



# Building and Timber Pest Inspection Report

Inspection Date: Wed, 21 Jan 2026

Property Address: 4 Wentworth St, Palmers Island NSW 2463,  
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Wed, 21 Jan 2026

Modified Date: Fri, 23 Jan 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 4 Wentworth St, Palmers Island NSW 2463, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Dean Huxley Ph: 0410 535 121  
Email: Yamba@jimsbuildinginspections.com.au

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Company Name: Jim's Building Inspections (Yamba)

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Company Address and Postcode: Yamba 2464

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Company Email: Yamba@jimsbuildinginspections.com.au

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Company Contact Numbers: 0410 535 121

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

This inspection is only a visual inspection and multiple areas through out the building are not able to be inspected. Timber damage and activity maybe located to in these areas. A further invasive inspection is recommended to gain a better understanding of the buildings condition and to the extent of any timber pest activity.

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	
<b>Live Timber Pest Activity</b>		✓
<b>Timber Pest Damage</b>		✓
<b>Conditions Conducive to Timber Pest Activity</b>	✓	
<b>Evidence of fungal decay activity and/or damage</b>	✓	
<b>Evidence of wood borer activity and/or damage</b>		✓
<b>Evidence of a previous termite management program</b>	✓	

### Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

### Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. A termite treatment is recommended.

## Section B General

### General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Concrete, Chipboard, Steel Columns, Steel Frame, Suspended Steel Frame with CFC Sheets
Furnished	Unfurnished
No. of bedrooms	4
Occupied	Occupied
Orientation	East
Other Building Elements	Fence - Fabricated Metal Fence, Fence - Post and Rail Construction, Garage
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Fascias, Skirting Boards, Stair Railing, Staircase, Internal Joinery, Veranda Posts
Roof	Timber Framed, Corrugated Iron (e.g. Colourbond)
Storeys	Double
Walls	Timber Framed and Clad, Weatherboards, Concrete Block, Colourbond
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Gardens
- Interior
- Roof Void - Part
- Slab
- The Site
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

### Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Exterior Roof Surface - Second Storey.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

### Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height

- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- Evidence of recently painted walls or ceilings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Insulation
- No safe point from which to access roof exterior
- Overhanging vegetation
- Sarking
- Stored items
- Vegetation
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

### Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

### Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

#### Finding 1.01

Building:	Main Building
Location:	Left hand elevation
Finding:	Gas Bottles – Not Secured and Non-Compliant
Information:	The gas bottles were found to be unsecured at the time of inspection and are considered non-compliant. This presents a potential safety risk and does not meet current installation requirements. It is recommended that a suitably qualified gas fitter or licensed tradesperson secure and rectify the installation as deemed necessary to achieve compliance and improve safety.



### Major Defect

#### Finding 2.01

Building:	Main Building
Location:	Laundry
Finding:	Ground Floor Bathroom/Laundry – Unfinished Works
Information:	The ground floor bathroom/laundry was found to be unfinished at the time of inspection. This includes incomplete fixtures and finishes, which may affect functionality and compliance. It is recommended that a suitably qualified tradesperson complete the remaining works as deemed necessary to bring the area to an acceptable standard.



## Finding 2.02

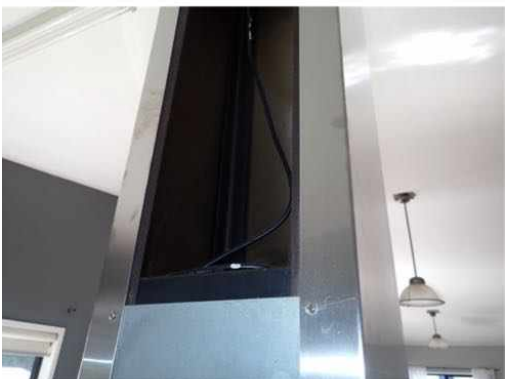
Building:	Main Building
Location:	Top floor tiled area
Finding:	Top Floor – Floor Tiles in Poor Condition
Information:	The floor tiles to the top floor were found to be in poor condition at the time of inspection and require replacement. This may be due to age-related deterioration, poor installation, or issues with the underlying substrate. It is recommended that a suitably qualified tiler remove the tiles, assess the substrate, and carry out repairs or replacement as deemed necessary before re-tiling to ensure a suitable finish.



### Finding 2.03

Building:	Main Building
Location:	Kitchen
Finding:	Kitchen – Poor Condition Due to Incomplete Installation and Lack of Maintenance
Information:	The kitchen was found to be in poor condition at the time of inspection due to poor and incomplete installation and a lack of general maintenance, although it was functional. If left unaddressed, the condition may continue to deteriorate over time. It is recommended that a suitably qualified tradesperson carry out repairs, completion works, and general maintenance as deemed necessary to improve the overall condition and longevity of the kitchen.





Finding 2.04

Building:	Main Building
Location:	Bedroom balcony's
Finding:	Bedroom Balconies – Inadequate Waterproofing Causing Damage Below
Information:	A lack of effective waterproofing to the bedroom balconies was identified at the time of inspection, which has resulted in damage to the timber framework and internal linings below the balconies. This indicates ongoing moisture penetration. If left unaddressed, further deterioration and potential further structural issues may occur. It is recommended that a suitably qualified builder or waterproofing specialist assess the balconies, rectify the waterproofing, and repair the damaged timber and linings as deemed necessary.



## Finding 2.05

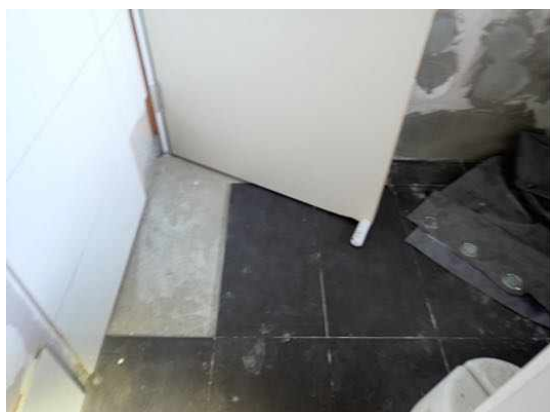
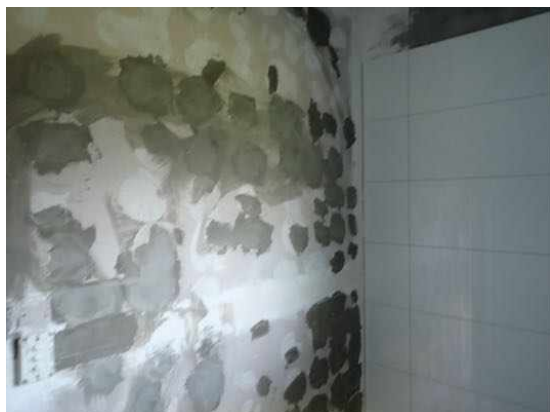
Building:	Main Building
Location:	Down pipes
Finding:	Downpipe Brackets – Rusted and Require Replacement
Information:	Rust was identified to the downpipe brackets at the time of inspection, indicating age-related deterioration. If left unaddressed, the brackets may fail and affect the stability of the downpipe. It is recommended that a suitably qualified tradesperson replace the affected brackets as deemed necessary to ensure the downpipe is adequately supported.



**Finding 2.06**

Building: Main Building  
Location: Bathroom  
Finding: Ground Floor Bathroom – Unfinished Works  
Information: The main bathroom was found to be unfinished at the time of inspection. This includes incomplete fixtures and finishes, which may affect functionality and compliance. It is recommended that a suitably qualified tradesperson complete the remaining works as deemed necessary to bring the area to an acceptable standard.





### Finding 2.07

Building:	Main Building
Location:	Balcony
Finding:	Balcony – Cracked Tiles Along Edge
Information:	Cracked tiles were identified to the balcony along the edge at the time of inspection. This may allow moisture to penetrate beneath the tiles and lead to further deterioration of the tiled surface and underlying substrate. It is recommended that a suitably qualified tiler inspect the area and repair or replace the affected tiles as deemed necessary.



**Finding 2.08**

Building: Main Building  
Location: Rear boundary  
Finding: Rear Boundary Timber Fence – Poor Condition  
Information: The rear boundary timber fence was found to be in poor condition at the time of inspection. This is likely due to age-related deterioration and weather exposure. If left unaddressed, further deterioration and loss of stability may occur. It is recommended that a suitably qualified fencing contractor or tradesperson repair or replace the fence as deemed necessary.



### Minor Defect

#### Finding 3.01

Building: Main Building  
Location: All Areas  
Finding: Internal Doors – Generally in Need of Repair and Maintenance  
Information: The doors throughout the building were found to be generally in need of repair and maintenance at the time of inspection. This may include adjustment, repair of hardware, painting or general servicing due to unfinished works, poor installation and age-related wear and tear. It is recommended that a suitably qualified carpenter or general handyman carry out repairs and maintenance as deemed necessary to restore proper operation and condition.





**Finding 3.02**

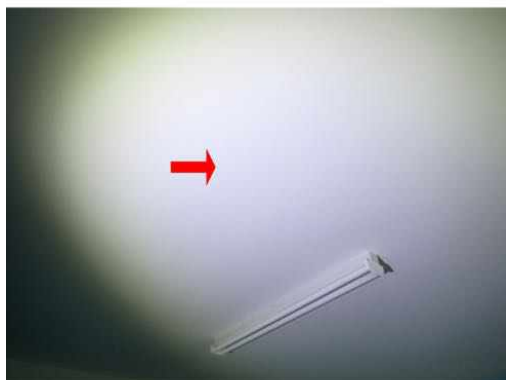
Building: Main Building  
Location: Ground floor concrete slab  
Finding: Ground Floor Concrete Slab – Several Minor Cracks  
Information: Several minor cracks were identified in the ground floor concrete slab at the time of inspection. These appear consistent with general shrinkage and age-related movement. While not considered structurally significant, it is recommended that the cracks be monitored and repaired as deemed necessary by a suitably qualified tradesperson to help prevent further deterioration.





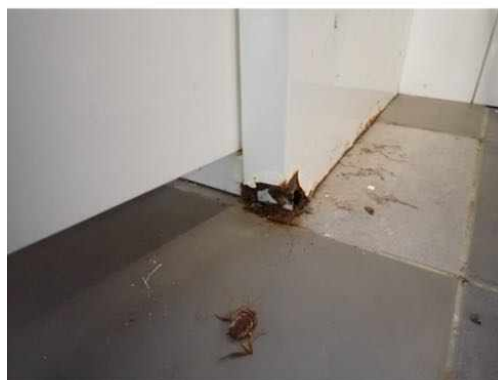
Finding 3.03

Building:	Main Building
Location:	Ground floor concrete slab
Finding:	Ground Floor Ceiling – Minor Cracks to Plaster
Information:	Minor cracks were identified in the ground floor ceiling plaster at the time of inspection. These may be related to poor installation, minor movement, or shrinkage of materials. While not considered structurally significant, it is recommended that the cracks be repaired and monitored as deemed necessary by a suitably qualified tradesperson to maintain the ceiling finish.



### Finding 3.04

Building:	Main Building
Location:	Laundry
Finding:	Laundry Tub Cabinet – Rust to Bottom Section
Information:	Rust was identified to the bottom of the laundry tub cabinet at the time of inspection. This is likely due to prolonged exposure to moisture. If left unaddressed, the corrosion may continue to deteriorate the cabinet. It is recommended that a suitably qualified tradesperson repair, treat, or replace the affected cabinet as deemed necessary to prevent further deterioration.



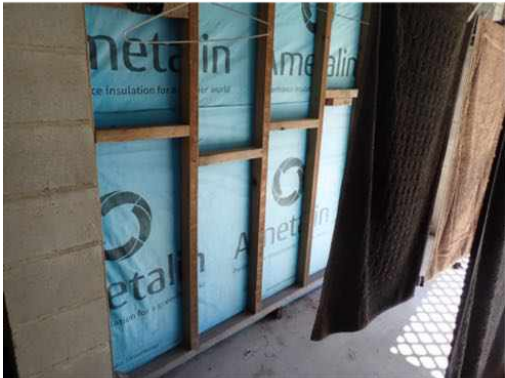
### Finding 3.05

Building:	Main Building
Location:	Carport
Finding:	Carport – Surface Rust to Steel Floor Joist
Information:	Surface rust was identified to a steel floor joist within the carport at the time of inspection. This is consistent with age-related deterioration and exposure to moisture. While the rust appeared to be superficial, ongoing corrosion may occur if left unaddressed. It is recommended that a suitably qualified tradesperson clean, treat, and protect the affected steelwork as deemed necessary to prevent further deterioration.



### Finding 3.06

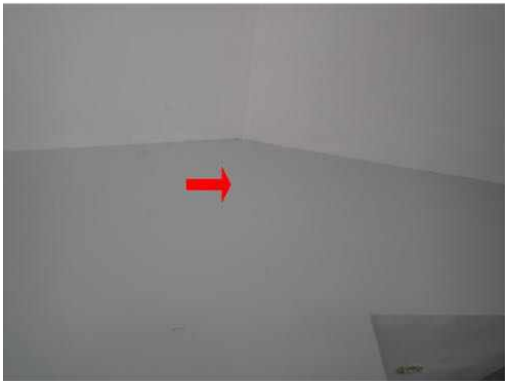
Building:	Main Building
Location:	Carport
Finding:	Carport – Unfinished Works
Information:	Unfinished works were identified to the carport at the time of inspection. This includes incomplete construction of finishing items that may affect functionality and appearance. It is recommended that a suitably qualified tradesperson complete the remaining works as deemed necessary to bring the carport to an acceptable standard.



**Finding 3.07**

Building: Main Building  
Location: Living room  
Finding: Living Room – Minor Cracking to Internal Cladding  
Information: Minor cracking was identified to the internal cladding in the living room at the time of inspection. This appears consistent with minor movement and age-related wear. While not considered structurally significant, it is recommended that the affected areas be repaired and monitored as deemed necessary by a suitably qualified tradesperson to maintain the condition of the internal finishes.





**Finding 3.08**

Building: Main Building  
Location: All areas  
Finding: Internal Paintwork – Poor or Unfinished  
Information: Internal paintwork was found to be poor or unfinished at the time of inspection. This appears to be due to incomplete works or poor workmanship and affects the overall presentation of the internal areas. It is recommended that a suitably qualified painter complete and rectify the paintwork as deemed necessary to achieve an acceptable standard of finish.



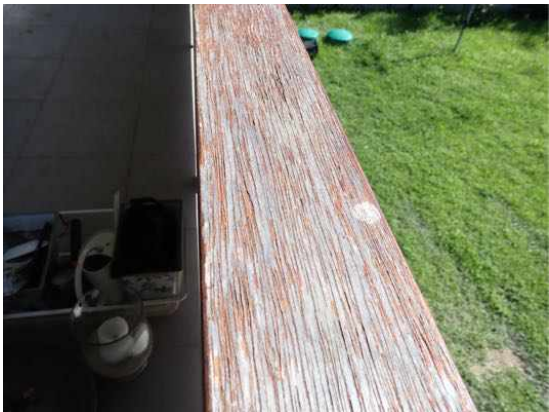
**Finding 3.09**

Building: Main Building  
Location: Bedrooms  
Finding: Bedroom sliding doors and window – Damaged Fly Screens  
Information: Damaged fly screens were identified to the bedroom windows and sliding doors at the time of inspection. This may reduce their effectiveness in keeping insects out and affect usability. It is recommended that a suitably qualified tradesperson repair or replace the affected fly screens as deemed necessary.



**Finding 3.10**

Building: Main Building  
Location: Balustrades, stair handrails and stairs  
Finding: Balustrades, Stairs and Handrails – Fair Condition, Maintenance Required  
Information: The balustrades, stairs, and stair handrails were found to be in fair condition at the time of inspection, however general maintenance and minor repair works are required. This is consistent with age-related wear and use. It is recommended that a suitably qualified tradesperson carry out maintenance and minor repairs as deemed necessary to maintain safety and serviceability.





**Finding 3.11**

Building: Main Building  
 Location: Shed  
 Finding: Garage Concrete Slab – Several Minor Cracks  
 Information: Several minor cracks were identified in the garage concrete slab at the time of inspection. These appear consistent with general shrinkage and age-related movement. While not considered structurally significant, it is recommended that the cracks be monitored and repaired as deemed necessary by a suitably qualified tradesperson to help prevent further deterioration.





## Live Timber Pest Activity

No evidence was found

## Timber Pest Damage

No evidence was found

## Conditions Conducive to Timber Pest Activity

### Finding 6.01

Building:	Main Building
Location:	Rear boundary and rear stairs
Finding:	Timber in Contact with Ground – Conditions Conducive to Termite Attack
Information:	Timber elements were identified in direct contact with the ground at the time of inspection, creating conditions that are conducive to termite attack. This may increase the risk of concealed termite activity and timber damage. It is recommended that a suitably qualified tradesperson rectify the timber-to-ground contact and that a licensed timber pest technician be consulted to provide appropriate termite management measures as deemed necessary.





## Evidence of fungal decay activity and/or damage

### Finding 7.01

Building:	Main Building
Location:	Bedroom
Finding:	Bedroom Window Frame – Wood Rot Identified
Information:	Wood rot was identified to the bedroom window frame at the time of inspection. This is likely due to prolonged moisture exposure. If left unaddressed, the deterioration may worsen and affect the integrity of the window. It is recommended that a suitably qualified carpenter repair or replace the affected timber and address the source of moisture as deemed necessary.



### **Evidence of wood borer activity and/or damage**

No evidence was found

## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in fair condition when compared to homes of similar age, type of construction and location.

I recommend reading this report in detail and acting on all recommendations

For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

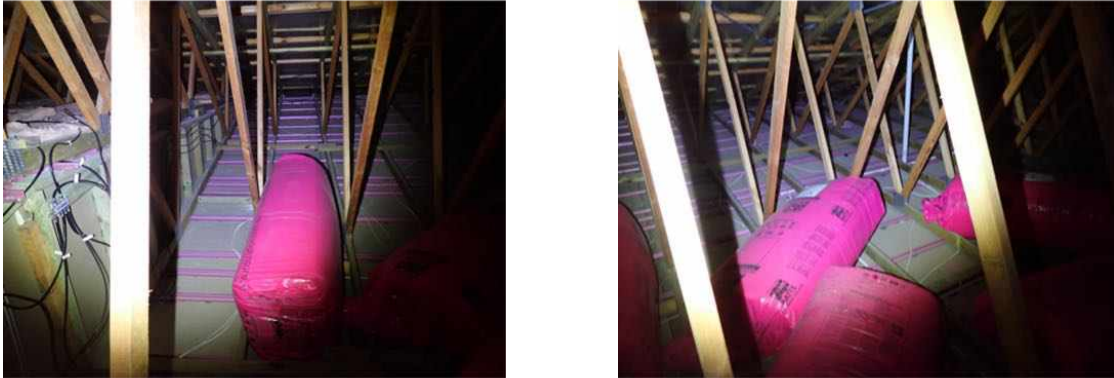
Building:	Main Building
Location:	Bedrooms
Finding:	Bedrooms – Missing Floor Coverings
Information:	Floor coverings were missing in the bedrooms at the time of inspection. This leaves the underlying floor exposed and may affect comfort and durability. It is recommended that a suitably qualified flooring contractor install appropriate floor coverings as deemed necessary to complete the rooms.



#### Noted Item

Building:	Main Building
Location:	Ceiling space
Finding:	Ceiling Insulation – Battens Not Installed to Part of Ceiling Space
Information:	Ceiling insulation battens were not installed to approximately half of the ceiling space at the time of inspection. This may affect the support and performance of the insulation and could lead to sagging or reduced thermal efficiency. It is recommended

that a suitably qualified tradesperson install appropriate insulation battens to the affected areas as deemed necessary to ensure the insulation is correctly supported and effective.



### Noted Item

Building: Main Building

Location: All Areas

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





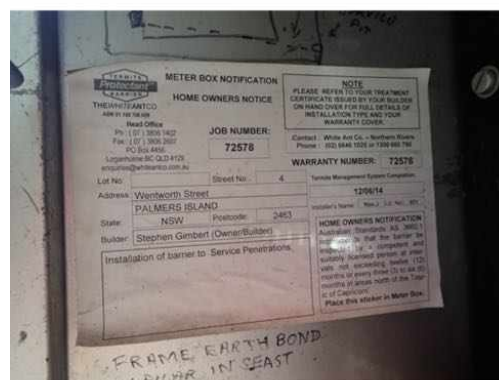
## The following items were noted as - Evidence of a previous termite management program

### Noted Item

Building:	Main Building
Location:	Electrical meter box
Finding:	Evidence of a previous termite management system was identified
Information:	There are a number of factors which indicate the presence of a previously installed or applied termite barrier. The most common are a durable notice (to the inside of your meter box) observable physical barriers installed to building perimeter and in ground reticulation systems.

Where a Termite Management System has been identified you should refer to the type of barrier date of installation warranty conditions and any documentation provided by a builder or past owner. Consult the company who installed the barrier to confirm whether the system is still under warranty.

Most chemical termite management systems expire and require replenishment and all physical systems are primarily designed to prevent concealed entry.



## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

### **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

### **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.