



BEFORE YOU BUY

BEFORE YOU BUILD

Building Inspection Report

Inspection Date: Mon, 19 Jan 2026

Property Address: 398 Liverpool Rd, Strathfield South NSW
2136, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 19 Jan 2026

Modified Date: Tue, 20 Jan 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 398 Liverpool Rd, Strathfield South NSW 2136, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Rishi Rishikesan Ph: 0406 661 250
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B Sc(Engineering)

Company Name: Jim's Building Inspections (Kellyville)

Company Address and Postcode: Kings Langley 2147

Company Email: Kellyville@jimsbuildinginspections.com.au

Company Contact Numbers: 0406 661 250

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report must be read in full to clearly understand all items identified as defects listed within the report.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	

Overall Condition

In summary, the building, compared to others of similar age and construction is in fair condition with some major and minor defects found.

Section B General

General description of the property

Building Type	Residential, Detached
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Company or Strata title	No
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Floor	Brick Stumps or Piers
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Furnished	Furnished
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No. of bedrooms	5
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Occupied	Unoccupied
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Orientation	West
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Other Building Elements	Driveway, Fence - Post and Rail Construction, Garage
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Other Timber Bldg Elements	Door Frames, Doors, Fascias, Internal Joinery, Landscaping Timbers and Construction, Deck
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Roof	Pitched, Timber Framed, Tiles
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Storeys	Single
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Walls	Full Brick
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Weather	Fine
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Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Interior
- Exterior
- Roof Exterior
- Fencing
- Gardens
- Landscaping Timbers
- Roof Void - Part
- Subfloor - Part
- Stumps
- Wall Exterior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity.
- Roof Void due to lack of access.
- Subfloor due to lack of access.
- Subfloor - Part.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Debris in gutters
- Ceiling cavity inspection was significantly obstructed with more than 75% of the inspectable area inaccessible or obstructed by factors like lack of safe access, insulation and ducting.
- Ceiling linings
- Decking
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Evidence of recently painted walls or ceilings
- Evidence of remedial cleaning may result in lower levels of contaminant being detected.
- Fixed ceilings
- Lack of clearance - subfloor
- Vegetation

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Defects 2.01

Building: Main Building
Location: Subfloor Ceiling void
Finding: Suspected Previous termite activity identified
Information: Although no evidence of live termite activity was found at the time of inspection it is suspected that a termite colony is present on the property. Further inspection of external and internal areas is required in order to correctly identify the presence of termite activity and may include works of an intrusive nature.

It is strongly recommended that further inspection be conducted as soon as possible in order to prevent any further damage that may ensue.





Defects 2.02

Building:	Main Building
Location:	Garage
Finding:	Garage structure - Unstable & wood rot
Information:	This building element shows evidence of wood rot. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture from other abutting building materials.

Movement was evident in the carport structure, indicating that it may not be structurally sound or compliant with current building regulations. While some degree of movement is expected of structures of this design, it is suspected that strong winds or forceful impact may cause the stability of the carport to further decline.

Early intervention and regular maintenance, particularly of exterior timbers, will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner. Replacement of affected timbers may then be a necessary step in protecting surrounding building elements from such deterioration.

Additional bracing of the carport is required immediately to ensure its safety and structural integrity. If left unmanaged, the carport structure is likely to deteriorate

further, potentially creating an environment which is unsafe.

A registered builder with the assistance of trades, e.g. qualified carpenter, should be appointed to perform remedial works as a matter of urgency.



Minor Defect

Defects 3.01

Building:	Main Building
Location:	Garage
Finding:	Cracking - External Concrete Paving Damage Category 4 - Gaps in Slab (4mm - 10mm +)
Information:	Gaps in the slab were identified in external concrete paving. Gaps in the slab are significant and are likely to lead to the development of safety hazards and secondary defects if left unmanaged, such as the creation of a trip hazard.

General age and expected deterioration of the paved areas is a common cause of this type of cracking. However, expansion and contraction of the slab may also have occurred due to environmental factors. Such factors include variable moisture and weather conditions, the presence of trees and their roots having a settling or lifting affect on the soil, or the effect of load bearing, e.g. heavy vehicles over a sustained

period of time.

Cracking to this degree may also be due to poor original installation of the concrete. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects. Gaps in the concrete paving may also have a more significant structural cause, such as subsidence of soils.

Where gaps in the concrete paving are adjacent to structural elements of the building, the advice of a Structural Engineer is advisable before undertaking repairs. Significant repair and likely replacement of the concrete paving is probable.



Defects 3.02

Building:	Main Building
Location:	Exterior walls
Finding:	Brickwork - Cracking noticeable
Information:	There were several cracks and or crack repairs evident to external brickwork.

Noticeable cracks are a common occurrence in external brickwork and are a likely result of age expected building movement, general expansion, and/or contraction of building materials in different weather conditions. Noticeable cracks in brickwork may develop if left unattended, with potential for necessitating major remedial works or replacement of the brickwork. Step cracking was identified to the brickwork in this area at the time of inspection. Step cracking, which is similar to other forms of cracking, has a variety of possible causes. However, the most common is the subsidence of adjacent footings.

Step cracking is a relatively common defect, and is most likely to occur adjacent to windows, doors and other openings. Mortar failure in the gaps between affected bricks indicates the stresses and tensions affecting the wall.

It is highly advised that a qualified bricklayer be appointed to provide necessary works to cracked brickwork to prevent any further damage. Such works should be conducted as soon as possible.

Always monitor these cracks and contact a building inspector should cracks widen, lengthen, or become more numerous.







Defects 3.03

Building: Main Building
 Location: Fencing
 Finding: Fencing - Deteriorated
 Information:

It was noted at the time of inspection that sections of the fencing throughout the property have deteriorated. Typically fencing deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

If left unattended, it is likely that further damage will occur. It is suspected that repair of several elements of the fencing may be required however replacement may be a

consideration of the client also.

A licensed fencing contractor should be appointed to provide further advice and perform rectification works as necessary.





Defects 3.04

Building: Main Building

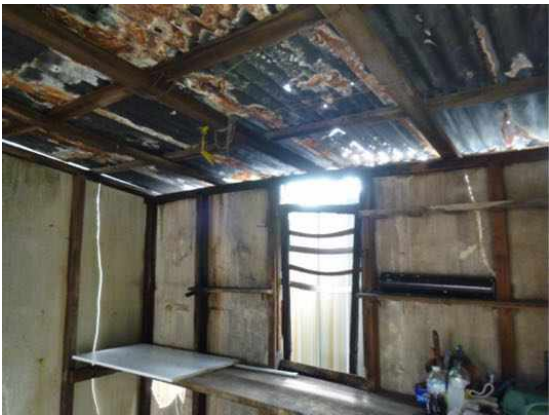
Location: Garage

Finding: Roof sheets - Deteriorated

Information: Upon inspection of the exterior roofing, it was found that the roof sheets show signs of deterioration, with some sheets having come loose from their original fixing. The roofing has sustained an array of issues due to the age of the materials and a lack of general maintenance over time, including loose sheeting, lifting and sagging of sheets, and deterioration of associated building elements.

Loose, deteriorated and damaged roof sheets are susceptible to water penetration, exposing the surrounding associated area to internal roof leaks and water damage.

Re-fixing of all loose roof sheets should be conducted as soon as possible to ensure that no further damage occurs. Depending on the extent of the damage, replacement of sections of roof sheets or associated materials may be required. Engagement of a roofing restoration contractor is highly advised to perform remedial works as necessary.



Defects 3.05

Building: Main Building
Location: Exterior walls

Finding: Exterior walls - Lateral damp

Information: Lateral penetrating damp refers to the sideways movement of moisture, predominantly from the surrounding ground, which tends to affect basement walls and other earth-retaining walls. The implications of unmanaged damp range from mould fungi growth, wood rot and decaying building materials, to finishes including lifting, bubbling, peeling and staining of paint, plaster and wallpaper.

It is important to address damp conditions as the World Health Organisation notes that excess moisture leads - on almost all indoor materials - to the growth of microbes such as moulds, fungi and bacteria, which subsequently emit spores and other matter into the indoor air. Exposure to these contaminants is associated with a wide range of respiratory and other health-related problems. Additionally, the development of damp in timber building elements also provides an environment that is conducive to termite / timber pest attack.

Structural waterproofing barriers or tanking barriers are often used to protect internal surfaces against the effects of lateral penetrating dampness. These types of work are generally undertaken where the source of the penetrating damp cannot be prevented.

Immediate consultation with a licensed plumber is advised to address the cause of the damp and to perform remedial works as necessary.







Defects 3.06

Building:	Main Building
Location:	Yard - Back
Finding:	Tap - Leaking
Information:	The tap in this area was found to be leaking at the time of inspection. This is a common defect that is consistent with general ageing of the building element. However, it may be indicative of substandard plumbing workmanship if the tap is relatively new.

While this defect only seems minor, if left unmanaged, it is likely to result in the development of rust, water damage and/or extensive water usage.

It is advised that a handyman or licensed plumber be appointed to perform remedial works on the affected tap. Such works should be performed prior to the development of secondary defects to ensure adequate functionality of all associated building elements.



Defects 3.07

Building:	Main Building
Location:	Gutters Roof valley
Finding:	Gutters - Blocked
Information:	Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Where gutter guard is installed regular maintenance should include cleaning out any debris which may rest on top of or filter through the gutter guard.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

Consult a Licensed Plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a general handyperson as a matter of urgency.



Defects 3.08

Building:	Main Building
Location:	Yard - Back
Finding:	External Timber Balcony or Deck - Structural Stability
Information:	The load capacity of the external balcony or deck could not be verified during the inspection.

External timber structures are also constantly exposed to weather elements and can deteriorate in an accelerated manner, ongoing assessments are required.

It is highly recommended that a Structural Engineer further assess the external timber balcony or deck to inform the client of its load capacity. Regular maintenance inspections by competent practitioners is needed.



Defects 3.09

Building:	Main Building
Location:	Yard - Back
Finding:	Stormwater drain - Not connected
Information:	The roof plumbing is not adequately connected to stormwater drainage on the site. This disconnection negatively impacts the functional capacity of the roof plumbing.

Where roof plumbing doesn't drain adequately, the area at the base perimeter can become excessively damp, potentially creating an environment that is susceptible to rust and corrosion of surrounding building elements, as well as attracting termites and other pests.

It is highly recommended that a plumber be appointed to further inspect the area and to install adequate drainage equipment where necessary.



Defects 3.10

Building: Main Building
 Location: Toilet (WC)- Out door
 Finding: Air vent pipe - Damaged
 Information: It was noted at the time of inspection that air vent in this area has damaged/deteriorated. This damage is suspected to have been caused by deliberately. Air vent pipe is to regulate pressure in the drainage system. Repair or replacement of the air vent pipe is advised to ensure the protection and longevity drainage system. Such works may be performed by a general handyperson or qualified plumber.





Defects 3.11

Building: Main Building

Location: Hallway

Finding: Ceiling - Water stained/ leaking

Information: Water staining to ceiling linings in this area was evident at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by interior ceilings.

Where water staining is active, a licensed plumber must be consulted to identify the cause of the staining and to provide advice on any reparation works that may be required. Replacement of any damaged structures is advised.

Conversely, where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion.





Defects 3.12

Building:	Main Building
Location:	Hallway Bed rooms
Finding:	Floors - bouncy & uneven
Information:	The internal flooring in this area was identified as being bouncy and uneven at the time of inspection. A bouncy floor surface generally presents as a discernible change in level as they are walked across, in noisy or creaking flooring, or in consequent movement of surrounding furniture and fixtures. Uneven flooring is likely to indicate minor defects such as expected movement of the foundations of the property, but may also indicate subsidence of the associated subfloor stumps.

Bouncy floors generally indicate that the floorboards or the subfloor structures are coming loose from the joists that they are installed on. Bouncy flooring may also be the result of gaps between flooring and stumps or joist structures, which require packing.

It is advised that the flooring be closely monitored to identify any further movement. Where flooring remains relatively unchanged for an extended period of time (i.e. several months), it is likely that this defect has been caused by expected movement of the foundations of the property.

However, where flooring is uneven further, potentially invasive inspection of the subfloor structures and stumps in this area is required. In this case, works to repair are likely to be required, and would be carried out by a registered builder specialising in re-stumping.

The client is advised to seek quotations for required repairs from a Registered Builder specialising in re-stumping. The potential resolution may range from packing gaps in subfloor structures through to replacement of subfloors stumps and refixing of flooring.



Defects 3.13

Building: Main Building
Location: Bedroom Doors
Finding: Door - Binding/jamming
Information: Binding and/or jamming of this door is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

Where door binding/jamming appears to indicate major structural issues, a registered builder specialising in re-stumping should be appointed to provide an estimate on the cost of rectification.

For minor causes, a qualified carpenter or general handyman should be appointed to perform minor rectification works at client discretion.





Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Termite and Timber Pest Technician / Licensed Pest Controller
- Registered/Licensed Builder

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- The building appears to be in fair condition compared to buildings of similar age and construction.

Major Minor defects were found at the time of the inspection. As mentioned in defects details, recommendations are highly advised to avoid further damage or deterioration of building elements.

Although no evidence of live termite activity was found at the time of inspection it is suspected that a termite colony is present on the property. Further inspection of external and internal areas is required in order to correctly identify the presence of termite activity and may include works of an intrusive nature.

Movement was evident in the garage structure, indicating that it may not be structurally sound or compliant with current building regulations.

Early intervention and regular maintenance, particularly of exterior timbers, will prolong the useful life of these building elements. A registered builder with the assistance of trades, e.g. qualified carpenter, should be appointed to perform remedial works as a matter of urgency.

Stumps to the subfloor structure are unstable, indicating that their structural integrity has been affected.

The stumps are suspected to be failing in their structural purpose, which is likely to lead to a range of major and minor defects. Further (potentially major) damage to the stumps and structure may be imminent if left unattended.

Appointment of a Registered Builder specialising in re-stumping is required immediately to assess the condition of the stumps and provide advice on remedial works. This defect should not be left unmanaged.

Reporting on Asbestos is outside the scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

Please be aware that limitations did affect the inspection with inaccessible areas, which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow the full inspection to be carried out. The rating for the risk of undetected defects is therefore high.

This report must be read in full to clearly understand all items identified as defects listed within the report.

For further information, advice and clarification please contact Rishi Rishikesan on: 0406 661 250

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
 Location: Meter Box
 Finding: Termite Management System - No evidence of installation
 Information: There are a number of factors which indicate the presence of a previously installed or applied termite barrier. The most common are a durable notice (to the inside of your meter box) observable physical barriers installed to building perimeter and in ground reticulation systems. The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place. Where a Termite Management System has been identified you should refer to the type of barrier date of installation warranty conditions and any documentation provided by a builder or past owner. Consult the company who installed the barrier to confirm whether the system is still under warranty. Most chemical termite management systems expire and require replenishment and all physical systems are primarily designed to prevent concealed entry.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



Noted Item

Building:	Main Building
Location:	Yard - Front
Finding:	Paving - Uneven
Information:	Sections of the external paved area are uneven, creating a potential trip hazard. It appears as though the area has been subject to rough installation, or that paving sections have lifted due to movements in the foundation of the property.

Where paving creates a trip hazard, personal injury may ensue if due caution is not taken by all persons within this area.

Re-paving of the area is required as soon as possible to remedy this situation. Further consultation with a specialist concreter is advised.

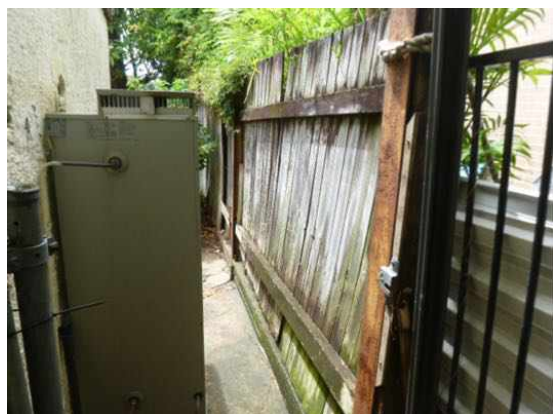


Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Landscaping & stored timbre
Information:	Any timbers in direct ground contact provide opportunity for concealed termite entry and are likely to be subject to premature rot and decay as the soil retains moisture or damp conditions against the timbers. Remove untreated timber that is in direct contact with external grounds. If there is old tree stumps present frequent pest inspections are advised to readily identify any termite activity in these areas.

Monitor treated landscape timbers within the garden area, as treated pine breaks down and rots over a period of time causing conducive conditions for termite activity.

The storing of timbers in the subfloor space or around the external property increases the risk of termite activity being present. As they are likely to come into contact with weather conditions or excessive moisture wood rot is likely to develop on timbers that are not treated. It is highly recommended that any stored timbers be immediately removed from areas in which they may attract any termite / timber pest attack. Minimisation of risk / prevention of termite attack is far more adequate than dealing with the presence of termite activity.





Noted Item

Building: Main Building
 Location: Garage
 Finding: Asbestos - Suspected ACM Identified on Site
 Information: Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos.

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.



Noted Item

Building: Main Building
Location: Roof Void
Finding: Insulation -
Information: There is NO man hole access to check the roof space and insulation.

Noted Item

Building: Main Building
Location: Bathroom And other wet area
Finding: No evidence of excessive moisture- Ensuite/Bathroom
Information: All areas of the dwelling are checked with particular attention paid to wet areas which were closely assessed to check for excessive levels of moisture and temperature anomalies. There was NO evidence of excessive moisture present at the time of inspection in bathrooms.

Regular maintenance and replacement of damage or missing or damaged sealant and

grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property. Excessive moisture can attract termites and produce conditions that promote termite attack fungal growth and wood decay. It is highly recommended that all plumbing and drainage fixtures and fittings be maintained regularly in order to prevent excessive moisture being present in the external / internal property.





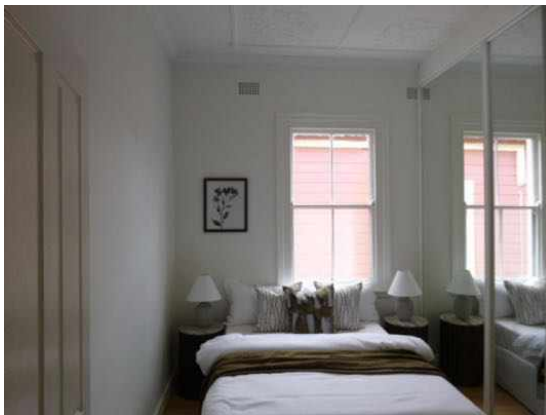


Noted Item

Building: Main Building
 Location: Bedroom windows
 Finding: Windows - Sash painted shut & Sash cords missing
 Information: Where window sashes have been painted shut, it is generally indicative of poor, rushed workmanship. Sashes are the moveable panes of windows that primarily slide vertically over each other to expose one half of the window area. Each sash is provided with springs balances and/or compression weather-stripping, which act to hold the window in place in one position.

To facilitate this operation the weight of the glazed panel is usually balanced by steel weights or counterbalances. The sash weight is connected by a cord or chain that runs over a pulley at the top of the frame. These cords are prone to degradation over time and replacement is required.

Where windows have been painted shut the seal of the paint needs to be broken. This is generally done by breaking the seal of the paint and then maintaining the sash tracks clearing and lubricating them with silicone. Remedial paint work will likely be required and can be completed along with the rest of the remedial works necessary by a general handyman. Repairing or replacing sash cords involves some work and is often best completed by an experienced carpenter or specialist window restorer. It is advised that such works be completed to improve the operational state of the affected window.



Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Additional Photos - Obstructions and Limitations
Information:	These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out.



Noted Item

Building: Main Building
Location: All Areas
Finding: Additional Photos
Information: Additional photos are provided for your general reference. Arrows have been included to highlight areas of importance. Please discuss these photos with your building consultant for clarification.











The following items were noted as - Fair Condition

Noted Item

Building:	Main Building
Location:	Roof exterior
Finding:	Roof tiles - Weathered
Information:	Upon inspection of the exterior roofing, the majority of roof tiles were considered to be in a fair condition. While weathering of the tiles is consistent with the age of the property, maintenance works are required.

Isolated areas of mortar have come loose in the valleys and minor cracking is also present. Re-pointing and re-sealing the may be considered as an interim solution by the client to help preserve and extend the life span of the tiles.

Where left unmanaged, deteriorating roof tiles are likely to lead to a number of secondary defects, including minor water leaks and weather exposure to internal roofing structures.

Consultation with a roofing contractor is highly advised to gain advice on cost of remedial works that may be required in the short to medium term. Remedial works are likely to increase the longevity of the exterior roofing structure.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not a pest report. As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.