jointing compound.

At the time of inspection, the cracking appeared fine and did not exhibit significant displacement, distortion to the door frame, or associated structural movement. The defect is considered minor in nature; however, if movement continues, the crack may widen over time. It is recommended that a qualified plasterer assess and repair the affected area as required. Repairs can generally be undertaken as part of routine maintenance in the short to medium term, with monitoring for any further movement or cracking.



Defects 3.03

Building: Main Building

Location: Bedroom - Master

Finding: Window – Stiff Operation

Information: The sliding window within the bedroom area was noted to be stiff during operation. Increased resistance was evident when attempting to open and close the sash, which may be attributable to debris accumulation within the track, minor distortion of the frame, worn rollers, or general age-related wear. No obvious signs of significant frame damage were observed at the time of inspection; however, dirt and debris were visible within the track which may be contributing to restricted movement.

Windows that do not operate smoothly can pose a safety concern, particularly where they may be required for ventilation or emergency egress. It is recommended that the window tracks be cleaned and the rollers and hardware inspected. If stiffness persists following cleaning and lubrication, further assessment and adjustment by a qualified window technician or carpenter is recommended. Rectification should be undertaken in the short term to ensure safe and functional operation.



Defects 3.04

Building: Main Building

Location: Bathroom

Finding: Deteriorated Sealant to Shower Wall and Floor Junction

Information: Sealant was observed to be deteriorated along the junction between the shower wall tiles and the floor tiles. This condition was evident at the base of the tiled wall within the shower area. Sealant at this junction is designed to prevent water from penetrating behind tiles and into the wall and floor substrates.

The absence of effective sealant increases the risk of water ingress, which can lead to moisture damage, deterioration of waterproofing membranes, and potential concealed damage over time. It is recommended that a suitably qualified tiler or bathroom repair specialist reapply appropriate waterproof sealant to this area in the short term to reduce the risk of ongoing moisture-related issues.



Defects 3.05

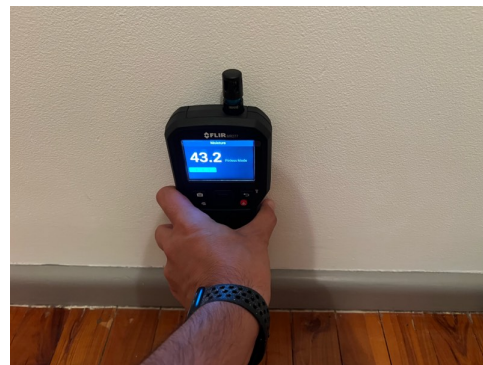
Building: Main Building

Location: Hallway

Finding: Internal Wall – Elevated Moisture Readings Adjacent to Shower

Information: Elevated moisture meter readings were recorded to the lower section of the internal wall adjacent to the shower recess. Readings in the medium to high range were obtained using a non-invasive moisture meter, indicating the likely presence of excess moisture within the wall lining or substrate. No invasive testing was undertaken; however, the readings are considered abnormal for a dry internal wall surface.

Elevated moisture in this location may be associated with shower recess waterproofing failure, leaking plumbing components, or deterioration of seals and grout. Prolonged moisture exposure can lead to damage of wall linings, deterioration of framing timbers, and potential mould growth if not addressed. It is recommended that a licensed plumber and/or bathroom specialist further investigate the source of moisture and carry out repairs as required. Rectification should be undertaken in the short term to prevent further damage.



Defects 3.06

Building: Main Building
Location: Roof Void
Finding: No Sarking (Roof Underlay) Installed

Information: Within the roof space, the underside of the tiled roof covering was observed to be installed without sarking (roof underlay). The roof tiles are fixed directly to battens, with no moisture barrier present between the roof covering and the roof framing. While this may reflect common building practices at the time of construction, it does not align with current building standards and performance expectations.

The absence of sarking may increase the risk of wind-driven rain, dust, and debris entering the roof space, and may contribute to moisture exposure of roof timbers and insulation over time. Sarking also assists with condensation control and thermal performance, which may be reduced where it is not installed. This condition should be noted for future consideration, and advice from a qualified roofing contractor is recommended if roof upgrades or replacement works are undertaken.



Defects 3.07

Building: Main Building
Location: Rear Elevation
Finding: External Stairs – Deteriorated Concrete and Spalling to Treads

Information: Deterioration and surface spalling were observed to the external concrete stairs at the front entry. Sections of the exposed aggregate finish have broken away from the stair treads and risers, with areas of underlying concrete visible. Localised cracking was also noted to the riser at the landing. The damage appears consistent with age-related wear, weather exposure, and possible moisture ingress contributing to breakdown of the surface finish.

The deterioration has resulted in uneven tread surfaces which may present a trip hazard and may continue to worsen if left unaddressed. Ongoing exposure to the elements may lead to further delamination of the aggregate topping and progressive deterioration of the underlying concrete substrate. It is recommended that a qualified concreter or builder assess the stairs and carry out repairs as required. Rectification should be undertaken in the short term to ensure safe access and to prevent further deterioration.



Defects 3.08

Building: Main Building
Location: Subfloor
Finding: Localised Moisture to Ground Surface

Information:

Localised areas of damp ground were observed within the subfloor space. Sections of the soil surface displayed visible moisture and cracking consistent with fluctuating moisture levels. The brick piers and visible timbers appeared serviceable at the time of inspection; however, elevated ground moisture was noted in some areas.

Excess moisture within a subfloor can contribute to increased humidity, potential timber deterioration, and may create conditions conducive to fungal decay or termite activity if not adequately managed. The moisture observed may be associated with poor drainage, inadequate subfloor ventilation, or seasonal ground conditions. It is recommended that surface drainage around the dwelling be reviewed and that subfloor ventilation be maintained to assist with moisture control. Monitoring is advised, and further assessment by a suitably qualified contractor should be undertaken if moisture levels persist or increase.

**Defects 3.09**

Building:

Main Building

Location: Front Elevation

Finding: Fascia wood rot

Information: Sections of the fascia board were noted to be affected by timber rot and deterioration. The damage appears to be associated with prolonged exposure to moisture, likely from roof or gutter overflows in this area. Rotting timber can weaken structural integrity, compromise the support for gutters, and provide entry points for pests.

If left untreated, the decay may spread to adjoining timber elements and result in more extensive repairs being required. It is recommended that the affected sections be removed and replaced with new, treated timber, and that the source of moisture ingress (such as leaking or overflowing gutters) be identified and rectified.

Repairs should be carried out by a licensed carpenter or builder, with further inspection of roof plumbing by a roof plumber if leaks are contributing to the issue.



Defects 3.10

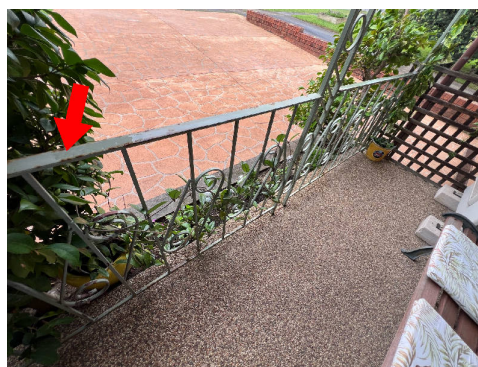
Building: Main Building

Location: Front Elevation

Finding: Corrosion to Metal Balustrade Base

Information: Corrosion was observed to the metal balustrade at the front porch, particularly at the base connection where the railing is fixed to the concrete surface. Paint breakdown and surface rusting were noted around the base plate and fixings.

While currently assessed as a minor defect, corrosion at balustrade base connections can progress over time if not treated, particularly where exposed to weather and moisture. Ongoing deterioration may lead to weakening of the railing and potential safety concerns if left unaddressed. It is recommended that the affected areas be cleaned, treated for corrosion, and recoated with a suitable protective finish. Repair or replacement of sections may be required if deterioration advances.



Defects 3.11

Building: Main Building

Location: Driveway / Side Path

Finding: Cracking to Driveway and Side Path

Information: Cracking was observed to sections of the driveway surface as well as to the concrete pathway along the side of the dwelling. The cracks appear to extend through the surface finish and substrate in areas, indicating movement within the underlying base material. The affected sections were noted externally at ground level adjacent to the dwelling perimeter and within trafficked surface areas.

Cracking of external hard surfaces commonly occurs due to ground movement, soil reactivity, settlement, or long-term wear. While the cracking currently appears localised, continued movement may result in further separation, trip hazards, water ingress beneath slabs, and progressive deterioration if not addressed. It is recommended that the affected areas be monitored and assessed by a suitably qualified concreter or paving contractor, with repairs carried out as required to prevent further deterioration.





Defects 3.12

Building: Main Building

Location: Roof Exterior

Finding: Weathered Roof Tiles

Information: The roof tiles were observed to be weathered and showing signs of age-related surface deterioration. Erosion to tile edges and surface wear were noted, along with areas of moss and organic growth. No widespread cracking or significant displacement was observed at the time of inspection from the accessible vantage points.

Roof tiles naturally deteriorate over time due to prolonged exposure to weather conditions. Surface erosion and organic growth can increase water absorption and may contribute to reduced service life if not maintained. While currently considered a minor defect, continued weathering may lead to increased porosity, cracking, or water ingress over time. Periodic maintenance and inspection by a suitably qualified roofing contractor is recommended to prolong the life of the roof covering.



Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Registered Roofing Contractor
- Sub Floor Ventilation Specialist

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

The inspection identified no major defects or immediate safety hazards at the time of assessment. Overall, the dwelling appears to be in a condition generally consistent with properties of similar age and construction, subject to routine maintenance and the recommendations outlined in the report.

Several minor defects were noted throughout the property, including internal plasterboard cracking, a stiff-operating bedroom window, deteriorated shower sealant, fascia timber rot, corrosion to the front balustrade base, cracking to external hard surfaces, weathered roof tiles, deteriorated external stair concrete, and localised subfloor moisture. These items are not considered structurally significant at present but should be addressed to prevent further deterioration and maintain the building's condition.

Additional observations provided for information include aged roof insulation, debris within the roof space, and general inspection limitations due to stored items and obstructions. These are maintenance and monitoring considerations rather than defects.

For further information, advice and clarification please contact Greg Hallal on 0418 240 401

The following items were noted as -For your information

Noted Item

Building: Main Building

Location: All Internal Areas

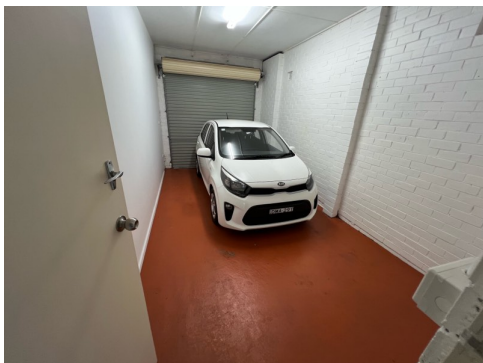
Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.









Noted Item

Building: Main Building

Location: All External Areas

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







Noted Item

Building: Main Building

Location: Roof Exterior

Finding: Additional Photos

Information: Additional photos are provided for your general reference





Noted Item

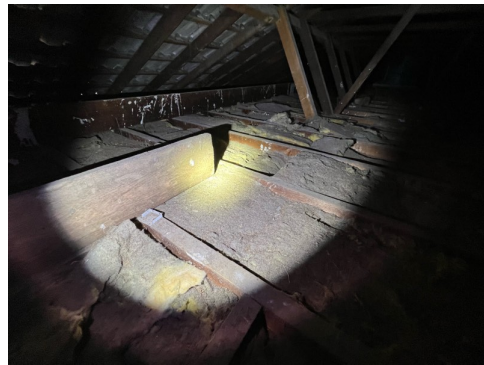
Building: Main Building

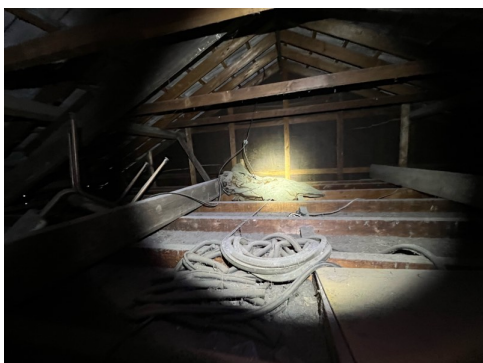
Location: Roof Void

Finding: Additional Photos

Information: Additional photos are provided for your general reference







Noted Item

Building: Main Building

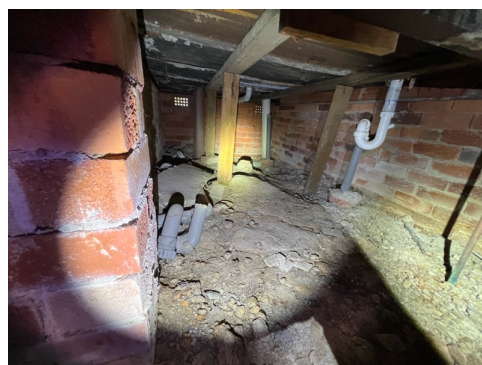
Location: Subfloor

Finding: Additional Photos

Information: Additional photos are provided for your general reference







Noted Item

Building: Main Building

Location: Roof Void

Finding: Roof Space – Aged and Uneven Insulation

Information: Within the roof space, the existing bulk insulation was observed to be aged, compressed and unevenly distributed, with some sections displaced or providing inconsistent coverage. The insulation appears to be of an older style typical of the era of construction.

While no immediate defect was identified, older or uneven insulation may reduce the overall thermal efficiency of the home when compared to modern standards. Upgrading the insulation may improve comfort and energy performance. This item is provided for your information and can be considered as a future improvement if desired.



Noted Item

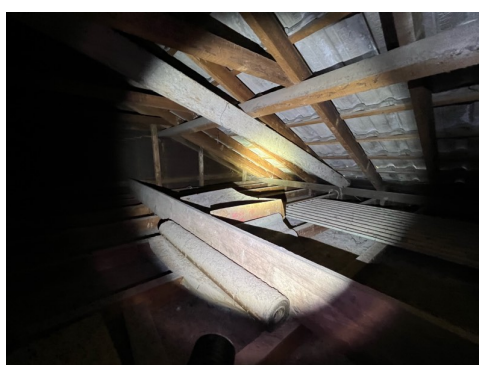
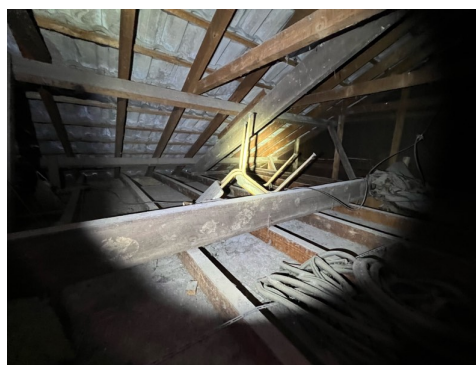
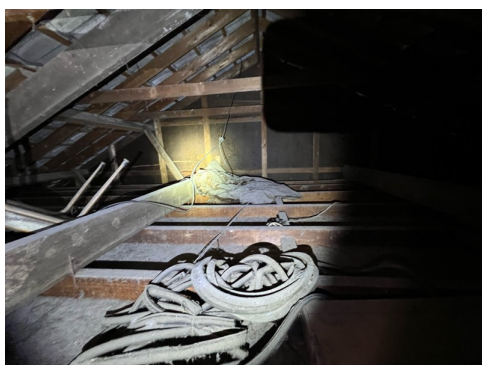
Building: Main Building

Location: Roof Void

Finding: Debris and Stored Materials

Information: Loose debris and stored materials were observed within the roof space, including sections of old insulation, loose cabling and miscellaneous items resting across ceiling joists. The presence of debris can restrict safe access for maintenance and may contribute to reduced ventilation or concealment of defects.

While no immediate structural defect was identified, accumulation of debris within the roof space is not considered best practice and may present a minor safety risk when accessing the area. It is recommended that the roof space be cleared of unnecessary materials by a suitably qualified person to improve accessibility and allow clearer monitoring of the structure and services. This item can be addressed as a maintenance matter in the short term.



Noted Item

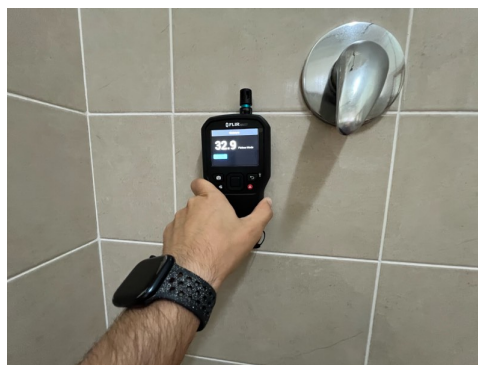
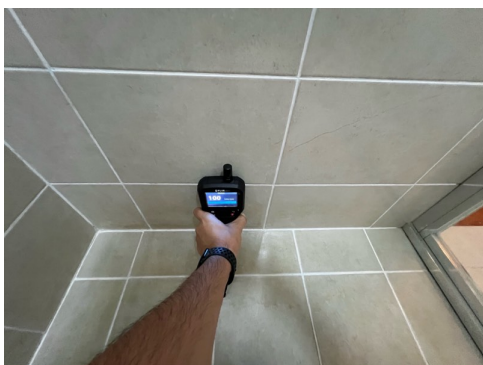
Building: Main Building

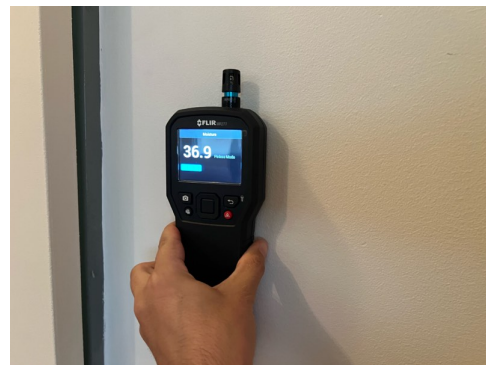
Location: All Internal Areas

Finding: Moisture Meter Readings - For Information Only

Information: Moisture testing was undertaken to selected accessible internal surfaces using a noninvasive moisture meter at the time of inspection. Readings obtained provide an indicative assessment only and are intended as a guide to assist in identifying areas that may warrant further investigation.

No invasive testing was carried out, and moisture readings can be influenced by a range of factors including material type, surface finishes, environmental conditions, and recent use of wet areas. As such, the results are provided for information purposes only and do not constitute a definitive assessment of concealed moisture conditions. Concealed defects may exist that were not evident at the time of inspection.







Noted Item

Building: Main Building

Location: All Internal Areas

Finding: All wet areas

Information: All taps, mixers, and toilets were tested for correct operation, except where access was restricted. The shower recess waterproofing was assessed by conducting noninvasive moisture readings to the walls in and around the shower recess. No abnormal or significant moisture variations were detected within the areas tested. In addition, a visual inspection of the surrounding wall surfaces did not reveal any visible signs of recent or ongoing water damage where inspection was possible.

Based on the above observations, there is no conclusive evidence to suggest the presence of an active shower recess leak at the time of inspection, other than any issues already identified elsewhere in this report. It is therefore reasonable to assume that the shower waterproofing is currently performing as intended. However, it should be noted that if the shower has not been used for an extended period prior to the inspection, moisture readings may not accurately reflect underlying conditions and may result in misleading outcomes. As this inspection is limited to visual and noninvasive methods in accordance with pre-purchase inspection standards, it is not possible to definitively confirm the absence of leaks. If a higher level of certainty is required, a specialist invasive inspection is recommended





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not a pest report. As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.

- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.