



Building and Timber Pest Inspection Report

Inspection Date: Fri, 6 Feb 2026

Property Address: 4 Drapers Rd, Willow Vale NSW 2575,
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Fri, 6 Feb 2026

Modified Date: Sun, 8 Feb 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

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Client's Email Address:

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Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report must be read in conjunction with D5 Conclusion - Assessment of the overall condition of the property. The report must be read in full to clearly understand all items identified as defects in the report.

- We'll report on the condition of the property at the time of inspection, as required by Australian Standard AS4349.1-2007 Part 1 Pre-purchase inspections – residential buildings, AS4349.3-2010 Inspection of buildings Part 3: Timber pest inspections. Noting this report is limited to the inspection within 30m of the main residence, including the Barn.

- This report is based on the condition of the property at the time of inspection. We strongly

recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects. The report is only valid for 90 days, where after a re-inspection must take place.

- Where any elevated Structure (deck, balcony, verandah etc) is present, and this elevated structure is designed to accommodate people, you **MUST** have this structure checked by an engineer or other suitably qualified person.

- You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance, that may become necessary, is identified. Care must be taken not to overload the structure.

- Nothing contained in this report should be taken as an indicator that an assessment has been made, on any elevated structure, as suitable for any specific number of people or purpose. This can only be done by a qualified engineer. For the purpose of this report, the Structure includes elevated decks, verandah, pergolas, balconies, handrails, stairs and children's play areas

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity	✓	
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage	✓	
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in poor condition with safety hazards identified. Major and minor defects were also found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. Live activity and/or damage from timber pest activity was found at the time. A termite treatment is required.

Section B General

General description of the property

Building Type	Lifestyle or Hobby Farm - Small Acreage
Company or Strata title	No
Floor	Piers - Stone, Part Slab and Part Subfloor, Brick Stumps or Piers, Slab on ground
Furnished	Furnished
No. of bedrooms	5
Occupied	Occupied
Orientation	East
Other Building Elements	Fence - Post and Rail Construction, Driveway, Pergola, Pool, Porch, Retaining Walls, Shed, Water Tanks
Other Timber Bldg Elements	Internal Joinery, Patio, Porch / Patio, Skirting Boards, Floorboards, Door Frames, Deck, Architraves, Doors, Eaves, Fascias, Stumps, Timber Wall Panelling, Veranda Posts, Weatherboards, Window Frames
Roof	Pitched, Timber Framed, Corrugated Iron (e.g. Colourbond), Flat
Storeys	Single
Walls	Weatherboards
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior of Pool Fencing
- Interior
- Exterior of Pool Fencing
- Exterior
- Posts
- Ancillary Pool Equipment
- Roof Exterior - Part
- Roof Void - Part
- The Site
- Timber Retaining Walls
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of skillion or flat roof - no access
- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Roof Exterior - Part
- Slab edge which would normally be exposed due to finished ground levels obscuring inspection.

- Subfloor.
- Obstructed parts of pool fence.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Areas of low roof pitch preventing full inspection
- Appliances and equipment
- Areas of skillion or flat roof - no access
- Ceiling linings
- Chimney vents and flues
- Debris in gutters
- Decking
- External concrete or paving
- Insulation
- Fixed ceilings
- External finished ground level
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Lack of clearance - subfloor
- Lack of suitable access or entry point
- Landscaping
- Overhanging vegetation

- No safe point from which to access roof exterior
- Patio
- Pets
- Rugs
- Sarking
- Porch
- Stored items
- Subfloor area - Limited access due to restrictive crawl space
- Unsafe to Access Roof - No Fall Protection System
- Vegetation
- Wall linings
- Wallpaper or Wall Coverings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

Finding 1.01

Building:	Building 1
Location:	Balcony
Finding:	Balustrade - Rusted Fixings
Information:	Corrosion was observed to fixings associated with the balustrade. Rusted fixings can reduce the effectiveness of connections over time and may contribute to loosening or instability of the balustrade if deterioration progresses.

Ongoing exposure to weather and moisture is a common contributing factor to this condition. Continued corrosion may lead to further deterioration of both fixings and adjoining timber elements.

It is recommended that a registered builder or qualified carpenter assess the balustrade fixings and determine whether repair or replacement is required to maintain adequate performance.



Finding 1.02

Building: Yard
 Location: Swimming Pool - Above Ground
 Finding: Building element - Rusted or corroded
 Information: This building element shows evidence of rusting and corrosion, which is likely to have developed as a result of excessive exposure to moisture and or inadequate coatings.

As surface rust provides no protection to the underlying iron, the deteriorating condition is likely to worsen if not addressed in the short-term future.

Where possible, the use of galvanized (treated) metals or aluminium coated metals aid in rust prevention, as does regular general maintenance. Rust formation can be controlled with coatings, such as paint, that isolate the iron from the environment.

Rusting and corrosion should be managed by ideally removing or limiting the affected surface from exposure to moisture. A registered builder may be appointed to replace any building elements that have been severely affected by rust or water damage.



Major Defect

Finding 2.01

Building: Main Building

Location: Roof Exterior
 Finding: Roof plumbing - Flashing inadequate
 Information: Some sections of the roof are missing or have inadequate roof flashings. Flashings are metal and other materials which are applied to seals and intersections between roof coverings and building elements. They are designed to aid in weatherproofing of roof joins.

Flashings that are not installed adequately or are missing are likely to result in water penetration to the interior of the property, as well as creating excessively damp conditions against the exterior surfaces and around the base perimeter of the building.

Premature ageing and secondary building defects are imminent where roof plumbing is missing or inadequately installed. Additionally, water pooling also creates an environment that is susceptible to termite and pest infestation.

A roofing plumber should be appointed as soon as possible to install relevant roof plumbing materials, ensuring that no further damage is sustained.



Finding 2.02

Building: Main Building
 Location: Laundry
 Finding: Ceiling - Sagging

Information: Sections of the ceiling were found to be sagging at the time of inspection. Sagging to the fixed ceiling structure generally indicates that the building materials have swollen, due to contact with water, or that fixings (e.g. nails or glue) have become loose and require reattachment.

Where minor sagging is evident, comparatively minor works, such as re-gluing of ceiling sheets, may be required. Such works may be performed by relevant tradespeople, such as plasterers and painters. Where excessive moisture has caused the roofing structure to swell and sag, the source of the water leak should primarily be identified prior to any remedial works being performed.

In some cases, sagging ceiling linings may also indicate that there are structural issues, causing surfaces to warp, twist or sag. Where sagging appears to be major, appointment of a structural engineer is advised to further inspect the property and identify the source and rectification works required.

The appropriate action should be taken by the client as soon as possible to ensure that any potential further damage is limited.



Finding 2.03

Building: Main Building
Location: Laundry

Finding: Ceiling - Water damaged.
Information: Water damage to the ceiling lining is generally an indication of excessive moisture being present in the roof void, usually via a leak to the roof covering.

Where water damage is evident to the ceiling, the primary requirement is to identify and rectify the source of the leak. A roofing plumber should be appointed as soon as possible to identify the leak and perform rectification works as necessary, ensuring the water damage is restricted.

Once the leak is repaired, consultation with relevant tradespeople, including plasterers and painters, is advised. Rectification works may include replacement of ceiling lining or minor repainting, depending on the extent of the damage.



Finding 2.04

Building: Main Building
Location: Laundry
Finding: Damp - Rising
Information: Rising damp describes the upward movement of water in low sections of building elements (e.g. walls) by capillary action - the movement of water through porous materials such as bricks, sandstone or mortar.

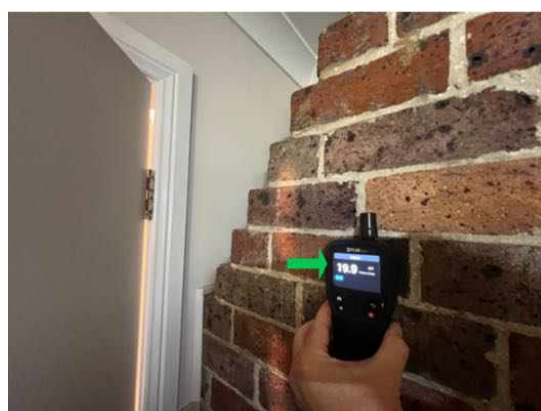
Rising damp is generally managed by the installation of a damp proof course during construction. A Damp Proof Course (DPC) is an impermeable barrier at the base of the

wall above ground level. However, many 19th Century buildings have no damp course installed, or the materials have failed. The DPC may have been omitted as a consequence of poor workmanship, or it may have been bridged where materials built up against the side of the house allow moisture ingress above the DPC level.

Left unmanaged, rising damp can lead to health problems resulting from mould growth and can have major implications on affected building elements, including wall finishes like paint and plasterwork.

The first step in addressing rising damp is to diagnose the cause. The identified cause should be addressed first before addressing the appearance and other defects which have resulted from the rising damp. If the original cause is not resolved, further cases of damp are likely to ensue, resulting in secondary defects.

Consultation with a qualified plumber is advised immediately to identify the cause of the damp and perform remedial works as required.



Finding 2.05

Building:	Main Building
Location:	Toilet (WC)
Finding:	Walls - Lateral damp
Information:	Lateral penetrating damp refers to the sideways movement of moisture,

predominantly from the surrounding ground, which tends to affect basement walls and other earth-retaining walls. The implications of unmanaged damp range from mould fungi growth, wood rot and decaying building materials, to finishes including lifting, bubbling, peeling and staining of paint, plaster and wallpaper.

It is important to address damp conditions as the World Health Organisation notes that excess moisture leads - on almost all indoor materials - to the growth of microbes such as moulds, fungi and bacteria, which subsequently emit spores and other matter into the indoor air. Exposure to these contaminants is associated with a wide range of respiratory and other health-related problems. Additionally, the development of damp in timber building elements also provides an environment that is conducive to termite / timber pest attack.

Structural waterproofing barriers or tanking barriers are often used to protect internal surfaces against the effects of lateral penetrating dampness. These types of work are generally undertaken where the source of the penetrating damp cannot be prevented.

Immediate consultation with a licensed plumber is advised to address the cause of the damp and to perform remedial works as necessary.



Finding 2.06

Building:	Main Building
Location:	Roof Void
Finding:	Roof structure - Removed or altered
Information:	Alterations to the roof structure have occurred. The modifications do not comply with current building practices and standards and require remedial works to reinstate to a suitable standard.

Replacement of major sections of roofing is likely to be required in order to comply with building regulations. Further assessment and necessary works should be performed immediately by a registered builder. Until works are completed to bring the roofing structure to an appropriate level, the surrounding area should be avoided by all persons as a safety precaution.



Finding 2.07

Building:	Main Building
Location:	Roof Exterior
Finding:	Water leak - External
Information:	Water leaks were found to be present to exterior plumbing work. Leaks are generally caused by deterioration of the plumbing elements over time, due to exposure to weather conditions, but may have also been caused by minor impact damage.

Such leaking creates damp conditions in the affected area, causing potential for water pooling and subsequent water damage if left unattended. These conditions may also attract termite attack, particularly if the area is subject to minimal levels of sun throughout daylight hours.

It is highly advised that a licensed plumber be appointed to rectify any water leaks that may be present. Areas of repair and replacement of plumbing fittings and fixtures may be required and, as such, a quotation should be sought.



Finding 2.08

Building:	Main Building
Location:	Bedroom 3
Finding:	Wall - Water damaged
Information:	Water damage to the wall lining is generally an indication of excessive moisture being present within the wall, usually via moisture ingress. This may be associated with failed or deteriorated seals to window frames, sills, or penetrations, or roof or gutter issues allowing water to track down wall cavities.

Where water damage is evident to wall linings, the primary requirement is to identify and rectify the source of moisture. A registered builder should be appointed as soon as possible to investigate the cause and determine the appropriate rectification works required to restrict further moisture exposure.

Once the source of moisture is addressed, consultation with relevant tradespeople, including plasterers and painters, is advised. Rectification works may include replacement of wall lining or minor repainting, depending on the extent of the damage.



Finding 2.09

Building: Main Building
 Location: Roof Exterior
 Finding: Roof plumbing - Flashing penetration
 Information: A service penetration was observed to pass directly through the roof flashing at this location. Flashings are intended to remain continuous and intact to provide a primary waterproof barrier, and penetrating through a flashing compromises its ability to prevent water ingress.

Penetrations through flashings create a high risk point for water entry, allowing moisture to track beneath the roof covering and into the roof space. If left unmanaged, this condition may result in damage to associated building elements,

including ceiling linings, timber framing, mould growth, and potential electrical hazards.

The penetration and flashing arrangement should be rectified as a priority to reinstate effective weatherproofing. Repairs to any affected internal finishes should only be undertaken once the roof penetration has been correctly addressed.

It is recommended that a licensed roof plumber be engaged to assess the penetration and flashing configuration and carry out appropriate rectification works to ensure the roof remains weather-tight.



Finding 2.10

Building:	Building 1
Location:	Loft
Finding:	Walls - Water Damaged (localised)
Information:	Water damage was observed to a localised section of the wall lining in this area. The plaster finish is bubbled and deteriorated, with corrosion noted to the corner bead, and elevated moisture readings were recorded during inspection. These conditions indicate that excessive moisture is present within the wall structure.

Water damage of this nature may result from moisture ingress via adjoining building elements, concealed openings, or moisture tracking within wall cavities. While the ceiling above appeared to be in satisfactory condition, the exact source of moisture could not be confirmed without an invasive inspection.

Prolonged moisture exposure may lead to further deterioration of wall linings, corrosion of fixings, and concealed damage to adjacent building elements. Elevated moisture conditions also create an environment that is conducive to timber pest activity.

It is recommended that a registered builder be engaged to undertake further investigation, including invasive inspection if required, to determine the extent of any concealed damage. Once the source of moisture is identified, appropriate rectification works should be carried out, with repairs to wall linings completed as necessary.



Minor Defect

Finding 3.01

Building: Main Building

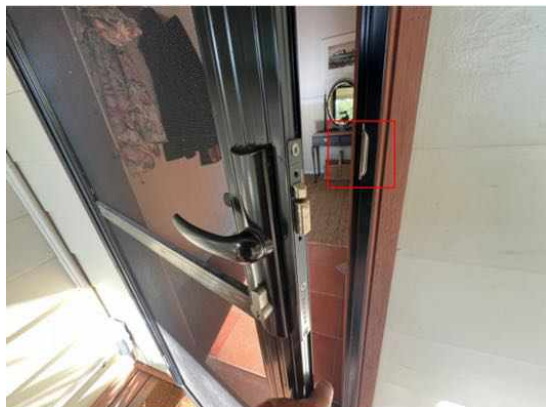
Location: Entry

Finding: Door handle - Not latching

Information: It was noted that the door in this area was not latching during operation at the time of inspection. Whilst detracting from the functionality of this building element, this minor defect may also be a security risk, and may therefore have serious implications if left unattended.

It is suspected that this defect has occurred due to minor issues with the associated hinges. Such damage is identified as general wear and tear, which is expected for building elements of this age.

A qualified carpenter or general handyperson may be appointed to perform rectification works as necessary, at client discretion. If left unattended, further functional impairment is likely to occur.



Finding 3.02

Building: Main Building

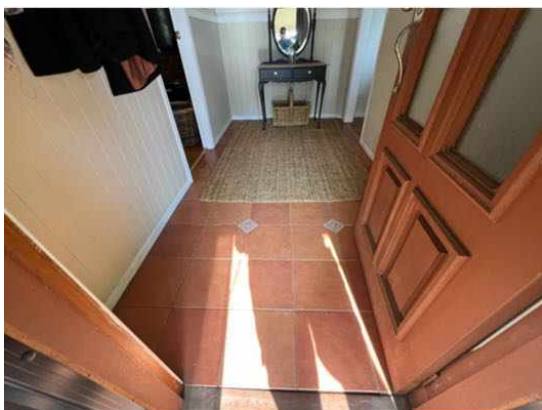
Location: Entry

Finding: Tiles - Drummy

Information: Drummy tiled areas were identified at the time of inspection. The term 'drummy' refers to tiles that have become detached from their fixing, despite otherwise being in relatively good condition. Such defects are generally caused by physical or moisture damage to the area. Drummy tiled areas may also be a direct result of poor workmanship during the construction process.

Tiled areas may swell and shrink with changes in air humidity if the area has sustained moisture damage. Any exposure to moisture is capable of causing tiled areas to become drummy and/or cracked over a prolonged period of time. Drummy tiled areas generally require removal and replacement of affected tiles, with adequate sealant and grouting.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive or if secondary building defects have resulted. Otherwise, it is advised that a tiling contractor be appointed to perform works as necessary. Immediate action is recommended to ensure that no further damage is sustained in the affected area.



Finding 3.03

Building: Main Building

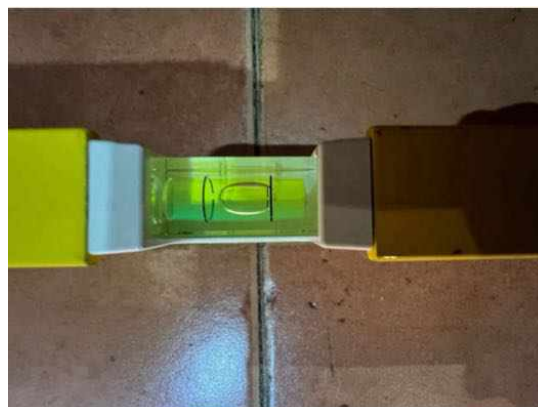
Location: Entry

Finding: Floor tiles - Uneven

Information: The tiled flooring area appears to be uneven in this area. While this may indicate a failure of the subfloor structure, it is suspected, in this case, that the area has been subjected to poor tiling workmanship at the time of installation.

Where poor workmanship is the cause of uneven tiling, the tiled surface level is unlikely to decrease further. If unevenness does increase over time, this may indicate issues with the associated flooring structure.

Where uneven tiled flooring appears to be a result of poor tiling work, a tiling contractor should be appointed to re-instate the flooring at the discretion of the client. Where flooring remains uneven, further inspection of the flooring structure may be required.



Finding 3.04

Building: Main Building

Location: Entry, Bedroom 4

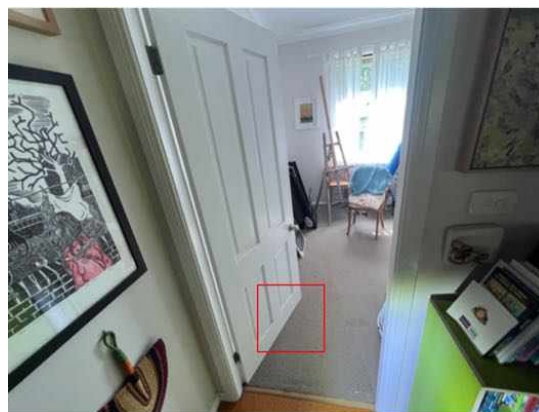
Finding: Doors - Binding/Jamming

Information: Binding and/or jamming of several doors throughout the property were evident during standard operation. This defect inhibits the functionality of affected doors as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

Where door binding/jamming appears to indicate major structural issues, a registered builder specialising in re-stumping should be appointed to provide an estimate on the cost of rectification.

For minor causes, a qualified carpenter or general handyperson should be appointed to perform minor rectification works at client discretion.



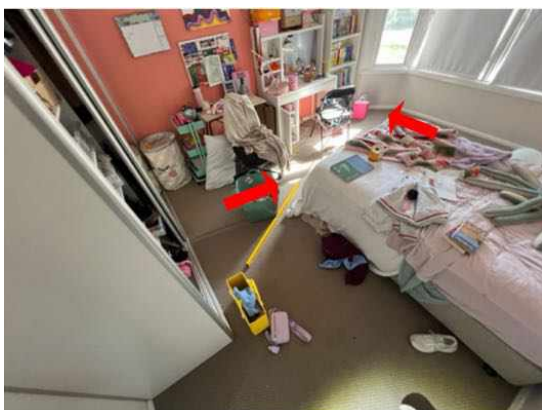
Finding 3.05

Building: Main Building
 Location: Dining Room, Kitchen, Living Room, Bedroom - Master, Bedroom 2, Bedroom 3
 Finding: Flooring - Uneven
 Information: The internal flooring in this area is out of level and uneven. Uneven flooring is likely to indicate minor defects such as expected movement of the foundations of the property, but may also indicate subsidence of the associated subfloor stumps.

It is advised that the flooring be closely monitored to identify any further movement. Where flooring remains relatively unchanged for an extended period of time (i.e. several months), it is likely that this defect has been caused by expected movement of the foundations of the property.

However, where flooring is uneven further, potentially invasive inspection of the subfloor structures and stumps in this area is required. In this case, works to repair are likely to be required, and would be carried out by a registered builder specialising in re-stumping.





Finding 3.06

Building:	Main Building
Location:	Kitchen
Finding:	Surface - Requires cleaning
Information:	Regular cleaning and maintenance improves the longevity of all building elements. A build up of dirt and debris can reduce the useful life of building materials and may result in earlier replacement of items being required.

Excessive dirt is also likely to lead to secondary hazards, including potential health hazards, as the building elements begin to harbour bacteria and/or mould.

Remedial cleaning is recommended in order to improve the appearance of this area as well as to counteract the development of bacteria. Such works can be performed by a cleaning contractor and should be completed at the discretion of the client.



Finding 3.07

Building: Main Building

Location: Kitchen

Finding: Tap/Mixer - Leaking

Information: The tap in this area was found to be leaking at the time of inspection. This is a common defect that is consistent with general ageing of the building element. However, it may be indicative of substandard plumbing workmanship if the tap is relatively new.

While this defect only seems minor, if left unmanaged, it is likely to result in the development of rust, water damage and/or extensive water usage.

It is advised that a handyman or licensed plumber be appointed to perform remedial works on the affected tap. Such works should be performed prior to the development of secondary defects to ensure adequate functionality of all associated building elements.



Finding 3.08

Building: Main Building

Location: Kitchen

Finding: Water staining - sink cabinetry

Information: A water staining was observed to the cabinetry beneath the sink at the time of inspection. Water staining in this area is generally indicative of a previous or active leak from plumbing fixtures, waste connections, or sealant deterioration around the sink junction.

If left unmanaged, persistent moisture can lead to material deterioration, mould growth, and potential damage to adjacent cabinetry or flooring. It is advised that a licensed plumber be engaged to inspect the area, determine if an active leak is present, and undertake any necessary rectification works.



Finding 3.09

Building: Main Building

Location: Kitchen

Finding: Skirting - Missing

Information: Skirting were missing in this area at the time of inspection. Complete tiled skirting is important in preventing water ingress into the adjoining walls and flooring, protecting the areas against potential water damage. The incomplete skirting also detracts from the overall appearance of the area.

If left unmanaged, water ingress into adjoining areas may have major implications, and may potentially necessitate works to other building elements in the long-term future.

It is highly recommended that a carpenter be appointed to complete these minor works as soon as possible to prevent such damage from occurring.



Finding 3.10

Building:	Main Building
Location:	Kitchen
Finding:	Ceiling Defects - Poor Finishing
Information:	Visual inspection revealed inconsistent flushing of joint lines. Minor sagging across ceiling surfaces suggests that back-blocking may have been omitted or poorly executed during installation. Additionally, evidence of substandard patching and finishing was noted in areas where previous defects have been addressed, but not to an acceptable visual standard.

Poor joint treatment, while generally not structural, can lead to further deterioration of ceiling linings if left unmanaged. These issues detract from the ceiling's appearance and may compromise the long-term durability of the plasterboard fixing.

Rectification by a qualified plasterer is recommended. Works should include securing loose fixings, re-flushing affected joints, and applying back-blocking where necessary to stabilise the ceiling structure and improve the visual condition.





Finding 3.11

Building:	Main Building
Location:	Kitchen, Living Room
Finding:	Floors - bouncy
Information:	The internal flooring in this area was identified as being bouncy at the time of inspection. A bouncy floor surface generally presents as a discernible change in level as they are walked across, in noisy or creaking flooring, or in consequent movement of surrounding furniture and fixtures.

Bouncy floors generally indicate that the floorboards or the subfloor structures are coming loose from the joists that they are installed on. Bouncy flooring may also be the result of gaps between flooring and stumps or joist structures, which require packing.

The client is advised to seek quotations for required repairs from a Registered Builder specialising in re-stumping. The potential resolution may range from packing gaps in subfloor structures through to replacement of subfloors stumps and refixing of flooring.



Finding 3.12

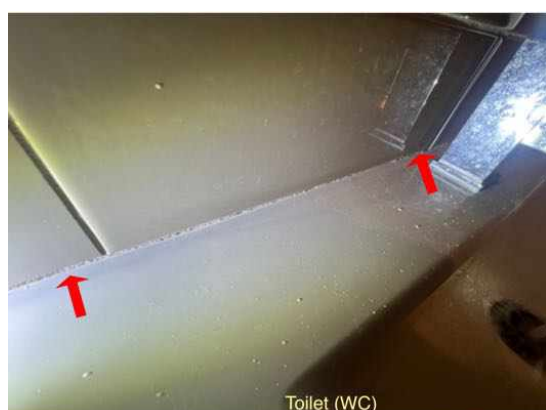
Building:	Main Building
Location:	Kitchen, Toilet (WC)

Finding: Sealant - degraded
 Information: It was noted on inspection that sealant or grout is degraded to this area.

Different materials move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible



Finding 3.13

Building: Main Building
 Location: Foyer - Bathroom/Laundry
 Finding: Door Handle - Loose

Information: The door handle in this area was identified as loose at the time of inspection. A loose door handle can impede the proper operation of the door and, if left unattended, may lead to further deterioration or damage to the associated door structure.

This defect is typically caused by wear and tear, insufficient fixing, or deterioration of the handle's components.

It is recommended that a qualified carpenter or general handyperson be appointed to secure or replace the handle to restore its functionality and ensure proper operation.



Finding 3.14

Building: Main Building

Location: Laundry

Finding: Window - Missing lock mechanism

Information: The lock mechanism to the window was found to be missing at the time of inspection. Breakage occurs generally when the building materials have aged and decayed, but may be indicative of impact damage (accidental or deliberate).

Repair and/or replacement of the window winder/lock is advised to improve the operational state of the associated window.

A qualified carpenter should be appointed to repair/replace the window winder/lock at the client's discretion.



Finding 3.15

Building:	Main Building
Location:	Toilet (WC)
Finding:	Tap - Water hammer
Information:	This tap shows evidence of water hammer being present. Water hammer, a pressure surge resulting when a fluid is forced to suddenly change direction, is a common defect in plumbing fittings, particularly those that are aged and not frequently maintained. Water hammer is generally caused by factors that create high water pressure in the affected plumbing fixture, usually evidenced by a faint banging noise during operation of the affected tap.

Although water hammer is generally considered to be a minor defect, subsequent damage such as erosion of tap hardware and/or water damage to associated building elements is likely to occur if left unmanaged.

A licensed plumber should be appointed as soon as possible to replace any affected tap hardware and perform any remedial works as necessary. Please be advised that the appointment of a cabinet maker or qualified carpenter may be necessary if water damage to associated building elements has occurred.



Finding 3.16

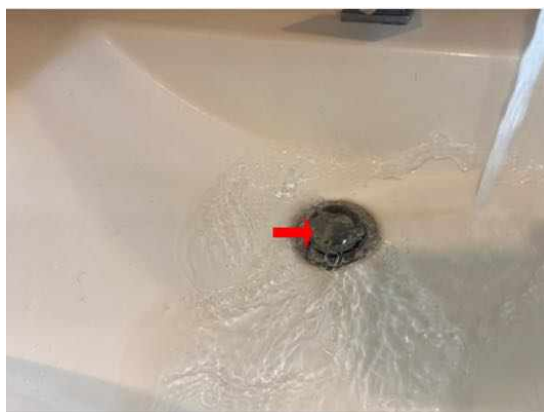
Building:	Main Building
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Location: Toilet (WC)
 Finding: Pop up waste - stiff /not operating
 Information: The plug waste is not functioning as intended, failing to pop up when engaged. This defect is common in pop-up waste mechanisms, which rely on a spring-loaded or lever mechanism to open and close the drain.

Inability to open or close the drain properly can lead to water retention in the sink, causing inconvenience in daily use. If left unrepaired, the mechanism may further deteriorate, potentially leading to a full malfunction or water drainage issues.

Engage a licensed plumber to inspect the plug waste mechanism and determine if the issue can be repaired or if the waste needs replacement. Ensure that the replacement waste is properly installed and tested for smooth operation.

Regular maintenance of pop-up wastes, such as cleaning debris from the mechanism, can help prevent similar issues from occurring in the future.



Finding 3.17

Building: Main Building
 Location: Toilet (WC), Bathroom, Bedroom - Master, Bedroom 4, Bedroom 5
 Finding: Window service recommended
 Information: Some windows throughout the property were found not to be fully operational. This may be due to the fact that they did not open, stiff to open, did not stay open or were binding at time of inspection. A window service is recommended.

Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort.

A competent general handyman or carpenter may be engaged at the clients discretion.



Finding 3.18

Building: Main Building
 Location: Bathroom
 Finding: Mixer - Rusted or corroded
 Information: This building element shows evidence of rusting and corrosion, which is likely to have developed as a result of excessive exposure to moisture and or inadequate coatings.

As surface rust provides no protection to the underlying iron, the deteriorating condition is likely to worsen if not addressed in the short-term future.

Rusting and corrosion should be managed by ideally removing or limiting the affected surface from exposure to moisture. A licensed plumber may be appointed to replace

any building elements that have been severely affected by rust or water damage.

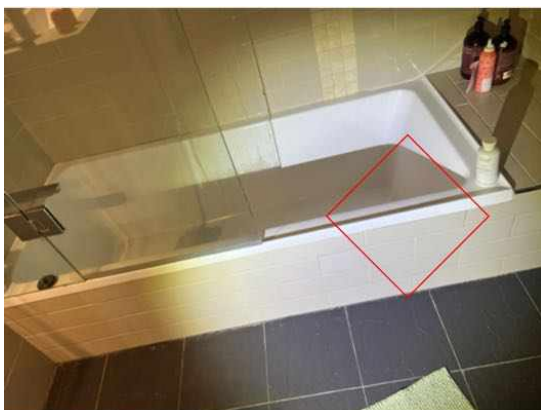


Finding 3.19

Building:	Main Building
Location:	Bathroom
Finding:	Tiles - Drummy or Popped (grout degraded)
Information:	It was noted on inspection that grout is degraded to the tiled area and noticeable popped tiles.

Drummy or Popped tiles indicate that the bond between the tiles and the substrate has weakened, likely due to moisture exposure or improper installation. This can lead to tiles detaching completely over time, which may cause safety hazards. Gaps in the grout further compromise the waterproofing of the surface, allowing moisture to penetrate behind the tiles. This can cause water damage, mold growth, and deterioration of the underlying structure. The drummy effect and loose tiles also affect the visual quality and longevity of the tiled surface.

Engage a qualified tiler to carefully remove and replace the drummy or popped tiles.



Finding 3.20

Building:	Main Building
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Location: Bathroom
Finding: Sealant and grouting - Missing or damaged
Information: It was noted on inspection that sealant or grout is degraded to the tiled shower alcove and or other areas of the bathroom.

Different materials and floor areas move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

There appears to be excessive mould to the sealant and grout which will likely require scraping out and replacement.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible



Finding 3.21

Building: Main Building
Location: Bathroom
Finding: Moisture in Shower
Information: Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp. Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.

Consultation with a qualified plumber or bathroom specialist is advised to identify the cause of damp and to perform remedial works as required.

Please note, the moisture meter used operates on the principle of electrical impedance, generating a low-frequency alternating electric field between its electrodes. The instrument measures moisture content within the material at a maximum depth of 19mm below the surface, rather than on the surface itself.

As a result, surface moisture such as residual water on shower tiles does not influence the reading, ensuring that the measurement reflects subsurface moisture levels within the building material, not superficial wetness.





Finding 3.22

Building:	Main Building
Location:	Bathroom
Finding:	Bath spout - Loose
Information:	The bath spout was observed to be loose at its connection point at the time of inspection. This condition is commonly caused by poor installation, deterioration of sealant, or movement in the fixture over time.

A bath spout may lead to water leakage behind the wall/floor, potentially causing moisture damage and deterioration of associated building elements if left unmanaged.

It is recommended that a licensed plumber be engaged to assess and properly secure the spout to prevent further movement and potential water ingress.



Finding 3.23

Building:	Main Building
Location:	Living Room
Finding:	Wall - substandard works (behind shower recess).
Information:	Patching to the wall lining was observed to have been completed to a substandard level. The patching appears irregular and detracts from the overall quality and presentation of the wall surface.

While no active moisture ingress or damage was identified at the time of inspection, the presence patching behind a shower recess indicates that previous repair or alteration works have been carried out. The reason for these works could not be determined.

It is highly recommended that a qualified plasterer be engaged to complete any rectification works as required to restore a uniform and appropriate finish. The client may also wish to make further enquiries with the vendor regarding any previous works undertaken to this wall.



Finding 3.24

Building:	Main Building
Location:	Bedroom 2
Finding:	Doors - Striker plates misaligned. Doors rattle when closed.
Information:	The striker plates to a few doors throughout the home appear to have become misaligned and has consequently resulted in the door's operation being compromised.

This is a common defect and is expected in a property of this age, whether being due to substandard installation or general deterioration of the door hardware.

Readjustment of the striker plate is recommended at client discretion. Works such as these can be completed by a general handyman or qualified carpenter.



Finding 3.25

Building: Main Building
 Location: Hall
 Finding: Door - damage handle
 Information: The door handle in this area was found to be damaged at the time of inspection. Breakage occurs generally when the building materials have aged and decayed, but may be indicative of impact damage (accidental or deliberate).

Repair and/or replacement of the broken door handle is advised to improve the operational state of the associated door.

A qualified carpenter or general handyman should be appointed to repair/replace the door handle at the client's discretion.



Finding 3.26

Building: Main Building
 Location: Hall
 Finding: Ceiling - Damaged
 Information: Breakage occurs generally when the building materials have either aged and decayed, or as a result of damage (accidental or deliberate).

Repair and/or replacement of broken elements is advised to ensure that additional secondary defects do not arise as a consequence. Such works are necessary, as all building elements play a key role in the operation and function of the overall structure and its performance.

A plasterer, painter or handyman should be appointed to repair or replace the affected building element prior to any subsequent damage being caused.



Finding 3.27

Building:	Main Building
Location:	Family Room
Finding:	Flyscreen - Damaged
Information:	The Flyscreen is as a result of damage (accidental or deliberate).The building element detracts from the operational state of the window.

Where not replaced/repared, damaged flyscreens allow pest and insect ingress into the adjoining room/s. Such works are necessary, as all building elements play a key role in the operation and function of the overall structure and its performance.

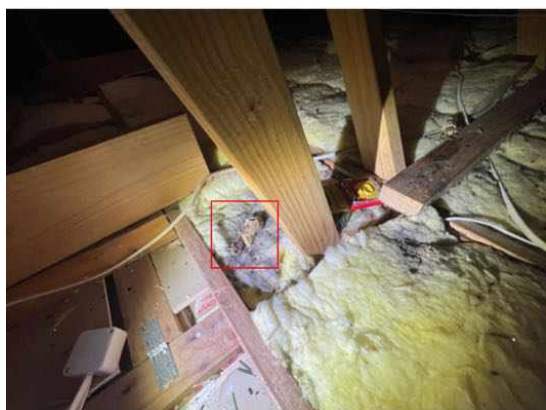
A general handy person may be appointed to replace/repair Flyscreen at the discretion of the client.



Finding 3.28

Building:	Main Building
Location:	Roof Void
Finding:	Evidence of Vermin
Information:	Evidence of pests or rodents faeces and carcass in the roof space at time of inspection. Rodents can cause issues ranging from smells and stains through to physical damage to wiring and other elements in the roof void. A licensed pest

controller should be appointed to free the roof void of any pests and to install deterrents or seal access points to ensure that rodents cannot enter the roof space as easily.



Finding 3.29

Building: Main Building
 Location: Exterior walls - front
 Finding: Downpipe - Damage, conditions conducive to termites
 Information: The downpipe in this area shows visible damage, which hinders its ability to effectively direct water away from the building. This creates conditions conducive to termite activity by increasing the likelihood of water pooling around the foundation. Prolonged moisture retention can lead to structural degradation, soil erosion, or water ingress into lower building areas, all of which may attract and sustain termite infestations.

The observed damage may be attributed to impact, corrosion, or general wear. It is recommended that a licensed roof plumber be engaged to inspect the downpipe and carry out necessary repairs or replacement as a priority to mitigate moisture-related risks and potential termite activity.



Finding 3.30

Building: Main Building

Location: Exterior walls - front
 Finding: Roof plumbing - Insufficient capacity
 Information: It is suspected that the roof plumbing to the exterior roof is insufficient in capacity and is not adequately managing the volume of rainwater that it is required to drain. The result is generally that the plumbing overflows during periods of heavy rainfall, creating damp conditions against external surfaces and the base of the building perimeter.

If left unmanaged, the excess moisture in this areas may allow the formation and development of an environment that is conducive to rust, corrosion and rot, creating potential for secondary defects to all associated building elements. Damp conditions are also conducive to termite and pest activity, further exacerbating the risk of the environment.

Appointment of a roofing plumber is recommended to replace any inadequate drainage systems to ensure proper drainage to this area. In the interim, it is important to ensure that all roof plumbing is free of any debris or blockages.



Finding 3.31

Building: Main Building
 Location: Roof Exterior
 Finding: Fascias - Wood rot
 Information: Wood rot was found to be affecting fascias and barges in this area, evidenced by the presence of mould on the surface in some areas. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

It is likely that this wood rot has developed as a result of faults in the roof plumbing, creating excessive moisture in this areas. Frequent exposure to rain and other weather conditions also make fascias and barges susceptible to accelerated deterioration.

Early intervention and regular maintenance will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner.

It is advised that a roof plumber be appointed to inspect all roof plumbing and subsequently identify the cause of the wood rot. Replacement of affected fascias and barges may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.





Finding 3.32

Building:	Main Building
Location:	Exterior walls - front
Finding:	Windows - Wood rot
Information:	Wood rot was found to be affecting external windows. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

It is likely that this wood rot has developed as a result of frequent exposure to rain and other weather conditions. It is suspected that failure to maintain the window frames over a prolonged period has resulted in them deteriorating at an accelerated rate, increasing their susceptibility to the development of wood rot. Leaks in roof plumbing or associated pipework may have also contributed to the formation of the wood rot in this area.

Early intervention and regular maintenance will prolong the useful life of these building elements. Prior to any works being performed, any associated pipework or roof plumbing should be inspected by a licensed plumber for faults or leaks.

Repair and/or replacement of affected window frames may be a necessary step in protecting surrounding building elements from such deterioration. Remedial works should be performed by a qualified carpenter or registered builder as soon as possible to prevent any further damage.



Finding 3.33

Building:	Main Building
Location:	Exterior walls - front, side, rear
Finding:	Wood rot
Information:	This building element shows evidence of wood rot. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials. Contributing factors also include poor air ventilation in the area.

Wood rot is often associated with general damp problems and is evidenced by a

'musty' smell or mould and mildew occurring on surfaces. If left unmanaged, damp conditions can lead to further health problems and the decay of timbers will continue.

Early intervention and regular maintenance, particularly of exterior timbers, will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner. Replacement of affected timbers may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.



Finding 3.34

Building:	Main Building
Location:	Exterior walls - rear
Finding:	External taps - Not plumbed for drainage
Information:	The External taps is not plumbed or connected to suitable drainage, which has resulted in the surrounding area becoming excessively damp. These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a qualified plumber be appointed to install adequate drainage to the overflow. These works will ensure that the area remains dry and free of any secondary defects.

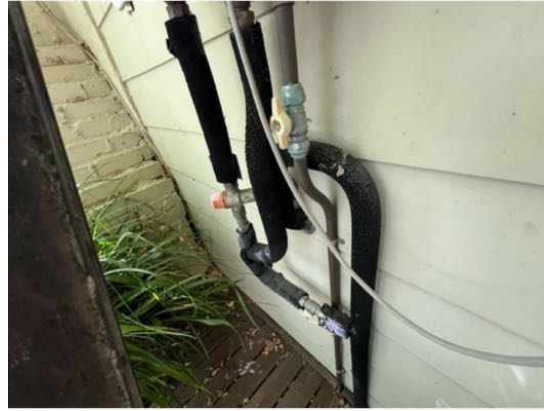


Finding 3.35

Building:	Main Building
Location:	Exterior walls - right side
Finding:	Pipework - Insulation deteriorated
Information:	Sections of the pipe insulation show evidence of damage and deterioration. It is suspected that this deterioration has developed as a result of excessive exposure to weather, including UV exposure in daylight. Deteriorated insulation reduces the effectiveness of the material in helping to maintain the desired temperature and work most efficiently.

If left in an exposed position, it is likely that the deterioration will continue and worsen over time, potentially resulting in secondary building defects as well as a further loss in insulating properties.

Some areas of replacement of pipe insulation is likely to be required. Further preventative measures to remove or protect the material from future exposure are also advisable. Consultation with a licensed plumber is advised to gain quotes for the repair and/or replacement of deteriorated insulation.



Finding 3.36

Building: Main Building

Location: Exterior walls - rear

Finding: Weatherboard - Damaged

Information: The weatherboard cladding in this area was observed to be physically damaged, with sections broken away and the underlying wall framing exposed. Damage of this nature reduces the effectiveness of the external cladding as a weather barrier and compromises the protection of the supporting structure.

Exposed framing is vulnerable to moisture ingress, which may lead to timber decay, internal dampness, and accelerated deterioration of associated building elements if left unmanaged. Openings of this type also increase the risk of timber pest activity due to accessible and unprotected timber components.

It is recommended that a qualified carpenter be engaged to assess the extent of the damage and carry out appropriate repairs to reinstate the cladding and restore the weather-tightness of the building envelope. Prompt rectification is advised to minimise the risk of secondary damage.



Finding 3.37

Building: Main Building

Location: Exterior walls - rear
 Finding: Eave Lining - Damaged
 Information: Breakage occurs generally when the building materials have either aged and decayed, or as a result of damage (accidental or deliberate).

Repair and/or replacement of broken elements is advised to ensure that additional secondary defects do not arise as a consequence. Such works are necessary, as all building elements play a key role in the operation and function of the overall structure and its performance.

A carpenter should be appointed to repair or replace the damaged eave lining prior to any subsequent damage being caused.



Finding 3.38

Building: Main Building
 Location: Roof Exterior
 Finding: Roof plumbing - Rusted or corroded
 Information: The roof plumbing has areas of rust and corrosion. It is suspected that this has been caused by blockages, resulting in pooling or standing water, that have prematurely rusted elements of the roof plumbing.

Rusted roof plumbing will generally develop holes and leaks that can affect other building elements with poor drainage of storm water. Poorly drained roof areas will also lead to damp conditions surrounding the base perimeter of the building which, if left unmanaged, can lead to a range of secondary building defects.

Repair and/or replacement of rusted roof plumbing is highly required in order to reinstate the roof drainage system to a fully operational level. To further maintain these areas, gutters should be cleaned frequently, allowing the avoidance of any partial blockages.

A licensed plumber or specialist roof restoration company should be appointed to undertake these works. It is advised that such works be completed as soon as possible to prevent any further damage and deterioration.



Finding 3.39

Building:	Main Building
Location:	Roof Exterior
Finding:	Gutters - Blocked
Information:	Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Where gutter guard is installed regular maintenance should include cleaning out any

debris which may rest on top of or filter through the gutter guard.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

Consult a Licensed Plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a general handyperson as a matter of urgency.



Finding 3.40

Building:	Yard
Location:	The Site
Finding:	Trees - Overhanging and filling gutters
Information:	Overhanging trees often result in excessive amounts of leaf debris accumulating in gutters.

Gutters are a critical part of the building's management of storm water and rain. It is therefore important that they be kept clear to prevent secondary damage to associated building elements, including exterior and interior walls, ceiling linings and any adjoining building elements. Where gutters are blocked, pooling of rainwater is

likely to occur, fast-tracking rust and corrosion of the roof plumbing elements.

It is highly advised that all overhanging tree branches be removed as soon as possible to prevent any further damage. Repair and/or replacement of sections of damaged guttering may also be required where the extent of the damage necessitates.

Such works should be performed by the homeowner; however, appointment of a landscape contractor or an arborist may be required. Consultation with a licensed roof plumber is required where guttering has been damaged.



Finding 3.41

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof Sheetting - Patched Installation
Information:	Sections of the roof sheetting were observed to have been patched, with multiple sheets joined together where a single continuous sheet would ordinarily be expected. This type of installation is not consistent with standard roofing practices and introduces additional joints and overlaps within the roof covering.

Patched or pieced roof sheetting increases the risk of water penetration, particularly at sheet joints and fixings, and may lead to premature deterioration of the roof covering and associated building elements. Over time, this condition may contribute to

moisture ingress, internal water damage, and reduced weatherproof performance.

It is recommended that a licensed roofing contractor be engaged to assess the patched roof sheeting and provide advice on appropriate rectification works to ensure the roof covering is made weather-tight and durable.



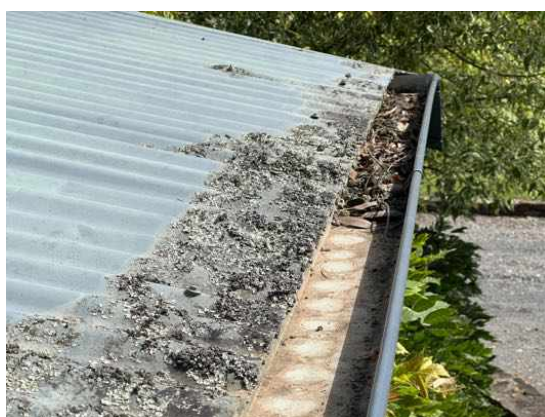
Finding 3.42

Building:	Main Building
Location:	Roof Exterior
Finding:	Metal Roof - Lichen Growth
Information:	Upon inspection of the exterior roofing, sections of the Colorbond metal roof were observed to have lichen growth present. While the roof sheeting itself appeared to be in generally fair condition, the presence of lichen indicates ongoing exposure to moisture and environmental conditions.

Lichen growth on metal roofing can retain moisture against the roof surface and, if left unmanaged, may contribute to deterioration of protective coatings over time. In addition, accumulated growth may restrict the effective flow of rainwater toward gutters and drainage points.

It is recommended that the roof be cleaned to remove lichen growth using appropriate, non-abrasive methods suitable for metal roofing. A roof maintenance or roof restoration contractor can be consulted for further advice at the client's

discretion.



Finding 3.43

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof plumbing - Loose flashing
Information:	Metal and other material flashings are applied to seals and intersections between roof coverings and building elements. They are designed to aid in weatherproofing of roof joins, and require regular inspection and maintenance as they are more subject to rust-related deterioration.

The flashing in this section of the exterior roofing appears to have come loose from its original fixing. It is suspected that this minor defect has occurred as a result of general deterioration over time.

Re-fixing and potential replacement of certain areas of flashing is advised to promote adequate roof drainage and protection from water penetration. Failure to perform these works may result in water damage and accelerated deterioration of associated building elements.

A roofing contractor or roofing plumber should be appointed as soon as possible to restore the flashing to a fully operational state.



Finding 3.44

Building: Main Building

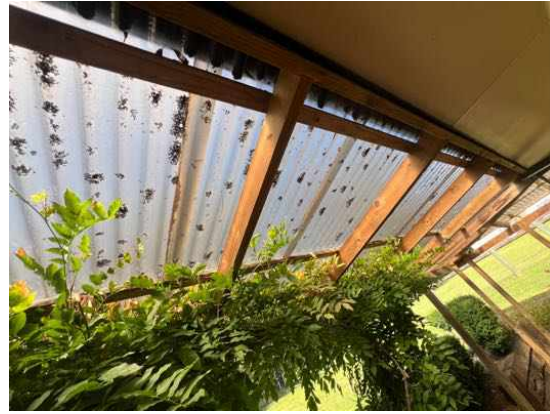
Location: Pergola

Finding: Timber - exposed to weather

Information: External timbers that are frequently exposed to harsh weather conditions require adequate protection in order to maintain their condition. Where timbers have not been painted or treated adequately, general deterioration is likely to occur at an accelerated rate.

If left unattended, replacement of these timbers is likely to be necessary in the short-term future. Adequate treatment of these timbers is required as soon as possible by a painting contractor or general handyman.





Finding 3.45

Building: Main Building

Location: Pergola

Finding: Guttering - Not Installed

Information: The absence of guttering at this property increases the risk of water pooling around the foundation, which creates conditions highly conducive to termite activity. Without adequate guttering, rainwater is not effectively directed away from the building, potentially causing prolonged moisture retention, soil erosion, or water ingress into lower areas. These conditions can attract termites and facilitate their movement into the structure.

It is recommended that a licensed roof plumber install guttering to ensure proper water drainage and minimise the risk of moisture-related issues and termite infestations. This work should be prioritised to protect the building's structural integrity.





Finding 3.46

Building: Main Building

Location: Pergola

Finding: Water staining

Information: Water staining was evident in this area at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by other building elements.

Where water staining is active, a licensed plumber must be consulted to identify the cause of the staining and to provide advice on any reparation works that may be required. Replacement of any broken or damaged structures is advised.

Conversely, where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion. A qualified carpenter or registered builder may be appointed to perform these works.





Finding 3.47

Building:	Main Building
Location:	Pergola
Finding:	Roof flashing - non-standard
Information:	The roof flashing that has been installed does not appear to comply with current building practice. However the flashing appears to be in an acceptable condition and is fulfilling its purpose in ensuring the roof covering is weather-tight.

Whilst retrospective fixing is not required if flashing begins to come loose from its fixing or deteriorates as evidenced by roof leaks a roofing plumber should be appointed immediately to replace the building element.

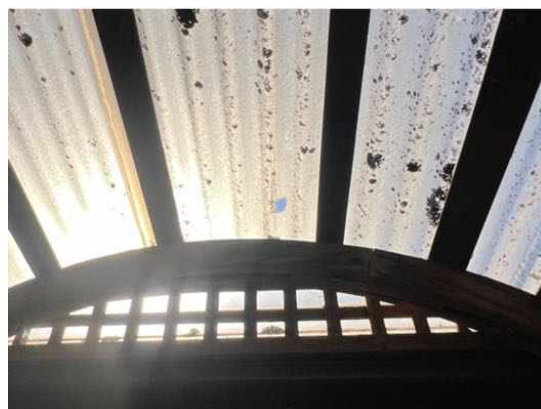


Finding 3.48

Building:	Main Building
Location:	Pergola
Finding:	Polycarbonate sheeting - Damaged
Information:	The polycarbonate sheeting has deteriorated as a result of exposure to weather conditions over a prolonged period of time. Exposure to elements, such as heavy rain and hailstorms, is likely to damage polycarbonate sheeting, which is not as strong as other roof coverings.

Further deterioration of the polycarbonate sheeting is likely to occur if left unmanaged. Such deterioration creates potential for water penetration and secondary damage to the internal roofing structure, accelerating deterioration of all associated building elements.

Repair and replacement of several sections of the sheeting is required. Appointment of a roofing restorer is required to perform these works as soon as possible to prevent any further damage being sustained.



Finding 3.49

Building:	Main Building
Location:	Yard - Back
Finding:	Paving - Uneven
Information:	Sections of the external paved area are uneven, creating a potential trip hazard. It appears as though the area has been subject to rough installation, or that paving sections have lifted due to movements in the foundation of the property.

Where paving creates a trip hazard, personal injury may ensue if due caution is not taken by all persons within this area.

Re-paving of the area is required as soon as possible to remedy this situation. Further consultation with a specialist concreter is advised.



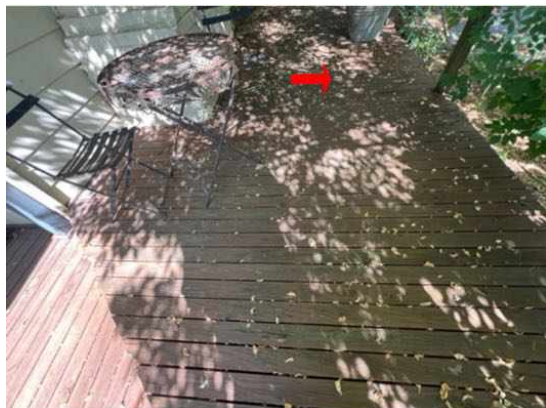
Finding 3.50

Building: Main Building
Location: Deck
Finding: Timber Deck - Bouncy Surface.
Information: The timber deck was identified as being bouncy at the time of inspection. A bouncy deck surface generally presents as noticeable movement or flexing when walked upon, creaking noises, or movement of surrounding furniture and fixtures.

Bouncy boards likely due to insufficient thickness, excessive spacing of joists, or material deterioration. It also typically indicates that the deck boards or subframe

structures are inadequately secured to the supporting joists or bearers. It may also result from gaps between the subframe and support posts, which require packing.

A registered builder, licensed carpenter or deck specialist should be engaged to assess and rectify the issue to ensure the deck's stability and longevity.



Finding 3.51

Building:	Main Building
Location:	Deck
Finding:	Subfloor structure - Wood rot
Information:	The subfloor structures are showing signs of deterioration and wood rot (fungal decay) of the timbers. It is suspected that this defect has developed as a result of damp conditions in the subfloor.

Damp conditions cause the timbers to fail, resulting in the subfloor structures failing to bear the load (or weight) of the building as originally intended. Without repairs and maintenance, including potential replacement of affected elements, it is likely that serious structural faults will result, as well as an array of minor defects.

The presence of wood rot to the subfloor structure is also conducive to termite infestation. As timber stumps are in direct contact with the ground, concealed termite is made possible. Such entry is made easier if the timbers become non-durable due to even slight wood rot.

Where wood rot is present to any structural timber, rectification or replacement of the affected timber building element is required. The adequate timeframe for such works are dependent on the severity of the rot. Where rot has developed to become widespread, replacement of sections of the subfloor structure may be required. Consultation with a structural engineer or registered builder specialising in re-stumping is highly advised as soon as possible.



Finding 3.52

Building:	Yard
Location:	Swimming Pool - Above Ground
Finding:	Pool fencing - Inspection required
Information:	It is suspected that areas of the pool fencing do not to comply with Australian Standards and do not appear to be safe. Assessment of the pool area is required.

Please note that this inspection does not cover pool fencing and other pool fittings and fixtures. It is highly advised that a specialist be appointed to inspect the pool and surrounding area and provide advice on rectification works that may be required.



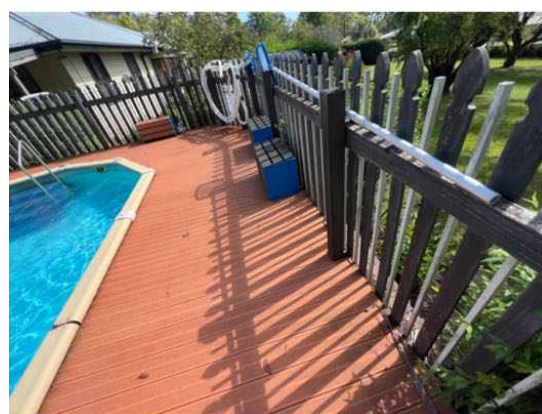
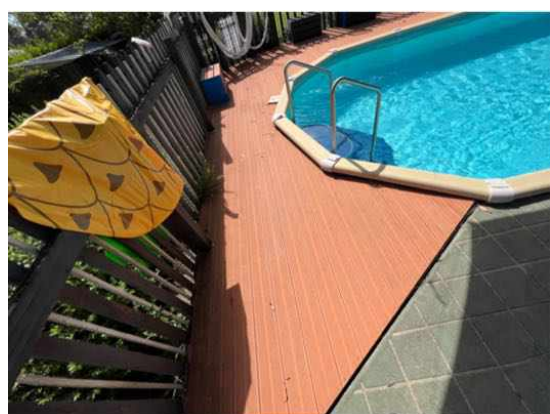


Finding 3.53

Building:	Yard
Location:	Swimming Pool - Above Ground
Finding:	Timber Deck - Bouncy Surface.
Information:	The timber deck was identified as being bouncy at the time of inspection. A bouncy deck surface generally presents as noticeable movement or flexing when walked upon, creaking noises, or movement of surrounding furniture and fixtures.

Bouncy boards likely due to insufficient thickness, excessive spacing of joists, or material deterioration. It also typically indicates that the deck boards or subframe structures are inadequately secured to the supporting joists or bearers. It may also result from gaps between the subframe and support posts, which require packing.

A registered builder, licensed carpenter or deck specialist should be engaged to assess and rectify the issue to ensure the deck's stability and longevity.

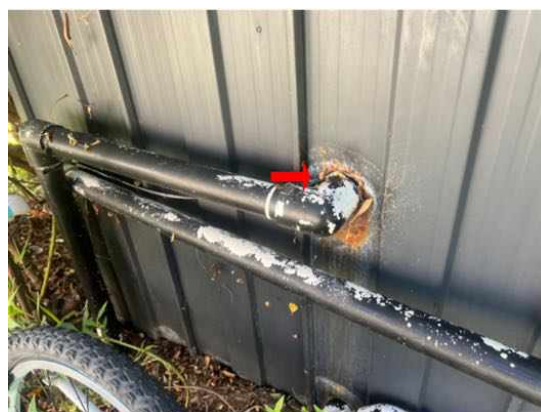


Finding 3.54

Building:	Yard
Location:	Shed
Finding:	Metal Sheets – Surface Rust and Deterioration (pool shed)
Information:	Surface rust and deterioration were observed to metal sheeting located adjacent to

the pool pump area. The sheeting is not in direct contact with the ground; however, exposure to moisture and chlorinated air from the pool equipment area is likely contributing to corrosion. Prolonged exposure under these conditions can accelerate rusting and lead to progressive weakening of the material.

If left unmanaged, continued corrosion may affect the durability and appearance of the metal components. The client should seek advice from a registered builder to assess the extent of deterioration and advise on maintenance or replacement as required.



Finding 3.55

Building: Yard

Location: Shed

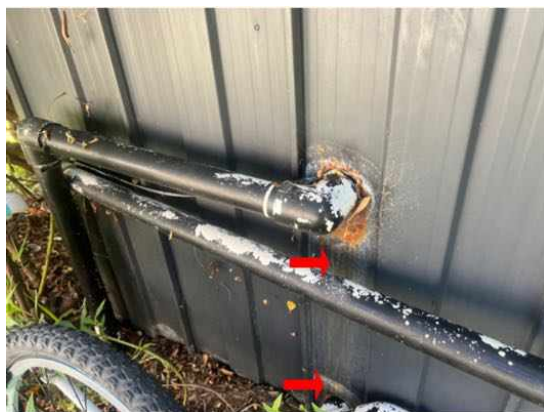
Finding: Water staining

Information: Water staining was evident in this area at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by other building elements.

Where water staining is active, a licensed plumber must be consulted to identify the cause of the staining and to provide advice on any repair works that may be required. Replacement of any broken or damaged structures is advised.

Conversely, where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion. A qualified carpenter or registered builder may be appointed to perform these works.



Finding 3.56

Building: Building 1

Location:

Finding: BARN

Information:



Finding 3.57

Building: Building 1

Location: Dining Room

Finding: Door - Stiff to slide

Information: The door in this area was jammed and difficult to slide along the associated tracks at the time of the inspection. Restricted function of the affected door may pose as a potential safety hazard if required for emergency egress from the building.

Generally, factors such as general age of the building element and a lack of maintenance are the usual causes for this type of defect.

Replacement of door hardware or tracks may be required, as well as minor repairs and cleaning. A registered builder or general handy person will be required to repair the affected doors.

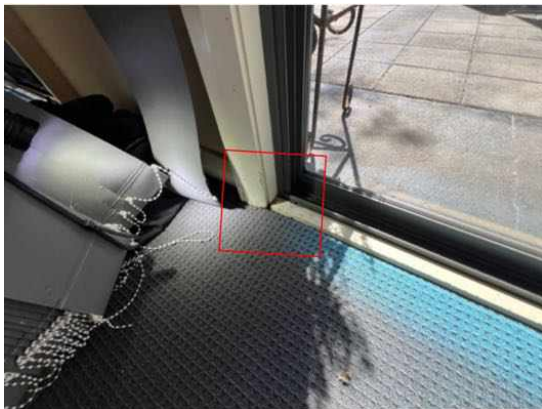


Finding 3.58

Building:	Building 1
Location:	Dining Room, Balcony
Finding:	Water staining - internal
Information:	Water staining was observed to internal surfaces at the time of inspection, indicating exposure to excessive moisture over time. This may result from past leaks, ground moisture, or inadequate drainage. While primarily an appearance defect, water staining can also signal concealed damage.

If active, the moisture may contribute to corrosion, rot, or fungal decay, particularly if allowed to persist unchecked.

It is recommended that a licensed plumber assess for any ongoing moisture ingress. Where staining is old and inactive, a qualified tiler or registered builder may be engaged to repair or replace affected materials at the client's discretion.





Finding 3.59

Building:	Building 1
Location:	Kitchen
Finding:	Kitchen mixer - Leaking
Information:	The tap in this area was found to be leaking at the time of inspection. This is a common defect that is consistent with general ageing of the building element. However, it may be indicative of substandard plumbing workmanship if the tap is relatively new.

While this defect only seems minor, if left unmanaged, it is likely to result in the development of rust, water damage and/or extensive water usage.

It is advised that a handyman or licensed plumber be appointed to perform remedial works on the affected tap. Such works should be performed prior to the development of secondary defects to ensure adequate functionality of all associated building elements.



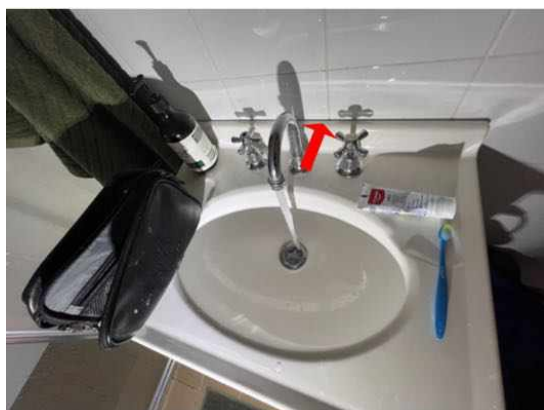
Finding 3.60

Building:	Building 1
Location:	Kitchen, Bathroom
Finding:	Sealant - degraded
Information:	It was noted on inspection that sealant or grout is degraded to this area.

Different materials move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible



Finding 3.61

Building:	Building 1
Location:	Bathroom
Finding:	Sealant and grouting - Missing or damaged
Information:	It was noted on inspection that sealant or grout is degraded to the tiled shower alcove and or other areas of the bathroom.

Different materials and floor areas move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

There appears to be excessive mould to the sealant and grout which will likely require scraping out and replacement.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works

as soon as possible



Finding 3.62

Building:	Building 1
Location:	Bathroom
Finding:	Moisture in Shower
Information:	Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp. Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.

Consultation with a qualified plumber or bathroom specialist is advised to identify the cause of damp and to perform remedial works as required.

Please note, the moisture meter used operates on the principle of electrical impedance, generating a low-frequency alternating electric field between its electrodes. The instrument measures moisture content within the material at a maximum depth of 19mm below the surface, rather than on the surface itself.

As a result, surface moisture such as residual water on shower tiles does not influence the reading, ensuring that the measurement reflects subsurface moisture levels within the building material, not superficial wetness.



Finding 3.63

Building:	Building 1
Location:	Bathroom
Finding:	Shower screen - active leak
Information:	A active leak was identified to the shower screen, likely due to deteriorated or inadequate sealant. If left unmanaged, water ingress may lead to damage to adjacent walls and flooring, as well as creating conditions conducive to mould growth.

Resealing is recommended to restore a watertight seal and prevent further deterioration.



Finding 3.64

Building:	Building 1
Location:	Loft
Finding:	Painted surface - Bubbling
Information:	Sections of paint in this area was found to have bubbled and deteriorated. Paint bubbling is generally an indication of excessive moisture in the area, that is currently hidden by the painted surface.

The presence of excessive moisture can have major implications on associated building elements if left unattended. While only seemingly minor at this stage, the damage cannot be determined due to the paint obstructing any further inspection of the damage.

It is highly advised that the affected paint be cleaned to allow a further, more invasive inspection by a licensed plumber. Failure to act on this defect may necessitate major works in the future.



Finding 3.65

Building:	Building 1
Location:	Balcony
Finding:	Floor tiles - Uneven

Information: The tiled flooring area appears to be uneven in this area. While this may indicate a failure of the subfloor structure, it is suspected, in this case, that the area has been subjected to poor tiling workmanship at the time of installation.

Where poor workmanship is the cause of uneven tiling, the tiled surface level is unlikely to decrease further. If unevenness does increase over time, this may indicate issues with the associated flooring structure.

Where uneven tiled flooring appears to be a result of poor tiling work, a tiling contractor should be appointed to re-instate the flooring at the discretion of the client. Where flooring remains uneven, further inspection of the flooring structure may be required.



Finding 3.66

Building: Building 1

Location: Balcony

Finding: Tiles - Drummy

Information: Drummy tiled areas were identified at the time of inspection. The term 'drummy' refers to tiles that have become detached from their fixing, despite otherwise being in relatively good condition. Such defects are generally caused by physical or moisture damage to the area. Drummy tiled areas may also be a direct result of poor workmanship during the construction process.

Tiled areas may swell and shrink with changes in air humidity if the area has sustained moisture damage. Any exposure to moisture is capable of causing tiled areas to become drummy and/or cracked over a prolonged period of time. Drummy tiled areas generally require removal and replacement of affected tiles, with adequate sealant and grouting.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive or if secondary building defects have resulted. Otherwise, it is advised that a tiling contractor be appointed to perform works as necessary. Immediate action is recommended to ensure that no further damage is sustained in the affected area.



Finding 3.67

Building:	Building 1
Location:	Balcony
Finding:	Balustrade - Timber Decay
Information:	Timber Decay was observed to sections of the external balustrade. This type of condition is commonly associated with prolonged exposure to moisture and general weathering over time.

If left unmanaged, timber deterioration may progress and reduce the durability and effectiveness of the balustrade, potentially leading to further decay and the need for more extensive repairs in the future.

It is recommended that a registered builder or qualified carpenter assess the affected balustrade components and carry out maintenance or repair as required to limit further deterioration and maintain serviceability.



Finding 3.68

Building:	Building 1
Location:	Balcony
Finding:	Ceiling - Damaged

Information: Breakage occurs generally when the building materials have either aged and decayed, or as a result of damage (accidental or deliberate).

Repair and/or replacement of broken elements is advised to ensure that additional secondary defects do not arise as a consequence. Such works are necessary, as all building elements play a key role in the operation and function of the overall structure and its performance.

A plasterer, painter or carpenter should be appointed to repair or replace the affected building element prior to any subsequent damage being caused.



Finding 3.69

Building: Building 1
 Location: Exterior walls - front
 Finding: Metal Sheets - Rusted or corroded
 Information: Signs of rust and deterioration were observed on metal sheets including sheets in direct contact with the ground at the time of inspection. Prolonged exposure to moisture and soil contact accelerates corrosion, leading to potential weakening and further degradation of the material.

If left unmanaged, continued rusting may compromise the integrity of the metal sheets and associated structures.

Rusting and corrosion should be managed by ideally removing or limiting the affected surface from exposure to moisture. A registered builder may be appointed to replace any building elements that have been severely affected by rust or water damage.



Finding 3.70

Building: Building 1
Location: Exterior walls - rear
Finding: Downpipe – Not Securely Clipped
Information: Sections of downpipe were observed to be unsecured or poorly fastened to the structure. This may result in movement, misalignment, or detachment during weather events, increasing the risk of water overflow and damage to surrounding elements.

A licensed plumber or general tradesperson should be engaged to properly secure the pipework and ensure ongoing effective drainage.



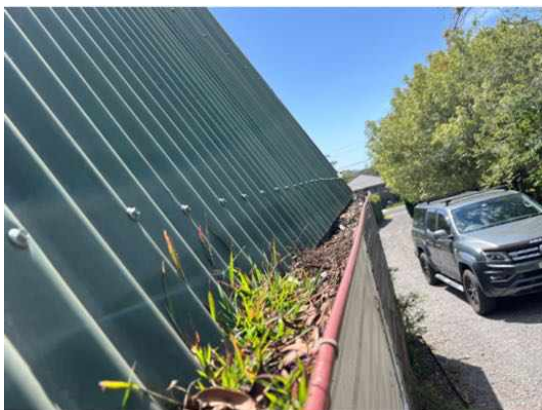
Finding 3.71

Building:	Building 1
Location:	Roof Exterior
Finding:	Gutters - Blocked
Information:	Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Where gutter guard is installed regular maintenance should include cleaning out any debris which may rest on top of or filter through the gutter guard.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

Consult a Licensed Plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a general handyperson as a matter of urgency.



Finding 3.72

Building:	Yard
Location:	The Site
Finding:	Trees - Overhanging and filling gutters
Information:	Overhanging trees often result in excessive amounts of leaf debris accumulating in gutters.

Gutters are a critical part of the building's management of storm water and rain. It is therefore important that they be kept clear to prevent secondary damage to associated building elements, including exterior and interior walls, ceiling linings and any adjoining building elements. Where gutters are blocked, pooling of rainwater is likely to occur, fast-tracking rust and corrosion of the roof plumbing elements.

It is highly advised that all overhanging tree branches be removed as soon as possible to prevent any further damage. Repair and/or replacement of sections of damaged guttering may also be required where the extent of the damage necessitates.

Such works should be performed by the homeowner; however, appointment of a landscape contractor or an arborist may be required. Consultation with a licensed roof plumber is required where guttering has been damaged.



Finding 3.73

Building:	Yard
Location:	Yard - Back
Finding:	Timber Retaining - leaning
Information:	The timber retaining wall in this area was found to be leaning at the time of inspection. Generally, defective retaining walls are caused by poor original design, material selection, or construction practices. Deterioration of timber retaining walls may also result from ground movement, poor site drainage, unmanaged stormwater flows, or additional loading from retained soil, gardens, or vegetation located behind the wall.

While the retaining wall has continued movement or deterioration may lead to further

destabilisation over time. Where timber retaining walls rot or decay, an environment may also be created that is conducive to termite and pest infestation.

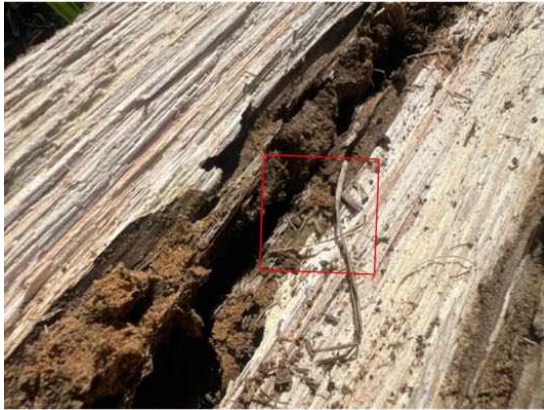
It is recommended that a registered builder or landscaper assess the timber retainer and undertake rectification as required to restore alignment and stability.



Live Timber Pest Activity

Finding 4.01

Building:	Yard
Location:	Yard - Back
Finding:	Evidence of live termite activity was identified (species unknown)
Information:	Live termite activity was found on the property. This may be in the form of mud trails the identification of a live termite nest or termites found to be attacking timber building elements. The species of the termites could not be identified at the time of inspection which may impact on the mode of eradication. Works to eradicate live termites should be undertaken immediately to prevent any further damage that will inevitably ensue.



Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building: Main Building
Location: Meter Box
Finding: Termite Management System - no Durable Notice

Information: If a property has a history of termite activity, records or details related to previous treatments are essential in determining whether the applied measures were appropriate. A Durable Notice or Notice of Application serves as a record of past termite management and is typically located in the meter box, subfloor joist, or kitchen cupboard. These notices provide important information for determining future pest management strategies.

At the time of inspection, no Durable Notice was identified, and there was no evidence to suggest that a termite management system had been installed or that preventative treatments had taken place. In the absence of a recorded termite barrier, the property remains susceptible to potential termite attack on timber building elements.

It is recommended that the purchaser make further inquiries with the vendor regarding any past termite treatments or history of termite activity at the property, including any treatments applied to trees on-site. Additionally, consultation with a licensed pest controller is advised to assess the feasibility and cost of installing a post-construction chemical termite barrier. If a termite management system is installed, a Durable Notice should be placed in the switchboard unit or another accessible location to indicate the type of barrier in place and its maintenance requirements.



Finding 6.02

Building: Main Building
Location: Laundry
Finding: Damp - Rising (Photos shown in previous defect section)
Information: Rising damp describes the upward movement of water in low sections of building elements (e.g. walls) by capillary action - the movement of water through porous materials such as bricks, sandstone or mortar.

Rising damp is generally managed by the installation of a damp proof course during construction. A Damp Proof Course (DPC) is an impermeable barrier at the base of the wall above ground level. However, many 19th Century buildings have no damp course installed, or the materials have failed. The DPC may have been omitted as a consequence of poor workmanship, or it may have been bridged where materials built

up against the side of the house allow moisture ingress above the DPC level.

Left unmanaged, rising damp can lead to health problems resulting from mould growth and can have major implications on affected building elements, including wall finishes like paint and plasterwork.

The first step in addressing rising damp is to diagnose the cause. The identified cause should be addressed first before addressing the appearance and other defects which have resulted from the rising damp. If the original cause is not resolved, further cases of damp are likely to ensue, resulting in secondary defects.

Consultation with a qualified plumber is advised immediately to identify the cause of the damp and perform remedial works as required.

Finding 6.03

Building:	Main Building
Location:	Bedroom 3
Finding:	Wall - Water damaged (Photos shown in previous defect section)
Information:	Water damage to the wall lining is generally an indication of excessive moisture being present within the wall, usually via moisture ingress. This may be associated with failed or deteriorated seals to window frames, sills, or penetrations, or roof or gutter issues allowing water to track down wall cavities.

Where water damage is evident to wall linings, the primary requirement is to identify and rectify the source of moisture. A registered builder should be appointed as soon as possible to investigate the cause and determine the appropriate rectification works required to restrict further moisture exposure.

Once the source of moisture is addressed, consultation with relevant tradespeople, including plasterers and painters, is advised. Rectification works may include replacement of wall lining or minor repainting, depending on the extent of the damage.

Finding 6.04

Building:	
Location:	Bathroom, Barn - Bathroom
Finding:	Moisture in Shower (Photos shown in previous defect section)
Information:	Moisture is evident behind the tiles to the shower alcove. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area. Leaking pipes within the adjoining wall is also a possible cause.

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp. Always ensure that sealant and

grout is in good condition to prevent any moisture issues occurring in the future.

Consultation with a qualified plumber or bathroom specialist is advised to identify the cause of damp and to perform remedial works as required.

Please note, the moisture meter used operates on the principle of electrical impedance, generating a low-frequency alternating electric field between its electrodes. The instrument measures moisture content within the material at a maximum depth of 19mm below the surface, rather than on the surface itself.

As a result, surface moisture such as residual water on shower tiles does not influence the reading, ensuring that the measurement reflects subsurface moisture levels within the building material, not superficial wetness.

Finding 6.05

Building:	Building 1
Location:	Loft
Finding:	Walls - Water Damaged (localised) (Photos shown in previous defect section)
Information:	Water damage was observed to a localised section of the wall lining in this area. The plaster finish is bubbled and deteriorated, with corrosion noted to the corner bead, and elevated moisture readings were recorded during inspection. These conditions indicate that excessive moisture is present within the wall structure.

Water damage of this nature may result from moisture ingress via adjoining building elements, concealed openings, or moisture tracking within wall cavities. While the ceiling above appeared to be in satisfactory condition, the exact source of moisture could not be confirmed without an invasive inspection.

Prolonged moisture exposure may lead to further deterioration of wall linings, corrosion of fixings, and concealed damage to adjacent building elements. Elevated moisture conditions also create an environment that is conducive to timber pest activity.

It is recommended that a registered builder be engaged to undertake further investigation, including invasive inspection if required, to determine the extent of any concealed damage. Once the source of moisture is identified, appropriate rectification works should be carried out, with repairs to wall linings completed as necessary.

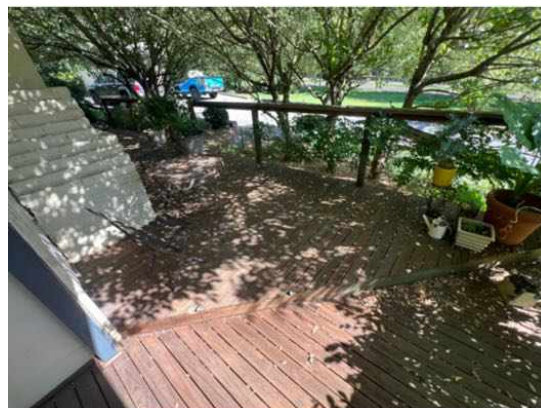
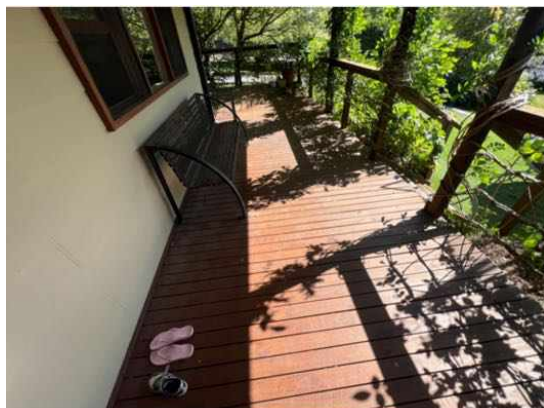
Finding 6.06

Building:	Main Building
Location:	All External Areas
Finding:	Bridging (decking)- Attachments to Buildings.
Information:	Decking to the verandah and side patio about dwelling causing bridging and concealment. Bridging occurs when items against a building provide a concealed

entry point for termites into the building or by passing around a termite management system.

Where any part of an attachment to a building is not isolated and is not provided with a clear gap of not less than 25mm from the building, bridging occurs. Attachments to buildings such as hot water services, downpipes, verandahs, decks, steps, fences, service conduits and the like provide the opportunity for concealed entry.

Building attachments of this nature need to be frequently inspected for termite activity by a qualified inspector.



Finding 6.07

Building:	Main Building
Location:	Pergola
Finding:	Bridging of physical termite barriers - Concrete Patio
Information:	The tiled concrete pad to the patio/alfresco including other areas directly abuts dwelling causing bridging. Bridging is the span of a physical termite barrier or inspection zone so that subterranean termites have an entry point over or around that barrier.

Where a concrete patio is retrospectively installed against an external wall, this provides a concealed entry point for termites.

The client should consider obtaining further advice from a timber pest technician regarding treatments required in this area. It is recommended that obtaining such advice be a short-term priority.



Finding 6.08

Building: Main Building
 Location: Pergola
 Finding: Bridging of termite barrier - Posts.
 Information: Posts that are attached to home from ground to structure without a 75mm inspection zone (metal stirrup) causes a bridging point. Bridging of termite barriers occurs when termites bridge (usually by building a mud tunnel) a termite barrier or inspection zone or where termites have a passage allowing them to bridge the barrier.

Generally this takes the form of finished ground levels external paving or concrete being retrospectively installed above the damp course level the adjacent internal floor level and weep and ventilation holes.

Where bridging has occurred full inspection is prevented and termites may enter a property in a concealed or undetectable manner.

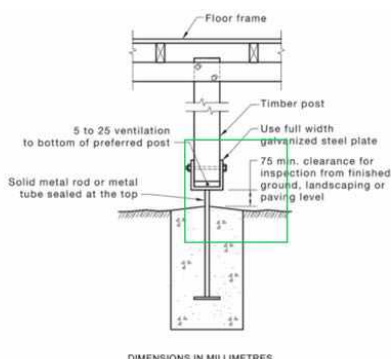


FIGURE 3.1(D) METAL STIRRUP AS ALTERNATIVE TO SHEETING FOR POSTS





Finding 6.09

Building: Main Building
 Location: All External Areas
 Finding: Bridging - Attachments to Buildings.
 Information: Bridging occurs when items against a building provide a concealed entry point for termites into the building or by passing around a termite management system.

Where any part of an attachment to a building is not isolated and is not provided with a clear gap of not less than 25mm from the building, bridging occurs. Attachments to buildings such as hot water services, downpipes, verandahs, decks, steps, fences, service conduits and the like provide the opportunity for concealed entry.

Building attachments of this nature need to be frequently inspected for termite activity by a qualified inspector





Finding 6.10

Building:	Main Building
Location:	Exterior walls - front
Finding:	Downpipe - Damage, conditions conducive to termites
Information:	The downpipe in this area shows visible damage, which hinders its ability to effectively direct water away from the building. This creates conditions conducive to termite activity by increasing the likelihood of water pooling around the foundation. Prolonged moisture retention can lead to structural degradation, soil erosion, or water ingress into lower building areas, all of which may attract and sustain termite infestations.

The observed damage may be attributed to impact, corrosion, or general wear. It is recommended that a licensed roof plumber be engaged to inspect the downpipe and carry out necessary repairs or replacement as a priority to mitigate moisture-related risks and potential termite activity.

Finding 6.11

Building:	Main Building
Location:	Exterior walls - front
Finding:	Roof plumbing - Insufficient capacity (Photos shown in previous defect section)
Information:	It is suspected that the roof plumbing to the exterior roof is insufficient in capacity and is not adequately managing the volume of rainwater that it is required to drain. The

result is generally that the plumbing overflows during periods of heavy rainfall, creating damp conditions against external surfaces and the base of the building perimeter.

If left unmanaged, the excess moisture in this areas may allow the formation and development of an environment that is conducive to rust, corrosion and rot, creating potential for secondary defects to all associated building elements. Damp conditions are also conducive to termite and pest activity, further exacerbating the risk of the environment.

Appointment of a roofing plumber is recommended to replace any inadequate drainage systems to ensure proper drainage to this area. In the interim, it is important to ensure that all roof plumbing is free of any debris or blockages.

Finding 6.12

Building:	Main Building
Location:	Roof Exterior
Finding:	Water leak - External (Photos shown in previous defect section)
Information:	Water leaks were found to be present to exterior plumbing work. Leaks are generally caused by deterioration of the plumbing elements over time, due to exposure to weather conditions, but may have also been caused by minor impact damage.

Such leaking creates damp conditions in the affected area, causing potential for water pooling and subsequent water damage if left unattended. These conditions may also attract termite attack, particularly if the area is subject to minimal levels of sun throughout daylight hours.

It is highly advised that a licensed plumber be appointed to rectify any water leaks that may be present. Areas of repair and replacement of plumbing fittings and fixtures may be required and, as such, a quotation should be sought.

Finding 6.13

Building:	Main Building
Location:	Exterior walls - front
Finding:	Air conditioner - Disconnected overflow
Information:	The Air Conditioner (A/C) overflow was found to be disconnected from storm water drainage and is creating excessive moisture in the surrounding area.

Such leaking creates an environment which is conducive to an array of defects, including water damage to associated building elements and the attraction of termite or timber pest infestation.

It is highly recommended that a licensed plumber be appointed to connect the A/C overflow in order to prevent such an environment from being created. These minor works should be carried out as soon as possible.



Finding 6.14

Building:	Main Building
Location:	Exterior walls - rear
Finding:	External taps - Not plumbed for drainage
Information:	The External taps is not plumbed or connected to suitable drainage, which has resulted in the surrounding area becoming excessively damp. These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a qualified plumber be appointed to install adequate drainage to the overflow. These works will ensure that the area remains dry and free of any secondary defects.



Finding 6.15

Building:	Building 1
Location:	Water Tank - Barn
Finding:	Overflow - Not plumbed for drainage
Information:	The overflow is not plumbed or connected to suitable drainage, which has resulted in the surrounding area becoming excessively damp. These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the

formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area. It is highly recommended that a qualified plumber be appointed to install adequate drainage to the overflow. These works will ensure that the area remains dry and free of any secondary defects.



Finding 6.16

Building:	Main Building
Location:	All External Areas
Finding:	Garden Beds - Conditions Conducive to Termites
Information:	Garden beds were observed around the perimeter of the building, obstructing visual inspection of lower wall areas and providing potential concealed termite entry points.

Raised soil levels and retained moisture from watering can allow termites to access wall cavities or weep holes undetected, while timber edging materials may further encourage activity.

It is recommended that garden beds be reduced or cleared from the building perimeter, or that regular timber pest inspections be carried out in accordance with AS 4349.3 or AS 3660.2 to monitor risk.





Finding 6.17

Building:	Main Building
Location:	All External Areas
Finding:	Vegetation Against Building - Conducive to Termite Activity
Information:	Vegetation and trees were observed in direct contact or in close proximity to the building at the time of inspection. This condition creates a conducive environment for termite activity by providing concealed access points, retaining moisture against the structure, and reducing ventilation. Additionally, vegetation can contribute to organic debris buildup, further increasing the risk of pest infestation.

It is recommended that all vegetation be trimmed back to allow adequate clearance from the building. Ongoing maintenance is advised to reduce the risk of termite activity and improve ventilation around the structure. Regular termite inspections should also be conducted to monitor for any signs of infestation.







Finding 6.18

Building:	Main Building
Location:	Exterior walls - front
Finding:	Downpipe - Damage, conditions conducive to termites (Photos shown in previous defect section)
Information:	The downpipe in this area shows visible damage, which hinders its ability to effectively direct water away from the building. This creates conditions conducive to termite activity by increasing the likelihood of water pooling around the foundation. Prolonged moisture retention can lead to structural degradation, soil erosion, or water ingress into lower building areas, all of which may attract and sustain termite infestations.

The observed damage may be attributed to impact, corrosion, or general wear. It is recommended that a licensed roof plumber be engaged to inspect the downpipe and carry out necessary repairs or replacement as a priority to mitigate moisture-related risks and potential termite activity.

Finding 6.19

Building:	
Location:	Roof Exterior - Main Building & Barn
Finding:	Gutters - Blocked (Photos shown in previous defect section)
Information:	Roof plumbing structures, such as guttering and downpipes, should be free of all

debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Where gutter guard is installed regular maintenance should include cleaning out any debris which may rest on top of or filter through the gutter guard.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

Consult a Licensed Plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a general handyperson as a matter of urgency.

Finding 6.20

Building:	Main Building
Location:	Pergola
Finding:	Guttering - Not Installed (Photos shown in previous defect section)
Information:	The absence of guttering at this property increases the risk of water pooling around the foundation, which creates conditions highly conducive to termite activity. Without adequate guttering, rainwater is not effectively directed away from the building, potentially causing prolonged moisture retention, soil erosion, or water ingress into lower areas. These conditions can attract termites and facilitate their movement into the structure.

It is recommended that a licensed roof plumber install guttering to ensure proper water drainage and minimise the risk of moisture-related issues and termite infestations. This work should be prioritised to protect the building's structural integrity.

Finding 6.21

Building:	Yard
Location:	All External Areas
Finding:	Building materials in direct ground contact - conducive to termites
Information:	Where timber elements are in direct contact with the ground and consequently moisture or dampness they become conducive to termite activity. Whether timber is used as a building element part of a fencing structure or stored as an unused item they can provide an environment that is attractive to termite infestation.

When met with excessive moisture timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated or

non-durable also provide ingress for subterranean termites into that particular element. The removal of any such materials that may be conducive to termite activity should be removed as soon as possible to minimise the risk of termite attack.





Finding 6.22

Building:	Main Building
Location:	Subfloor
Finding:	Ant caps - Not installed
Information:	Ant caps have not been installed to the subfloor structure at the time of inspection. Generally, ant caps are installed to the intersection between the top of the stumps (or piers) and the subfloor structures.

Installed during the construction process, ant caps are designed to easily identify termite or pest ingress from stumps to the adjoining bearers.

Where ant caps have not been installed, frequent monitoring of these areas should be carried out in order to identify any signs of termite or timber pest workings.



Finding 6.23

Building:	Main Building
Location:	Deck
Finding:	Subfloor structure - Wood rot
Information:	The subfloor structures are showing signs of deterioration and wood rot (fungal decay) of the timbers. It is suspected that this defect has developed as a result of damp conditions in the subfloor.

Damp conditions cause the timbers to fail, resulting in the subfloor structures failing to

bear the load (or weight) of the building as originally intended. Without repairs and maintenance, including potential replacement of affected elements, it is likely that serious structural faults will result, as well as an array of minor defects.

The presence of wood rot to the subfloor structure is also conducive to termite infestation. As timber stumps are in direct contact with the ground, concealed termite is made possible. Such entry is made easier if the timbers become non-durable due to even slight wood rot.

Where wood rot is present to any structural timber, rectification or replacement of the affected timber building element is required. The adequate timeframe for such works are dependent on the severity of the rot. Where rot has developed to become widespread, replacement of sections of the subfloor structure may be required. Consultation with a structural engineer or registered builder specialising in re-stumping is highly advised as soon as possible.



Finding 6.24

Building:	Yard
Location:	The Site
Finding:	Stumps, Dead or Decayed Trees - conducive conditions
Information:	Stumps and/or dead or decaying trees were observed within the property boundary during the inspection. These elements are recognised as significant conducive conditions, as they retain moisture and provide a cellulose-rich environment ideal for sustaining termite activity.

Even in the absence of visible termite workings at the time of inspection, decayed timber material can support undetected subterranean termite harbourage, particularly when located in close proximity to the dwelling. The risk of concealed termite ingress into structural timbers is increased when such materials are not removed or managed appropriately.

The client is advised to consult a licensed pest management professional to assess the site and determine whether treatment or removal of the stumps or trees is required. Ongoing timber pest inspections should be maintained at regular intervals to

monitor for any future activity.



Finding 6.25

Building:	Yard
Location:	The Site
Finding:	Timber Pest Risk – Trees Within 50m of Dwelling
Information:	Mature trees were identified within 50 metres of the dwelling. The presence of trees in close proximity to the structure increases the risk of termite activity, as trees provide a natural food source and nesting environment for termites. Tree roots can also contribute to excessive moisture retention in the soil, creating conducive conditions for timber pest activity.

Regular monitoring for signs of termite activity is advised. A licensed pest inspector should be engaged to assess the area and provide further recommendations on risk mitigation and management.



Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Main Building
Location:	All External Areas
Finding:	Fungal decay - present (localised)
Information:	Fungal decay also known as wood decay or wood rot generally refers to the deterioration of timber elements when in contact with excessive levels of moisture for a prolonged period of time.

The development of fungal decay is accelerated by temperatures in the range of 5degreeC to 40degreeC as well as the presence of oxygen. Generally fungal decay develops on timber elements that are in use in an external environment which are exposed to rain penetration.

In this case although the affected timber element is in a decaying state the extent of any visible damage appears to be localised to a specific area and is yet to spread to other parts of the building element or affect adjoining structures. The fungal decay is therefore likely to be of a relatively superficial nature with minimal impact on the structural integrity or tensile strength of the timber element.











Evidence of wood borer activity and/or damage

Finding 8.01

Building: Yard
 Location: The Site
 Finding: Evidence of wood borer activity identified
 Information: Wood borers small beetles that colonise in exposed timber elements are a common timber pest that are regularly mistaken for termites. Although wood borer activity is generally not detrimental to the affected timber they may lead to serious damage and necessitate replacement of certain building elements if left unattended.

The Lyctid borer which generally attacks hardwoods such as subfloor and roofing structures is generally identified by fine dust, surrounding the affected timbers.

The other commonly known borer the Anobium borer is more likely to attack floorboards and may cause severe structural damage to flooring areas.

As no live wood borer activity was identified treatment is not required at this time. Replacement of affected timbers may be considered by the client for superficial reasons.





Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- As identified in summary and defect statements
- Termite and Timber Pest Technician / Licensed Pest Controller
- Tree surgeon (arborist)
- Swimming Pool Fence Inspector
- Licensed Plumber specialising in Roof Plumbing
- Damp Proofing Specialist
- Registered/Licensed Builder
- Licensed Plumber
- Registered Roofing Contractor

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- BUILDING

The building when compared to others of similar age and construction at the time of inspection, is in the condition stated in Section A - Overall Condition (Building) and risk rating of unidentifiable defects is stated in Section C Accessibility - Undetected defect risk (Building).

Obstructions were present as stated in Section C Accessibility - Obstructions and Limitations.

All room numbers are labeled from right to left as walking through the property from the front door through each level.

Please be aware that limitation's did affect the inspection and areas like low clearance, insulation, mechanical ventilation, ducting, stored items, garden vegetation, meant that some areas was obstructed.

No access was available to the subfloor at the time of inspection. A visual inspection was not carried out. It is recommend to install an access door in one or more accessible areas for a re-inspection.

NOTE: Unless the subfloor has a full inspection it is never possible to inspect for timber pest, termite activity, structural damage, subfloor drainage issues, subfloor mould or water leaks will not be visible.

It is recommended that all minor defects along with any maintenance advise provided are actioned to prevent these defects from escalating into major defects or safety hazards.

The building compared to others of a similar built of age of construction appears to be mostly in POOR condition. It does however have maintenance issues that will require attention and remedial maintenance.

Please note the following key items;

- Rusted fixings were observed to the balcony balustrade, presenting a safety hazard due to the potential for reduced structural stability and fall risk.
- Corrosion was identified to the swimming pool capping, which presents a safety hazard due to the potential for material deterioration, sharp edges, or failure if left unmanaged.
- Roof plumbing flashings were observed to be inadequate at the roof exterior, increasing the risk of water ingress into the roof structure and associated internal areas.
- Sagging was observed to the ceiling lining within the laundry, indicating potential moisture exposure, failed fixings, or prolonged stress to the lining material.
- Water damage was identified to the laundry ceiling lining, consistent with ongoing or previous moisture ingress from above.
- Elevated moisture consistent with rising damp was detected to walls within the laundry, indicating moisture migration from lower building elements.
- Evidence of lateral damp was identified to wall linings within the toilet (WC), suggesting moisture ingress through adjoining walls or external elements.
- Sections of roof structure within the roof void appear to have been removed or altered, which may compromise structural performance if not properly engineered.
- Evidence of an external water leak was identified to the roof exterior, increasing the risk of concealed moisture damage to roof and ceiling components.
- Water damage was identified to wall linings within Bedroom 3, indicating prolonged exposure to moisture.
- Roof penetrations were observed passing through flashings at the roof exterior, which is not

considered good practice and increases the risk of water ingress.

- Water damage was identified to wall linings within the loft, indicating localised moisture ingress that may lead to deterioration of finishes and concealed building elements if left unmanaged.

Left unmanaged some of these defects may become costly in the future and develop into more major defects over time.

Note that if the baths, showers, toilets, vanities, kitchens etc. are not used, or have not been used for some time, moisture readings would not vary significantly and this can lead to erroneous results. It is not possible under the visual inspection criteria (under which a pre-purchase inspection is carried out) to categorically determine if there are leaks. If a more accurate assessment is required, a special purpose inspection should be requested. Alternatively, the assumption should be made that the shower may leak.

AS ALL DEFECTS ARE NOT LISTED IN THE SUMMARY, IT IS IMPORTANT TO READ EVERY DEFECT IN THE REPORT INDIVIDUALLY AND ASK FOR ANY CLARIFICATION THAT YOU MAY REQUIRE.

-TIMBER PEST

The building when compared to others of similar age is in the condition stated in Section A - Overall Condition (Timber Pest) and risk rating of unidentifiable defects is stated in Section C Accessibility - Undetected defect risk (Timber Pest).

Obstructions were present as stated in Section C Accessibility - Obstructions and Limitations.

There are areas that are conducive to timber pest attack and should be monitored on regular basis.

LIVE TERMITE ACTIVITY WAS IDENTIFIED WITHIN THE PROPERTY DURING THE INSPECTION, INDICATING AN ACTIVE INFESTATION AND AN ELEVATED RISK TO TIMBER BUILDING ELEMENTS.

A Timber Pest Management Plan should be implemented and maintained for this property by engaging a Pest Management Technician. Due to the degree of risk of subterranean termite infestation, we strongly recommend that a full chemical termite management system be installed to the property and inspections in accordance with AS 4349.3 or AS 3660.2:2017 is conducted at this property not exceeding 12 months (or as otherwise recommended by the pest control company installing the system).

Note: Regular inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, a moisture meter reading of susceptible areas, sounding of timber elements using a tapping device, visual assessment of materials affected by moisture or signs of deformity, mud trails and bridging constructed by termites, irregular and regular shaped holes in timber

elements indicating pest destruction. Termite activity generates high temperatures and moisture and if this irregularity is found it can be grounds for further investigation.

Please be aware evidence of termites, including damage, may be present to concealed and inaccessible timbers, and would only be found if exposed by invasive means. Wall paneling, wall paper, carpet and fixed cabinetry can obscure termite activity.

ADDITIONAL INVASIVE AND NON INVASIVE TESTS

These tests involve the use of limited invasive techniques or additional specialist equipment intended to allow assessment of building components or areas not accessible or not covered by a Standard Timber Pest Inspection. Recommendations for additional tests are often as the result of a Standard Timber Pest Inspection and for this reason, additional tests would usually be carried out following a Standard Timber Pest Inspection. Additional specialist tests (special purpose reports) include but are not limited to: thermal imaging; movement detectors (Termatrac™); viewing devices (borescope); termite detection dogs; removal or drilling of building components.

Trees and stumps, where present, have been visually inspected up to a 2 meter height where possible and practicable, for evidence of termite activity.

It is very difficult, and generally not possible to locate termite nests when they are underground and if within trees they are usually well concealed. We therefore strongly recommend trees and stumps be test drilled for evidence of termite nests.

AS ALL DEFECT ARE NOT LISTED IN THE SUMMARY, IT IS IMPORTANT TO READ EVERY DEFECT IN THE REPORT INDIVIDUALLY AND ASK FOR ANY CLARIFICATION THAT YOU MAY REQUIRE.

For further information, advice and clarification please contact Richie Reinikka on: 0438 465 646

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building:

Location: All Areas

Finding: FYI - Obstructions and Limitations

Information: Obstructions can hide an array of defects and should be removed where possible to allow full inspection to be carried out. List of obstructions can be found in section C Accessibility - Obstructions and Limitations.

These are typically like ceiling and wall linings, Built-in-Cabinetry, Floor covering, Furniture, Insulation etc. Photos can be seen in additional photos section.

It is noted that the presence of obstructions can never be fully removed. While we are able to remove some of these obstructions in vacant properties, there are others such as the lining of walls, low pitch roofs, insulation, and flooring that can never be fully removed, as it is not financially viable.

As a result, there will always be some risk present due to these types of obstructions.

It is important to be aware of this when considering the purchase of the property.

Noted Item

Building:

Location: All Areas

Finding: Plumbing and Electrical - Outside of the scope of this inspection

Information: Plumbing and electrical inspections are outside the scope of the building inspection and must be conducted by a Licensed and registered Trades person.

It is highly recommended that the client makes immediate arrangements to have the gas appliances checked by a licensed gas plumber to ensure that the appliances are working safely and efficiently.

Whilst we note and comment of visually apparent defects that present during the building inspection, legislation requires the checking and documenting of compliance for plumbing and electrical requirements be done by licensed electrician and plumbers respectively to ensure they are functioning correctly.

Noted Item

Building:

Location: All Areas
 Finding: FYI - Taps, drainage and toilets tested
 Information: Taps, drainage and toilets were checked for water flow and drainage was checked for leakage.

Unless identified in a separate defect, no remedial work appears to be required on these items at the time of the inspection.

Photos may be shown in additional photos section.

NOTE: Please be aware that although cupboards have had a thorough inspection, obstructions in cupboards may conceal potential water damage, prevent a full inspection and conditions can change after the initial inspection was carried out, therefore damage may be found after obstructions are removed.

Noted Item

Building:
 Location: All Areas
 Finding: FYI - Windows and doors were tested for operations
 Information: Windows and doors were tested during the inspection. Some windows and doors were locked and/or affected by obstructions. Those that could be tested appeared to operate as intended at the time of the inspection.

Unless identified in a separate items, no remedial work is required on these items.

Photos may be shown in additional photos section.

Noted Item

Building: Main Building
 Location: Living Room, Family Room
 Finding: Smoke Detectors and Alarms
 Information: Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report.

Please note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that the absence of smoke detectors, or their poor condition, should be addressed as a matter of urgency to improve occupant safety.

Further Inspection and/or advisory services is necessary to provide advice on the sufficiency, type and location of smoke detectors, and to test the functionality of all devices. Greater requirements for fire safety and detection exist for commercial buildings.

Always ensure sufficient working and suitable smoke detectors are installed prior to

occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.

Please refer to AS3786 and state based legislation, which may also apply.



Noted Item

Building:	Building 1
Location:	Loft
Finding:	Smoke Detectors and Alarms
Information:	Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report.

Please note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that the absence of smoke detectors, or their poor condition, should be addressed as a matter of urgency to improve occupant safety.

Further Inspection and/or advisory services is necessary to provide advice on the sufficiency, type and location of smoke detectors, and to test the functionality of all devices. Greater requirements for fire safety and detection exist for commercial buildings.

Always ensure sufficient working and suitable smoke detectors are installed prior to occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.

Please refer to AS3786 and state based legislation, which may also apply.



Noted Item

Building:	Main Building
Location:	Entry
Finding:	Paint finish - Incomplete
Information:	The paint finish in this area was identified as being incomplete at the time of inspection.

Whilst incomplete or missing paint finish is generally an appearance defect, it can also lead to the development of secondary building defects over time. Incomplete areas of paint finish expose the area to moisture, potentially accelerating the deterioration of underlying building materials.

Incomplete paint finishes should be sanded back, filled, leveled and painted, as applicable. Where inadequate or missing paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

A painting contractor should be appointed as soon as possible to perform necessary works to aid the appearance of the affected area and to ensure the area is protected against further deterioration. Alternatively, the homeowner following manufacturer instructions may perform these works.





Noted Item

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof - Redundant Pool Solar Pipework
Information:	Redundant pipework associated with a former pool solar heating system remains installed across sections of the metal roof sheeting. In addition, residual sealant and adhered material from the original solar heating installation were observed on the roof sheets beneath the current solar panel array.

The remaining pipework and adhered residue create areas where debris and organic matter can accumulate, restricting normal water run-off across the roof surface. This condition increases moisture retention and may contribute to accelerated wear of roof coatings and fixings over time if left unmanaged.

No active water ingress was identified during the inspection; however, the condition is considered a maintenance-related issue that may affect the long-term performance of the roof sheeting.

It is recommended that the redundant pipework be removed and residual materials cleaned from the roof surface by a suitably qualified roof plumber to restore effective water shedding and reduce ongoing maintenance risks.





Noted Item

Building: Main Building
 Location: Roof Exterior
 Finding: Solar Installation (Conduit Routing)
 Information: The solar panel installation was observed to include surface-mounted conduit routed across sections of the roof to the meter box, rather than being concealed or more directly aligned with the point of electrical connection. This approach differs from more streamlined installation methods commonly adopted to reduce visual impact and limit exposure of components.

While no operational issues were identified at the time of inspection, exposed conduit routed in this manner may be more susceptible to weathering, UV exposure, debris accumulation, or accidental damage over time. The installation also detracts from the overall presentation of the roof covering.

This item is noted for the client's information only. The client may wish to make further enquiries with the installer or vendor regarding the installation method and any available alternatives, particularly if future roof works or maintenance are planned.



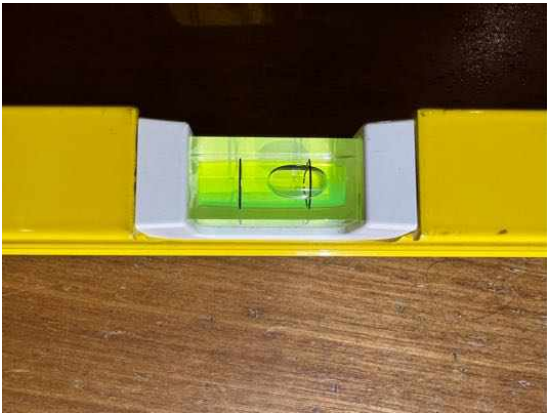
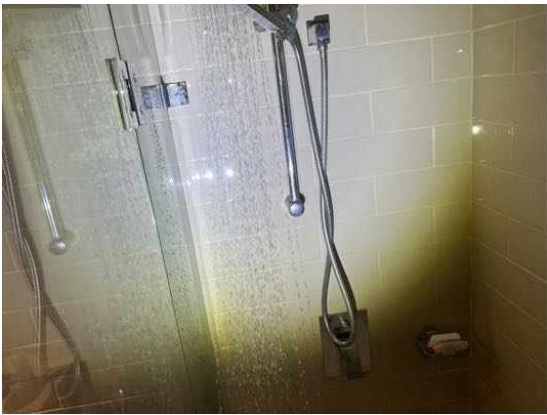
Noted Item

Building:
Location: All Areas
Finding: FYI - Additional Photos
Information: Additional photos are provided for your general reference and may include obstructions, testing of water & windows, moisture readings or minor maintenance items.







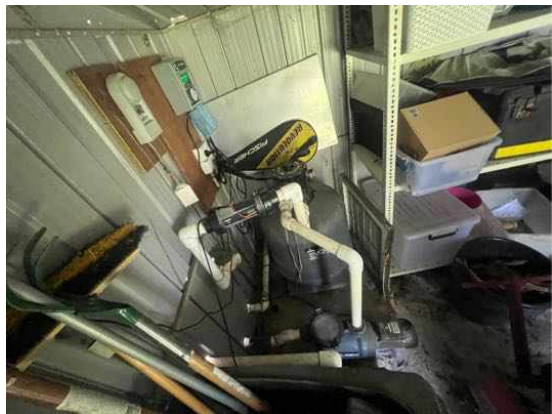




















Noted Item

Building:	Main Building
Location:	Pergola
Finding:	Additional structure built without a permit (Suspected) NSW
Information:	The pergola structure abutting the house is suspected to have been constructed without the necessary council approval. In New South Wales, approval is generally required prior to construction of such structures, either by way of a Complying Development Certificate (CDC) or through the Development Application (DA) process followed by a Construction Certificate.

There are many aspects of pergola construction which typically require approval in NSW. The Environmental Planning and Assessment Regulation 2021 outlines that approval is likely required in the following circumstances:

- A roofed structure such as a steel or polycarbonate roof pergola.
- Structural footings that support the roof or elevated platforms.
- Any structure physically attached to the house.
- Structures elevated above ground level that may require balustrades or pose a fall risk.
- Structures within proximity to boundaries, easements, or public land.

It is commonly and incorrectly believed that if a structure has remained unapproved for a number of years, it no longer requires approval. This is not the case. Local councils can issue enforcement notices regardless of the structure's age, particularly if it comes to their attention through neighbour complaints or during property sale transactions.

In the event that the local council is made aware of this unapproved structure, the responsibility rests with the current property owner. The council will generally issue one of two directions:

1/ Obtain a Building Information Certificate (BIC) to legitimise the structure through retrospective approval, or

2/ Remove the structure in full.

Fines or penalty notices may also be issued in some cases.

It is strongly recommended that the purchaser request formal documentation from the vendor confirming whether the pergola structure has been approved. If no approval can be produced, the current owner should be asked to obtain a Building Information Certificate and provide a structural assessment confirming that the structure is safe and built in accordance with current building standards.

This inspection report does not constitute formal approval, and any informal assessment should not be relied upon to confirm compliance. Further enquiries with the local council or an accredited certifier are strongly recommended prior to settlement.



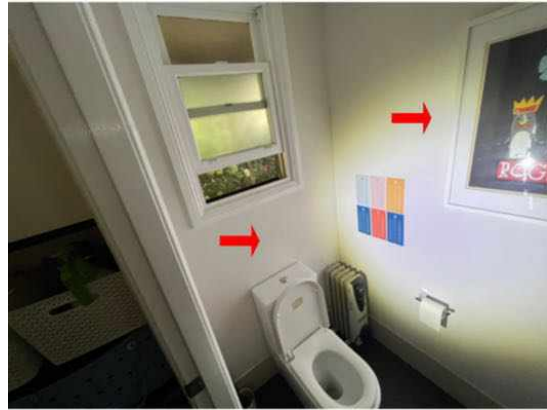


Noted Item

Building:	Main Building
Location:	Kitchen, Foyer (bathroom/laundry), Laundry, Toilet (WC), weatherboards
Finding:	Asbestos - Suspected ACM Identified on Site
Information:	Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.