



# Building and Timber Pest Inspection Report

Inspection Date: Thu, 26 Mar 2026

Property Address: 30 George Street, Springwood NSW 2777



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 26 Mar 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 30 George Street, Springwood NSW 2777

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Client's Email Address:

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Client's Phone Number:

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Company Contact Numbers: 0466 136 675

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Important Pre-Report Requirements

- The Pre-Inspection Agreement outlining the scope, limitations, and exclusions must be read and agreed to prior to reviewing the report.
- This report is valid only on the date of inspection. Any defects or issues arising afterward are not covered.
- The report is for the exclusive use of the named client. Third parties relying on this report do so entirely at their own risk.

Timber Pest Risk & Recommendations

- Further investigation of all high-risk or inaccessible areas is strongly recommended.
- Consider implementing a termite management program in accordance with AS 3660, which may include:
  - Monitoring and baiting systems
  - Chemical and/or physical barriers
  - Regular termite inspections should be conducted at intervals not exceeding 12 months, or more frequently in high-risk areas.

#### Access Limitations

- A second manhole in the ceiling is recommended to enable complete access to the roof void.

#### General Risk Warning

- Due to:
  - Lack of a chemical termite management system,
  - Low clearance or restricted access to the roof void and insulation in subfloor,
  - And the number of limitations and obstructions listed,
  - There is a higher risk of undetected defects.
- A further invasive re-inspection is highly recommended once access is gained.

#### Termite Protection

- A post-construction chemical termite management system is highly recommended.
- Recommend obtaining records and maintenance history from the previous owner or strata manager.

#### Safety & Compliance

- Where Major defects and safety hazards are found should be addressed immediately.
- Other defects should be rectified promptly to avoid escalation.
- It is highly recommended that:
  - A licensed electrician reviews all electrical components.
  - A licensed plumber reviews plumbing systems and provides maintenance guidance.
- These reviews help ensure safe usage and longevity of essential systems and protect your investment.

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>		✓
<b>Major Defect</b>		✓
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>		✓
<b>Evidence of fungal decay activity and/or damage</b>		✓
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>		✓

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition with some minor defects found.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

## Section B General

### General description of the property

Building Type	Residential, Detached
Company or Strata title	No
Floor	Brick Stumps or Piers, Strip Footings, Suspended Timber Frame
Furnished	Furnished
No. of bedrooms	4
Occupied	Occupied
Orientation	South East
Other Building Elements	Driveway, Fence - Post and Rail Construction, Garage
Other Timber Bldg Elements	Architraves, Door Frames, Doors, Internal Joinery, Skirting Boards
Roof	Corrugated Iron (e.g. Colourbond), Pitched
Storeys	Double
Walls	Timber Framed and Clad
Weather	Overcast

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Outbuildings
- Roof Exterior - Part
- Roof Void - Part
- Subfloor
- Slab Edge
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of skillion or flat roof - no access
- Ceiling Cavity.
- Roof Exterior.
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

### Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be

concealed by the following obstructions which prevented full inspection:

- Vegetation
- Wall linings
- Subfloor area - Limited access due to restrictive crawl space
- Stored items
- Porch
- Roof framing - not trafficable
- Rugs
- Sarking
- Lack of suitable access or entry point
- Insulation
- Furniture
- Floor coverings
- Fixed Furniture - Built-in Cabinetry
- Fixed ceilings
- Ceiling linings
- Above safe working height
- External concrete or paving
- Areas of skillion or flat roof - no access
- Areas of low roof pitch preventing full inspection
- Appliances and equipment

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

### **Undetected defect risk (Building)**

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### **Undetected defect risk (Timber Pest)**

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

No evidence was found

### Major Defect

No evidence was found

### Minor Defect

#### Finding 3.01

Building:	Main Building
Location:	Roof Exterior
Finding:	Trees - Overhanging and filling gutters
Information:	Overhanging trees often result in excessive amounts of leaf debris accumulating in gutters.

Gutters are a critical part of the building's management of storm water and rain. It is therefore important that they be kept clear to prevent secondary damage to associated building elements, including exterior and interior walls, ceiling linings and any adjoining building elements. Where gutters are blocked, pooling of rainwater is likely to occur, fast-tracking rust and corrosion of the roof plumbing elements.

It is highly advised that all overhanging tree branches be removed as soon as possible to prevent any further damage. Repair and/or replacement of sections of damaged guttering may also be required where the extent of the damage necessitates.

Such works should be performed by the homeowner; however, appointment of a landscape contractor or an arborist may be required. Consultation with a licensed roof plumber is required where guttering has been damaged.



### Finding 3.02

Building: Garage  
Location: Roof Exterior  
Finding: Downpipe - Unconnected.  
Information: Observation:

A section of roof plumbing was found where the downpipe is not connected to the stormwater drainage system.

While the current site gradient directs water away from the building, overflow may be discharging onto neighbouring property, which is non-compliant with building codes and/or local council regulations.

Excessive moisture from uncontrolled roof runoff can create conditions that promote termite activity and timber decay.

Recommendation:

It is advised that a licensed plumber be engaged to:

- Inspect the affected roof plumbing area, and
- Connect the downpipe to a compliant stormwater drainage system, or alternatively, install appropriate drainage measures to manage water flow and mitigate potential property damage or pest risks.





### Finding 3.03

Building:	Yard
Location:	Driveway
Finding:	Paving - Uneven.
Information:	Sections of the external paved area were observed to be uneven and irregular, with noticeable height variations between adjoining pavers. This condition appears consistent with either rough or substandard installation practices, possible soil movement, or settlement of the underlying base material over time.

Uneven paving poses a significant trip and fall hazard, particularly in areas of regular pedestrian use such as paths, patios, or entryways. The risk of personal injury increases if individuals are unaware of the uneven surface or during periods of low visibility or wet conditions. From a safety perspective, this issue requires timely attention to ensure compliance with general building and accessibility standards.

In addition to safety concerns, uneven paved areas can also negatively affect surface drainage. Poorly graded or uneven sections may allow water to pond or flow back toward the building's foundation, contributing to moisture accumulation, potential dampness issues, and premature surface deterioration. Over time, these conditions can lead to further instability of the paving and may necessitate more extensive repair works.

It is recommended that the affected sections be re-laid or re-paved to achieve an even and stable finish. Works should include assessment and correction of the underlying substrate to prevent recurrence of movement or settlement. Ensuring appropriate compaction, grading, and drainage will improve both the functionality and longevity of the surface.

A qualified concreter or paving specialist should be consulted to inspect the area, determine the extent of remediation required, and carry out the necessary works in accordance with relevant building and safety standards. Prompt rectification will help eliminate potential safety hazards and preserve the overall condition and presentation of the property.



### **Live Timber Pest Activity**

No evidence was found

### **Timber Pest Damage**

No evidence was found

### **Conditions Conducive to Timber Pest Activity**

No evidence was found

### **Evidence of fungal decay activity and/or damage**

No evidence was found

### **Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements
- Registered Roofing Contractor
- Reinspection by Jim's Building Inspections
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- BUILDING AND PEST SUMMARY

Overall Property Condition

The dwelling was considered to be in good condition relative to others of similar age and construction that have been adequately maintained. No major structural defects were identified during the inspection. Minor defects, maintenance items, and timber pest risks were noted.

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#### MAJOR DEFECTS

- None identified at the time of inspection.

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#### SAFETY HAZARDS

- None identified at the time of inspection.

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#### BUILDING REPORT SUMMARY

Yard / Drainage

- Site drainage appeared acceptable on the day of inspection..
- General drainage adequacy is outside the scope of this inspection. A smoke test is advised to assess for illegal or damaged connections

- Monitoring during and after rainfall is essential to evaluate effectiveness of any rectifications.

#### Roof Plumbing

- Gutters and downpipes were in serviceable condition with no active leaks noted.
- Downpipes to the garage are not connected to the stormwater drainage system.

#### Recommended actions:

- Connect downpipes to stormwater system.
- Cut back overhanging tree branches.
- Roof drainage compliance is outside the inspection scope — further advice should be sought from a licensed roof plumber.

#### Roof Exterior

- Roof not fully accessible due to height limitations
- Due to limitations a closer inspection is recommended by a roofing contractor to assess minor deterioration or hidden defects and confirm condition.

#### External Walls

- Appeared generally good condition.

#### Building Perimeter

- Ensure that surface water drains away from the building at all times.

#### Subfloor

- Subfloor appeared dry and well-ventilated at the time of inspection.
- Stored timber debris should be removed to reduce timber pest risk.
- Insulation installed beneath flooring can conceal termite activity and/or damage.
- Recommended actions:
- Regular inspections every 3 to 6 months

#### Hot Water System (HWS), Taps, and Plumbing

- HWS appeared serviceable
- Taps and fixtures were operational; water pressure was consistent but not tested under full operating conditions.
- No significant leaks or water hammer noted.
- Recommend further testing after regular usage resumes.

#### Interior Linings

- Walls and ceilings were generally in good condition with minor wear and tear.
- No evidence of active ceiling leaks or water damage observed at the time of inspection.

The client should be aware that changes can occur after the inspection, and ongoing monitoring is

recommended.

#### Windows & Doors

- All accessible windows and doors were operational.

#### Bathroom

- Overall condition good
- Bathroom recently renovated? consider confirming waterproofing certification.
- No elevated moisture readings were found behind the shower at the time of inspection.
- Monitoring after more frequent use is advised, and further invasive inspection may be warranted if leaks recur.
- Recommend sealing tiles and grout to prevent moisture ingress.
- No signs of active leaks; waterproofing assumed intact based on visual cues. Invasive inspection required for confirmation.

#### Kitchen

- The kitchen was in good condition overall with no visible defects.
- Recommend appliance testing by a licensed technician (outside scope of this report).

#### Plumbing, Leaks & Waterproofing (Limitations)

- This visual, non-invasive inspection cannot confirm the presence of leaks or the condition of waterproofing in wet areas.
- Water pressure and tapware condition were not fully assessed.
- A licensed plumber is required to provide an accurate assessment.

Note: Client should ensure all extensions and additions are council-approved.

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### TIMBER PEST REPORT SUMMARY

#### Termite Activity

- No visible evidence of active termites, termite damage, or mud leads at the time of inspection.

#### Timber Decay

- No Wood rot observed at the time of inspection.

#### Moisture Conditions

- No elevated moisture detected in wet areas, including behind showers, at the time of inspection using a Tramex Moisture Encounter Plus.

#### Trees & Landscaping

- Mature trees and vegetation close to the structure may harbour termites.
- Recommend test drilling large trees and using a borescope to check for internal voids or activity.
- Remove any untreated landscaping timbers and timber debris from around the yard.

#### Obstructions & Limitations

- Insulation in the roof void and subfloor may conceal termite activity or damage.
- No access to roof void areas due to placement of hatch at lower pitch, insufficient clearance.
- Full access is required to allow for a more comprehensive assessment and as recommended the area(s) re-inspected.

#### Termite Management System

- No durable notice or record of an existing termite management system was found.
- The client should seek further information from the vendor or arrange for a professional termite barrier or treatment system to be installed.

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#### KEY RECOMMENDATIONS

- Defects found should be rectified promptly to avoid escalation.
- Consider obtaining documentation or install termite management system.
- Engage a roofer for closer inspection of roof condition.
- Seek documentation for bathroom renovations (e.g., waterproofing certificates).
- Schedule annual pest inspections in accordance with AS 3660.2 for ongoing risk management.

For further information, advice and clarification please contact David Piva on: 0466 136 675

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Evidence of live termite activity was not visible at the time of the inspection..  
 Information: Termite Activity – Important Advisory

Although no visible evidence of live termite activity was found at the time of this inspection, it is important to understand that early-stage termite attacks often show no visible signs. Termite activity can remain concealed within walls, floors, or other inaccessible areas, and evidence may only become apparent after significant damage has occurred.

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Limitations of the Inspection:

This inspection report reflects the conditions present on the day of inspection only. As such, it cannot guarantee the absence of termite activity, particularly in concealed or inaccessible areas.

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Recommendation:

If any new evidence of termite workings, mud leads, or timber damage is discovered before the next scheduled inspection, you should immediately contact a licensed pest management professional for further assessment and treatment if required.

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Note: Regular inspections (at least annually) are essential for the early detection of termite activity and to reduce the risk of serious structural damage.

#### Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Evidence of termite workings / damage was absent at the time of inspection..  
 Information: Observation: No Termite Activity Detected at Time of Inspection

At the time of inspection, no evidence of active termite activity, past workings, or

visible termite damage was found on the property.

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Recommendation:

- The homeowner should continue to comply with all warranty conditions and ongoing maintenance recommendations provided by the termite management or pest control company (if applicable).
- It is important to continue monitoring areas that are conducive to termite activity, particularly those with moisture, poor ventilation, or timber-soil contact.
- Annual timber pest inspections in accordance with Australian Standard AS 4349.3 are strongly recommended to allow for the early detection of termite activity, especially in concealed or inaccessible areas.

## Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Evidence of chemical delignification was not visible at the time of inspection..  
 Information: Overview:

Chemical delignification (wood defibration) is the chemical breakdown of lignin, causing wood fibers to deteriorate. It typically affects roof battens and other exposed structural timbers.

Causes:

Occurs mainly in marine or chemically reactive environments due to exposure to airborne salts, corrosive gases, or industrial pollutants.

Consequences:

Reduces timber strength and integrity, potentially leading to roof structure failure if untreated.

Inspection Findings:

No signs of chemical delignification observed during inspection.

## Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Wood borer activity - not identified..

Information: Wood Borer Activity

No evidence of active wood borer was observed in accessible areas. Some timber elements were obstructed or inaccessible, so concealed activity cannot be fully excluded. Wood-borer-related damage typically presents as fine powder (frass), small round exit holes, or weakened timber surfaces.

Recommendation

Clear obstructed areas for further inspection where possible and maintain annual pest inspections in line with AS 4349.3. If any signs of frass, exit holes, or timber deterioration appear, obtain further assessment from a licensed pest technician.

## Noted Item

Building: Main Building  
 Location: Subfloor  
 Finding: Subfloor ventilation - Adequate..  
 Information: Observation: Subfloor Ventilation

- Subfloor ventilation plays a critical role in preventing damp or wet conditions, which are known to be conducive to timber pest activity.
- The ventilation system observed on-site provides passive airflow, assisting in the drying of subfloor soils following periods of rain or other moisture events.
- Termites require moist, humid environments to forage and establish colonies. Therefore, maintaining a dry subfloor significantly reduces the risk of termite activity.

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Conclusion:

- Subfloor ventilation appeared to be adequate and functioning satisfactorily at the time of inspection.
- No immediate concerns were noted regarding airflow or vent obstruction.

## Noted Item

Building: Main Building  
 Location: Rear Elevation  
 Finding: Slab Edge Inspection Zone – Not Maintained..  
 Information: Observation:

An inspection zone of at least 75mm should be maintained between the bottom course of brickwork and any adjoining surface (e.g., paving, soil, turf, or concrete) to

allow for visual detection of termite activity. This area, known as the exposed slab edge, is a critical part of termite management and monitoring.

Risk:

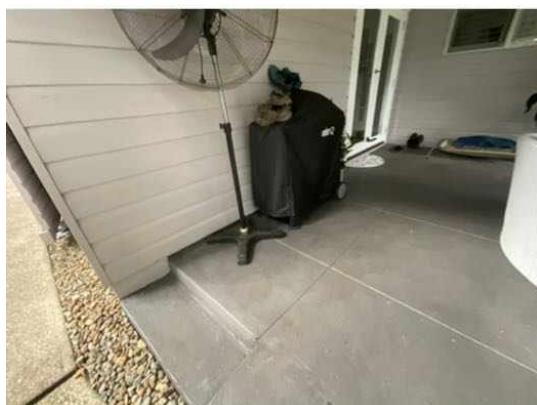
If the slab edge is concealed by render, landscaping, cladding, soil, or other obstructions, termites may gain undetected access to the structure. Without a clear inspection zone, there is a high risk of concealed termite entry, particularly where no physical or chemical barrier can be confirmed.

Additional Note:

In some cases, determining the type of slab construction (e.g., waffle pod, conventional) may require review of original building plans or advice from a qualified builder or architect.

Recommendation:

- Ensure that the slab edge is kept fully exposed around the perimeter of the building.
- Remove any obstructions such as soil, mulch, paving, or cladding that may hinder visibility.
- Where the slab edge cannot be fully exposed, it is strongly recommended that timber pest inspections be carried out every 6 to 12 months to monitor for termite activity and minimise risk to the structure.



### Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Fungal decay - Absent at the time of inspection..  
 Information: Fungal Decay (Wood Rot) – Risk Awareness

No visible signs of fungal decay were identified at the time of inspection. Fungal decay occurs when timber is exposed to prolonged moisture in conditions that support

fungal growth, including elevated moisture content, poor ventilation, and suitable ambient temperatures.

#### Recommendation

Continue routine monitoring of all accessible timber elements, particularly those located in areas where moisture may be present. Ongoing maintenance such as maintaining ventilation, managing moisture sources, sealing or coating exposed timber surfaces, and replacing any deteriorated material will help reduce the risk of decay developing over time.

### Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Thermal Imaging – Termite Activity Assessment..  
 Information: During the inspection, a Flir E6 Thermal Imaging Camera was used to detect irregularities in the internal walls and ceilings.

Termites can often be identified by:

- Nesting activity or visible mud tubes
- Moisture sources or structural damage

Termites release heat in the form of carbon dioxide and build mud tubes with high moisture content, which can create irregular heat patterns on surfaces such as walls, ceilings, and floors.

At the time of the inspection, no abnormalities indicating live termite activity were observed. However, it's important to note that various factors—such as obstructions, ambient temperature, and wall material/thickness—can impact the accuracy of thermal readings. In cases where surfaces are visually restricted or obstructed, a comprehensive thermal scan may not always be feasible.



## Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Termite Management System - Missing Durable Notice..  
 Information: Observation: Missing Durable Notice for Termite Management System

At the time of inspection, no durable notice or sticker was found within the switchboard unit or other accessible areas to indicate the presence or type of termite management system currently installed.

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Recommendation:

It is strongly recommended that a durable notice be affixed within the main electrical switchboard or another prominent location (e.g. meter box or inside garage) to clearly identify:

- The type of termite management system installed (e.g. chemical barrier, physical barrier, reticulation system, baiting system)
- The installation date
- The installer's contact information
- Ongoing maintenance or inspection requirements
- If no reliable information can be obtained, or if the existing system is found to be outdated or non-functional, it is recommended that a new termite management system be installed by a licensed pest control professional.

The client should also consult the current homeowner or builder for any documentation or warranties related to an existing termite management system.

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Summary:

A termite management system is a critical component in protecting a property from termite attack. These systems may include a combination of:

- Physical barriers
- Chemical soil treatments
- Reticulation or baiting systems

- Regular inspections

Proper maintenance and documentation are essential to ensure continued protection. Without a visible durable notice, there is no clear indication of what system (if any) is in place, which may limit the effectiveness of future termite inspections and hinder warranty claims.



### Noted Item

Building: Main Building  
 Location: Subfloor  
 Finding: Subfloor Assessment  
 Information: Access & Limitations

#### Observation:

The subfloor space was inspected at the time of assessment; however, access was restricted in areas due to areas of low clearance, physical constraints and installed materials. In particular, insulation installed to the underside of the flooring limited clear visibility of portions of the subfloor framing and concealed elements.

#### Implication:

Restricted access and concealed areas limit the extent of the inspection and increase the risk that defects, including timber pest activity, moisture-related deterioration, or structural deficiencies, may be present but not visible at the time of inspection.

#### Recommendation:

No invasive inspection was undertaken. If further certainty is required, consideration should be given to a more intrusive assessment by a suitably qualified contractor, including selective removal of obstructions where appropriate.

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Moisture Levels

**Observation:**

Subfloor conditions appeared dry at the time of inspection, with no obvious signs of excessive moisture or dampness observed to exposed areas.

**Implication:**

Dry conditions at the time of inspection reduce the likelihood of active moisture-related issues; however, moisture levels within subfloor environments can fluctuate significantly depending on weather conditions, drainage performance, and seasonal factors.

**Recommendation:**

Ongoing monitoring is advised, particularly following periods of heavy rainfall, to ensure moisture levels remain within acceptable limits.

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**Ventilation****Observation:**

Subfloor ventilation appeared adequate based on visible venting provisions and airflow pathways.

**Implication:**

Adequate ventilation assists in reducing moisture accumulation and helps mitigate the risk of timber decay and fungal growth.

**Recommendation:**

Maintain existing ventilation openings and ensure they remain unobstructed. Periodic checks are recommended to confirm continued performance.

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**Drainage & Water Entry****Observation:**

Minor signs of water ingress were noted within the subfloor area. A gravel trench was observed, likely installed to assist with subsoil drainage.

**Implication:**

While the presence of drainage measures is noted, evidence of minor water ingress indicates that water may enter the subfloor under certain conditions. Prolonged or

repeated moisture exposure can contribute to timber deterioration and may increase the risk of termite attraction.

Recommendation:

Monitor the subfloor during and after rainfall events to assess the effectiveness of the drainage system. Improvements to site drainage may be required if water ingress persists.

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#### Timber Framing & Structural Elements

Observation:

Visible timber framing elements appeared to be in generally sound condition at the time of inspection. Insulation installed beneath the flooring restricted full visual assessment of the structure.

Implication:

Although no significant defects were observed in exposed areas, concealed framing elements could not be fully assessed. Defects such as timber decay, pest damage, or structural movement may be present but not visible.

Recommendation:

No immediate action is required based on visible elements. If concerns arise or during future works, concealed areas should be inspected where accessible.

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#### Mould, Mildew & Soil Conditions

Observation:

No visible signs of mould or mildew were identified within the accessible subfloor areas. Soil conditions appeared stable and not excessively damp at the time of inspection.

Implication:

The absence of mould or mildew suggests that moisture levels are currently being managed adequately; however, conditions may change with environmental factors.

Recommendation:

Maintain adequate ventilation and drainage to prevent future microbial growth.

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#### Pipework & Plumbing

##### Observation:

No visible leaks were identified to exposed pipework at the time of inspection. Drainage lines appeared to be in serviceable condition based on visual assessment only.

##### Implication:

While no active leaks were observed, concealed plumbing components were not fully visible and therefore could not be assessed.

##### Recommendation:

Continue to monitor for signs of leaks such as dampness, odours, or staining. A licensed plumber should be engaged if concerns arise.

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#### Electrical & Services

##### Observation:

No visible concerns were identified in relation to electrical components within the subfloor; however, electrical systems are not within the scope of this inspection.

##### Implication:

The condition, compliance, and safety of electrical installations have not been verified.

##### Recommendation:

A licensed electrician should be consulted for a detailed assessment if required.

□

#### General Condition

##### Observation:

The subfloor area is considered to be in satisfactory overall condition based on accessible and visible elements at the time of inspection.

##### Implication:

No significant defects were identified; however, limitations in access and visibility

apply.

Recommendation:

Routine maintenance and periodic inspections are recommended to ensure conditions remain satisfactory.

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Additional Information

Photographs were taken for reference. Subfloor conditions can vary due to seasonal changes, weather patterns, and site drainage performance. No further specialist assessment is considered necessary at this time based on the observations made.

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Inspector's Comments

The subfloor space presented in generally serviceable condition at the time of inspection, with no major defects identified in accessible areas. Notwithstanding, due to restricted access and concealed elements, a degree of uncertainty remains, and ongoing monitoring is advised as part of standard property maintenance.







Noted Item

Building: Main Building  
 Location: Yard - External Areas  
 Finding: Site/Yard Drainage - Surface Water.  
 Information: Site Drainage:

- Condition at the Time of Inspection: Site drainage appeared to be acceptable during the inspection, with no immediate concerns noted.
- Ongoing Monitoring: However, it is recommended that the site and yard be monitored during heavy rainfall to assess whether the existing drainage system can handle significant water flow. If the drains fail to cope with large volumes of water, it may be necessary to install additional drains to prevent water pooling around the structure.
- Limitations of Inspection: The general adequacy of site drainage is outside the scope of the Standard Property Inspection Report. During dry periods or when there has been little rainfall, surface water drainage may appear satisfactory. However, it could prove inadequate during heavy rains. Therefore, comments on surface water drainage should be interpreted with caution, as they are relevant only in light of the conditions at the time of inspection.
- Recommendation for Smoke Test: A Smoke Test is recommended to detect illegal connections, blocked, or broken drains. This test will help identify any drainage issues that could cause water flow problems in the future.

## Noted Item

Building: Main Building  
 Location: Roof Void  
 Finding: Roof Void – Limited Accessibility..  
 Information: Observation:

Access to the roof void was restricted due to several limiting factors, including:

- Inaccessible due to placement of hatch located at low roof pitch
- Presence of insulation

As a result, a complete inspection of the roof void was not possible.

A visual inspection was conducted from all accessible entry points, and supplementary photographs have been provided for your reference.

Important Note:

A full inspection of the roof space is not achievable unless all obstructions—including insulation and restricted access points—are removed, and full, safe access is

provided. Termite activity or timber pest damage may go undetected in concealed or inaccessible areas.

Recommendation:

Installation of an additional manhole is recommended to facilitate a re-inspection and enable a more thorough assessment of the roof void in the future. This will help ensure that all structural elements and concealed areas are properly evaluated.



**Noted Item**

Building: Main Building  
Location: Kitchen

Finding: Kitchen Sink – Overall Condition & Recommendations.

Information: Observations:

- The kitchen sink tap(s) were water tested at the time of inspection, with no evidence of leaks or blockages observed in the visible plumbing or drainage.
- No significant water damage was observed to the cabinetry/unit.
- Stored items under the sink obstructed access, limiting a full inspection of the plumbing and internal cabinetry.

□

Recommendations:

- Further monitoring and testing are recommended once the tap(s) are in constant use, to identify any drainage issues or signs of slow leaks not evident during the limited inspection.
- It is recommended that the stored items beneath the sink be removed to allow for a full re-inspection of the plumbing and cabinetry, ensuring no concealed defects are present.



### Noted Item

Building: Main Building

Location: Bathroom

Finding: Wet Areas - Bathroom(s) - Overall Condition & Recommendations.

Information: Overall Condition & Recommendations

□

SHOWER:

- Water appeared to flow freely towards the floor waste during testing of the shower taps. However, further monitoring is required after regular use to determine whether

water pooling or retention occurs.

- Flood testing of the shower recess is recommended. This may reveal inadequacies in the waterproofing or shower screens, which could lead to water damage in surrounding areas.
- Floor waste was found to be clear and free of blockages at the time of inspection. Further monitoring is advised after consistent use to identify any drainage issues or buildup requiring cleaning.
- No elevated moisture readings were detected around the tap fittings or behind the shower walls (as viewed from adjacent rooms), suggesting no active plumbing leaks at the time of inspection.
- Sealing of grout and tiles is recommended to prevent moisture buildup and mould growth in damp areas such as showers.
- The condition of grout and sealant appeared to be good.
- The exhaust fan appeared to be operational, which supports moisture control in the bathroom.

□

#### TOILET:

- No leaks were observed during flushing. The toilet operated normally, and the toilet pan appeared to be securely fixed to the floor.

□

#### VANITY UNIT:

- Basin(s) were water tested and inspected, with no leaks or blockages identified in the plumbing or drainage system at the time of inspection.
- Further monitoring is recommended after the basin(s) are placed under regular use to confirm ongoing performance and cleanliness.
- No visible water damage was observed to the vanity cabinetry at the time of inspection.
- Stored items inside the vanity obstructed full visibility during the inspection. It is advised that the area be re-inspected once all obstructions are removed.

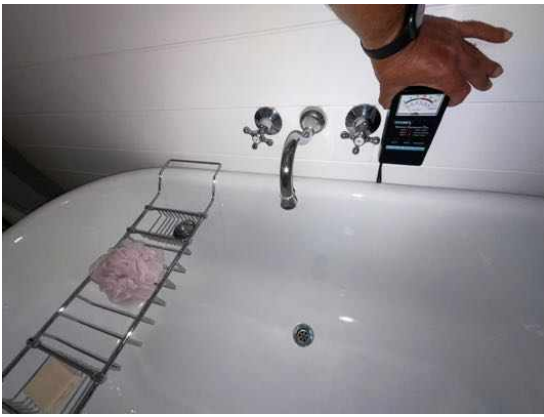
□

#### IMPORTANT NOTE:

It is not possible under the visual inspection criteria of a standard pre-purchase report to categorically determine if leaks are present. If a more detailed or accurate assessment is required, a special-purpose inspection should be undertaken.

Alternatively, the assumption should be made that leakage may occur, particularly where historical or environmental conditions are conducive. The visual nature of this inspection cannot detect issues concealed behind wall/floor linings or cabinetry, and invasive investigation may be necessary to confirm the true condition of adjacent or hidden structures.





### Noted Item

Building: Main Building  
Location: Bathroom 2 / Laundry  
Finding: Wet Areas - Bathroom/s.  
Information: Overall Condition & Recommendations

#### SHOWER:

- Water appeared to flow freely towards the floor waste during testing of the shower taps. However, further monitoring is recommended once the shower is in regular use to determine whether any water pooling or retention occurs.

- Flood testing of the shower recess is also recommended, as this may reveal inadequacies in waterproofing or shower screen sealing, helping to prevent potential water damage to adjacent areas.
- The floor waste appeared clear and unobstructed at the time of inspection, with no visible signs of blockage. Continued monitoring during regular use is advised to detect any possible drainage issues or buildup.
- No elevated moisture readings were detected in the walls surrounding tap fittings or in adjacent rooms where accessible, indicating no signs of active plumbing leaks at the time of inspection.
- Sealing of tiles and grout is recommended to prevent moisture ingress and reduce the risk of mould growth.
- Grout and sealant appeared to be in good condition overall.
- The exhaust fan was tested and appeared to be operational.

□

#### TOILET:

- The toilet was flushed during the inspection and appeared to operate as expected, with no visible leaks observed.
- The toilet pan was securely fixed at the time of inspection.

□

#### LAUNDRY UNIT:

- The basin(s) were water tested, with no evidence of leaks or blockages detected in the plumbing or drainage at the time of inspection.
- Further monitoring is advised once the basin(s) are in regular use to ensure there are no drainage issues or buildup that may require attention.
- The unit showed no signs of water damage at the time of inspection.

□

#### Important Note:

This inspection is conducted under visual and non-invasive criteria, in line with standard pre-purchase inspections. As such, it is not possible to categorically confirm the absence of leaks in wet areas.

- If a more thorough assessment is required, a special purpose or invasive inspection

should be arranged.

- Alternatively, it should be assumed that the shower may leak until proven otherwise through flood testing and extended monitoring under regular use conditions.
- Wall and floor linings may conceal damage, which will not be visible during a non-invasive inspection.





### Noted Item

Building: Main Building  
 Location: All Areas  
 Finding: Ceiling Condition & Observations.  
 Information: All areas of the dwelling were inspected, with particular attention given to the ceilings. These were closely assessed for any signs of moisture staining, damage, or visible anomalies that could indicate leaks or other issues.

- At the time of inspection, no evidence of moisture staining or damage was observed in the ceilings to suggest any active leaks or failures in the roof covering.

Please note that the observations in this section are based solely on the conditions present at the time of inspection. As this is a visual inspection, it cannot predict future issues or reveal problems that may only become apparent over time. Ceiling conditions can change, particularly following adverse weather events or wear to roofing materials.

Recommendation:

We strongly advise immediate further investigation should any signs of moisture, staining, or ceiling-related issues become visible in the future. Ongoing monitoring is recommended, and if concerns arise, a licensed roofing contractor or building professional should be consulted.

## Noted Item

Building: Main Building  
Location: All Areas  
Finding: Water Pressure – Observation Only.  
Information: During the inspection, water pressure appeared to be within a normal operating range based on a basic functional check. However, this observation was made without the use of pressure testing equipment and does not constitute an assessment by a licensed plumber.

No detailed inspection of the internal plumbing system, pipework, or compliance with plumbing standards was carried out as part of this report.

Recommendation:

It is strongly recommended that a Licensed Plumber be engaged to conduct a comprehensive assessment of the plumbing system to verify its functionality, check for any underlying issues, and confirm compliance with current regulations and standards.

## Noted Item

Building: Main Building  
Location: All Areas  
Finding: Plumbing, Electrical & Gas Installations – Scope and Recommendations.  
Information: Plumbing and electrical inspections fall outside the scope of this building inspection and must be carried out by appropriately licensed and registered tradespersons.

- Any gas appliances (if applicable) must be inspected by a licensed gas plumber to confirm they are operating safely and efficiently.
- We also recommend that all other plumbing and electrical installations be thoroughly checked by qualified professionals to ensure they are functioning correctly and meet current safety and compliance standards.

While this inspection includes observations of visually apparent defects relating to plumbing and electrical elements, it does not assess compliance with current regulations. Legislation requires that any such assessment be undertaken and documented by licensed electricians and plumbers.

Additional photos have been supplied with this report for your general reference.



Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Smoke Detectors / Alarms.
Information:	Reporting on the presence, type, location, or compliance of smoke detectors or alarms, including hard-wired smoke detection systems and their legislative requirements, is outside the scope of this inspection report.

Please note:

This information is provided as a general caution only.

To ensure compliance and safety, further inspection and/or advisory services from a qualified specialist are recommended. These services can confirm the sufficiency, type, location, and functionality of all smoke detection devices within the property.

It is the responsibility of the property owner or occupant to ensure that suitable and functional smoke detectors are installed prior to occupancy. As a minimum, it is advised that:

- All smoke detectors be tested monthly by the homeowner.
- All systems comply with the requirements of AS 3786 and any applicable state-based legislation.

Failure to comply with these requirements may pose a serious risk to occupant safety.



### Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Shower Recess Waterproofing – Visual Assessment Only.
Information:	A visual inspection of the shower recess and surrounding walls was carried out where accessible. No evidence of recent water damage was observed at the time of inspection. Based on this limited assessment, there is no conclusive indication of current leakage, and it is reasonable to assume that the shower waterproofing is

functioning as intended.

Important Note:

If the shower has not been used recently, moisture readings may not reflect the presence of leaks, as water ingress often only becomes apparent during or shortly after regular use. This can result in false-negative results during non-invasive inspections.

Limitations:

This inspection was conducted under the visual-only criteria of a standard pre-purchase report. As such, it is not possible to categorically confirm the integrity of the waterproofing or the absence of leaks.

Recommendation:

If a more accurate assessment is required, the following options are recommended:

- Commissioning a special purpose (invasive) inspection by a qualified professional
- Proceeding with the assumption that the shower may leak, particularly in older properties or where no recent waterproofing documentation exists

## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.