



BEFORE YOU BUY

BEFORE YOU BUILD

Building Inspection Report

Inspection Date: Mon, 9 Mar 2026

Property Address: 56 Kingloch Parade, Wantirna VIC 3152,
Australia



Contents

	The Parties
Section A	Results of inspection - summary
Section B	General
Section C	Accessibility
Section D	Significant Items
Section E	Additional comments
Section F	Annexures to this report

Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 9 Mar 2026

Modified Date: Sun, 15 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 56 Kingloch Parade, Wantirna VIC 3152, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Mohamed Khattab Ph: 0477 660 118
Email: Berwick@jimbuildinginspections.com.au

Engineers Australia 10472010

Company Name: Jim's Building Inspections (Berwick)

Company Address and Postcode: Pakenham 3810

Company Email: Berwick@jimbuildinginspections.com.au

Company Contact Numbers: 0477 660 118

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	

Overall Condition

In summary, the building, compared to others of similar age and construction is in the condition documented in this report.

Section B General

General description of the property

Building Type	Residential, Townhouse, Semi-Detached
Company or Strata title	Unknown
Floor	Concrete, Slab on ground, Suspended Timber Frame
Furnished	Not Applicable
No. of bedrooms	3
Occupied	Not Applicable
Orientation	North
Other Building Elements	Garage, Driveway
Other Timber Bldg Elements	Internal Joinery, Skirting Boards, Window Frames, Architraves, Door Frames, Doors
Roof	Timber Framed, Flat, Corrugated Iron (e.g. Colourbond)
Storeys	Double
Walls	Timber Framed and Clad, Hebel Clad, Rendered
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior
- Exterior
- Wall Exterior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity.
- Roof Exterior.
- Site - Part.
- Wall exterior due to obstructions.
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Ceiling linings
- Above safe working height
- Appliances and equipment
- Areas of skillion or flat roof - no access

- Duct work
- Evidence of recently painted walls or ceilings
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Stored items
- Wallpaper or Wall Coverings
- Wall linings

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Defects 3.01

Building: Main Building
Location: Ensuite - Master
Finding: Water Escaping from Shower Area
Information:

At the time of inspection, the shower was operated for approximately 15 minutes, after which water was observed escaping beyond the shower area and spreading onto the surrounding bathroom floor. The shower appears to have a level entry (hobless) design, and no visible water-retention detail was noted at the shower opening.

If water is not adequately contained within the shower area, ongoing use may allow moisture to regularly spread across the bathroom floor, which may increase the risk of moisture-related deterioration to adjacent finishes.

It is recommended that a registered builder or qualified waterproofing specialist assess the floor falls, shower screen configuration, and waterproofing/water-retention detailing to ensure the shower effectively contains water and functions as intended.





Defects 3.02

Building: Main Building
Location: Ensuite - Master
Finding: Ensuite Bathroom Door Lock – stiff
Information: The door lock to the master ensuite is stiff to press and does not operate as intended; the builder is to return and rectify.



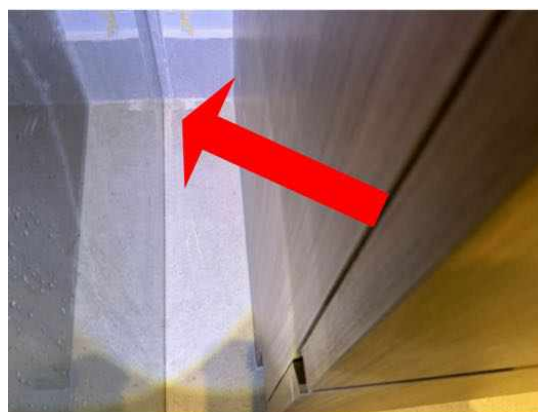
Defects 3.03

Building: Main Building
Location: Ensuite - Master

Finding: Shower screen - Leaking
 Information: Leaking was evident to the downstairs shower screen at the time of inspection. It is suspected that the leaking has occurred as a result of missing caulking to the shower.

Leaking from the shower where left unattended, is likely to lead to water damage to adjoining flooring and walls. Such damage can lead to water damage and necessitate extensive remedial works being required. Active water leaks may also create an environment that is susceptible to the formation and development of mould.

Appointment of a caulking contractor is required to repair or replace the caulking to the shower area. Such works should be performed as soon as possible to ensure that no further damage occurs.



Defects 3.04

Building: Main Building
 Location: Balcony
 Finding: Rendered Over Expansion Joint
 Information: The external expansion joint at the balcony has been rendered over, obstructing the intended movement allowance of the joint. Expansion joints are designed to accommodate natural movement within the structure due to thermal expansion and contraction, and obstructing them may compromise this functionality.

When these joints are covered by rigid finishes such as render, the ability of the structure to move freely is reduced. This can lead to cracking in the render or adjacent building elements over time, and may also contribute to moisture ingress if movement causes gaps or fractures in the render.

It is recommended that the rendered-over section be carefully removed to expose the expansion joint, and the joint reinstated with an appropriate flexible sealant or control joint system to ensure it continues to function as intended.



Defects 3.05

Building:	Main Building
Location:	Upstairs bathroom
Finding:	Shower screen - Leaking
Information:	Leaking was evident to the upstairs shower screen at the time of inspection. It is suspected that the leaking has occurred as a result of deteriorated or missing caulking to the shower or general ageing of the building elements.

Leaking from the shower where left unattended, is likely to lead to water damage to adjoining flooring and walls. Such damage can lead to water damage and necessitate extensive remedial works being required. Active water leaks may also create an environment that is susceptible to the formation and development of mould.

Appointment of a caulking contractor is required to repair or replace the caulking to the shower area. Such works should be performed as soon as possible to ensure that no further damage occurs.

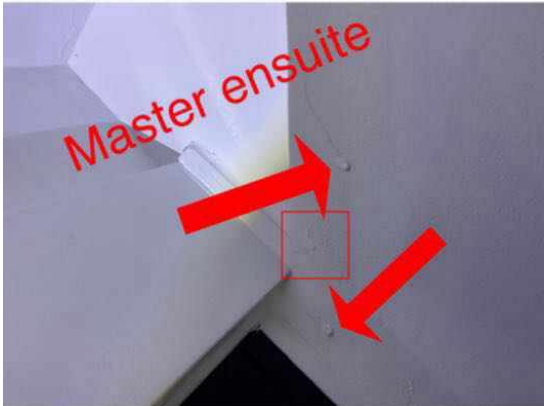
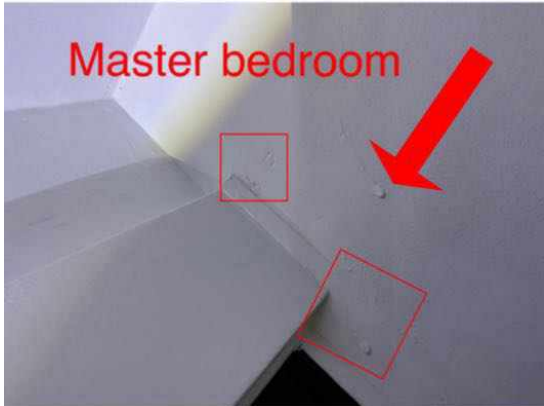


Defects 3.06

Building:	Main Building
Location:	All Internal Areas
Finding:	General Workmanship – Poor Finish

Information: The below photographs show examples of poor workmanship and substandard finishes identified in various areas throughout the dwelling.

The builder is to review all affected areas and carry out rectification works as required to bring the finishes up to an acceptable standard consistent with new construction.









Defects 3.07

Building:	Main Building
Location:	Garage
Finding:	RISING DAMP – GARAGE SLAB EDGE (EXCESSIVE MOISTURE RECORDED)
Information:	Rising damp was identified to the slab edge within the garage. Excessive moisture levels were recorded using the moisture meter at the time of inspection, confirming the presence of elevated moisture within the slab edge area.

Prolonged moisture exposure can lead to deterioration of building elements in contact with the slab edge, deterioration of applied finishes, and creation of conducive conditions for timber pest activity and future moisture related defects. If left unrectified, the condition is likely to worsen over time.

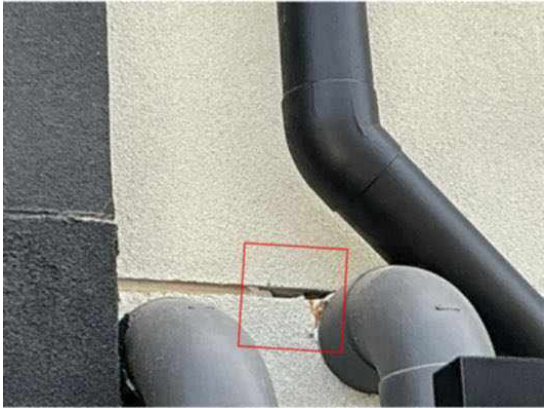
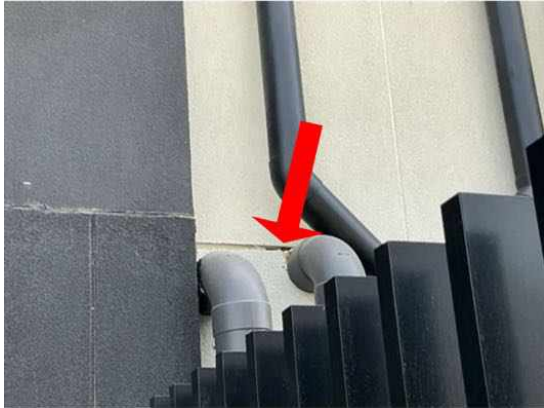
It is recommended that a qualified plumber or moisture management specialist be engaged to investigate the cause of the moisture ingress and implement a suitable damp proofing solution to prevent moisture migration. The area should be monitored following rectification to ensure moisture levels return to acceptable levels.

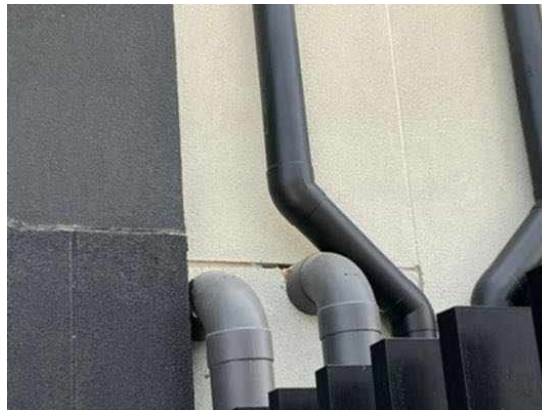


Defects 3.08

Building: Main Building
Location: Exterior walls - rear
Finding: Rear External Walls – Inconsistent Sealant Application
Information: At the time of inspection, the sealant/caulking application to the rear external walls was found to be inconsistent, with visible gaps present.

The builder is to engage a suitably qualified tradesperson to reapply and make good the sealant to all affected areas to ensure full coverage and reduce the risk of water ingress.





Defects 3.09

Building: Main Building
 Location: Ensuite - Master
 Finding: Stiff Light Switch – Master Ensuite Bathroom
 Information:

The light switch button in the master ensuite bathroom was stiff to press at the time of inspection; a licensed electrician should return to check and rectify.



Defects 3.10

Building: Main Building
 Location: Bathroom upstairs
 Finding: Inadequate Falls to Upstairs Shower Base and Tiled Seat
 Information:

At the time of inspection, the upstairs shower was operated for approximately 15–20 minutes, after which water was observed pooling on the shower floor and on the adjacent tiled seat. This condition indicates that the surfaces appear to lack sufficient falls toward the floor waste, resulting in poor drainage.

If left unaddressed, ongoing water ponding may lead to persistent moisture within the shower area and may increase the likelihood of deterioration to finishes over time.

It is recommended that the builder return to reassess the falls within the shower area,

and where necessary engage a qualified tiler to rectify the tile falls to ensure effective drainage toward the waste.



Defects 3.11

Building: Main Building
Location: All Internal Areas
Finding: Split System Air Conditioners – Operational
Information:

At the time of inspection, the split system air conditioning units located in the upstairs living area and the master bedroom downstairs were observed to be operational. The client should engage a licensed air conditioning specialist to inspect and confirm that the split system units are operating correctly.



Defects 3.12

Building: Main Building
 Location: LHS exterior walls
 Finding: Cladding expansion joint - Seal missing.
 Information: During the inspection, it was noted that the seal for the Hebel expansion joint is missing on parts of the RHS exterior walls. Expansion joints in Hebel cladding are critical as they accommodate the natural movement of building materials caused by thermal expansion, contraction, and other environmental factors. The absence of a proper seal in these joints can lead to several issues:

- Water Penetration: Without a seal, water can penetrate the expansion joint, potentially leading to water damage within the wall cavity and interior spaces. This can result in dampness, mold growth, and deterioration of building materials.
- Energy Efficiency: Gaps in the expansion joints can affect the building's insulation properties, leading to increased energy consumption for heating and cooling.

To address this issue, it is recommended that a qualified handyman, caulking specialist, be engaged to inspect and reseal the expansion joint. This will help maintain the integrity, durability, and appearance of the brickwork, as well as prevent potential water ingress and structural problems.





Defects 3.13

Building: Main Building
Location: Garage
Finding: Gap Under Rear Garage Access Door Seal
Information:

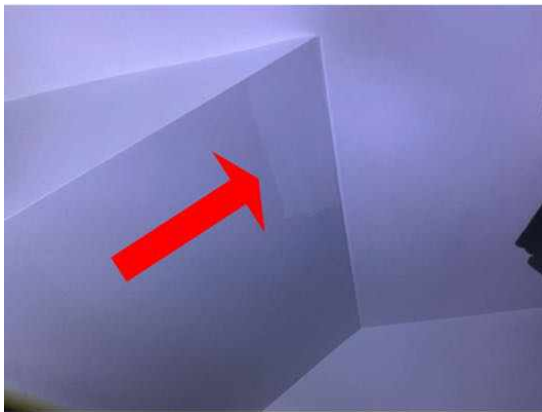
At the time of inspection, a large gap was observed beneath the rear garage access door, indicating that the bottom door seal has not been properly installed or finished. The builder is to return and rectify the door seal to ensure the gap is adequately sealed.



Defects 3.14

Building: Main Building
Location: Garage
Finding: Poor Paint Finishing – Garage Ceiling
Information:

At the time of inspection, the paint finishing to the garage ceiling was observed to be of poor quality, with patching areas clearly visible and standing out from the surrounding surface. The painter is to return and rectify the finishing to achieve a consistent and acceptable finish.



Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

-

This is a follow-up inspection report to the previous inspection carried out in December 2025. Unfortunately, several items identified in the previous report remain unrectified or have not been rectified to an acceptable standard at the time of this inspection.

It is requested that the builder return to the property to address the outstanding items and complete the required rectification works as noted in the body of this report.

For further information, advice and clarification please contact Mohamed Khattab on: 0477 660 118

Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not a pest report. As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.