



Building and Timber Pest Inspection Report

Inspection Date: Wed, 25 Mar 2026

Property Address: 17 Brunel St, Malvern East VIC 3145,
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Wed, 25 Mar 2026

Modified Date: Thu, 26 Mar 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 17 Brunel St, Malvern East VIC 3145, Australia

Client's Email Address:

Client's Phone Number:

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Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: N/A

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in generally good condition with minor defects and maintenance items noted.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. Live activity and/or damage from timber pest activity was not found at the time, however, conditions conducive to timber pest activity were found at the time of inspection. A termite treatment is recommended.

Section B General

General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Suspended Timber Frame, Timber Stumps, Concrete Stumps
Furnished	Furnished
No. of bedrooms	4
Occupied	Occupied
Orientation	East
Other Building Elements	Driveway, Fence - Post and Rail Construction, Fence - Stone, Garage, Pool, Shed
Other Timber Bldg Elements	Architraves, Deck, Door Frames, Doors, External Joinery, Internal Joinery, Fascias, Skirting Boards, Staircase, Stair Railing, Floorboards, Stumps, Window Frames
Roof	Timber Framed, Pitched, Tiled
Storeys	Double
Walls	Stucco, Fibre Cement Sheets, Rendered
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Roof Exterior - Part
- Roof Void - Part
- Subfloor - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Exterior Roof Surface - Second Storey.
- Roof Exterior - Part
- Subfloor - Part.
- Wall exterior due to obstructions.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- Debris in gutters
- Decking
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Lack of suitable access or entry point
- No safe point from which to access roof exterior
- Porch
- Roof framing - not trafficable
- Rugs
- Stored items
- Subfloor area - Limited access due to restrictive crawl space
- Vegetation

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Finding 3.01

Building:

Location: Bedroom

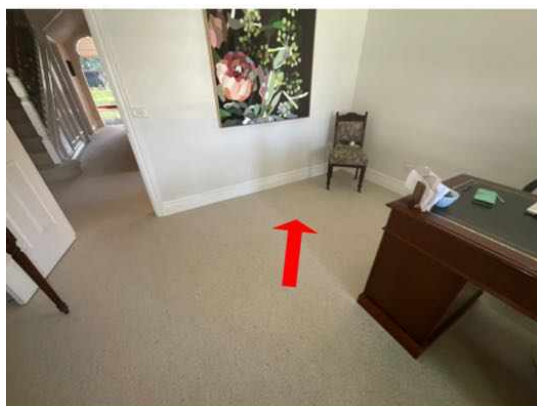
Finding: Flooring - Uneven and out of level

Information: The internal flooring in this area is out of level and uneven. Uneven flooring is likely to indicate minor defects such as expected movement of the foundations of the property, but may also indicate subsidence of the associated subfloor stumps.

It is advised that the flooring be closely monitored to identify any further movement. Where flooring remains relatively unchanged for an extended period of time (i.e. several months), it is likely that this defect has been caused by expected movement of the foundations of the property.

However, where flooring is uneven further, potentially invasive inspection of the subfloor structures and stumps in this area is required. In this case, works to repair are likely to be required, and would be carried out by a registered builder specialising in re-stumping.





Finding 3.02

Building:

Location: Bedroom

Finding: Windows - Sticking

Information: The windows in this area were sticking and slightly difficult to operate at the time of the inspection. Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort.

Restricted function of the window may also create potential for secondary defects to the associated building elements, such as damage to the window frames as well as a potential safety hazard if required for emergency egress from the building.

The most usual causes are swelling of timbers due to moisture, bulging or bowing of frames, or general material degeneration. Lack of maintenance can also contribute to the windows sticking.

Easement may be required, which may involve some sanding and repainting. It will almost always include ensuring the areas are cleaned and free of any debris that may be detrimental to their operational state



Finding 3.03

Building:

Location: Bathroom

Finding: Grout / sealant - Missing or degraded within the bathroom area

Information: It was noted on inspection that grout and/or sealant is degraded to areas within the bathroom.

Grout and sealants are used to keep the joint water tight and protective of all associated building materials.

Different materials move at different rates, generally causing cracking to grout at this point. Build up of moisture in the bathroom can also cause grout and sealants to degrade and become mouldy.

Any damaged or degraded materials should be scraped out and flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that may occur. Regular maintenance and replacement of damaged or missing grout/ sealant is highly recommended to the wet areas, as this is a regular wear and tear defect. Both grout and sealant in areas that come into regular contact with water should be maintained for the long term care of your property.

A bathroom specialist or tiling contractor should be appointed to complete these works as a priority .







Finding 3.04

Building:

Location: Bathroom

Finding: Wet area tiles - Cracked or damaged

Information: Cracking was evident to the tiling in this area at the time of inspection. While the cracking appears to be minor, this area is frequently exposed to water, allowing potential for water penetration into adjoining sections of walls or flooring.

If left unmanaged, water penetration to these areas may lead to subsequent water damage, which is likely necessitate repair work to affected building elements.

A tiling contractor should be appointed to ensure that no further water damage occurs. The re-application of silicone and grouting throughout remaining tile work is also advised, to further protect the area against water penetration.

Where water penetration has led to water damage, appointment of a relevant tradesperson may be required to repair damaged building elements.





Finding 3.05

Building:

Location: Bathroom

Finding: Moisture damage to the base of bathroom vanity

Information: Evidence of moisture damage was identified to the base of the framing of the bathroom vanity .

It is suspected that this has occurred as a result of excess moisture from internal spills.

A licenced carpenter or competent handyman should be engaged to inspect the moisture damaged area and repair or replace any items where necessary.



Finding 3.06

Building:

Location: Ensuite

Finding: Window - Sash painted shut

Information: At the time of inspection, the window in the ensuite appeared to have been inadvertently painted shut.

Where window sashes have been painted shut, it is generally indicative of poor, rushed workmanship. The window is difficult if not impossible to open and close until

remedial works have been undertaken.

Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the window may also pose as a potential safety hazard if required for emergency egress from the building.

Where windows have been painted shut the seal of the paint needs to be broken. This is generally done by breaking the seal of the paint and then maintaining the sash tracks, clearing and lubricating them with silicone. Remedial paint work will likely be required and can be completed along with the rest of the remedial works necessary by a general handyman.



Finding 3.07

Building:	
Location:	Walk In Robe
Finding:	Skylight - Suspected previous moisture damage (possible leaking)
Information:	At the time of inspection it appeared that there had been some moisture staining around the skylight within the walk in robe .

Moisture staining is generally an indication of excessive moisture being present via a leak through the roofing.

Where moisture staining is evident, the primary requirement is to identify and rectify any source of the staining. Where the leaking is still active, a plumber should be appointed as a priority to identify the leak and perform rectification works, ensuring the moisture damage is restricted.

Once the leak is repaired, consultation with relevant tradespeople, including plasterers and painters, is advised.

Rectification works may include replacement of ceiling lining or minor repainting, depending on the extent of the damage.

This area should be monitored for any further changes and action taken as above.



Finding 3.08

Building:

Location: Laundry

Finding: Laundry - no exhaust fan

Information: It appeared that there was no exhaust fan in the laundry. This has the potential to cause excessive heat and moisture within this area and allow condensation to build up causing potential mould issues and secondary defects.

It is recommended that some form of ventilation/ extraction method be introduced to ensure no moisture build up.

An electrician may be engaged to perform this task.



Finding 3.09

Building:	
Location:	All Areas
Finding:	Cracking - fine
Information:	Some fine cracking was noted throughout the property.

Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage. Generally, the cause of a fine crack is indicative of a separation between building materials and finishes (e.g. paint, plaster, etc.) along joins.

Cracking of this nature can generally be repaired with minor sanding, filling and/or repainting. Such works should be performed by a qualified painter or a general handyman.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.

Note: photos included are indicative of fine cracking noted at the the time of inspection. Other fine cracks may be present but not recorded here.





Finding 3.10

Building:
Location: Laundry
Finding: Sealant - Missing or degraded
Information: Sealant is missing or degraded in this area. Sealant is used to protect gaps and crevices in building materials to ensure that they are water-tight and prevent water penetration to the associated structures.

Where sealant is missing or degraded , a tiling contractor should be appointed immediately to re-apply any silicone where necessary. Failure to do so may lead to water damage to the surrounding area.





Finding 3.11

Building:

Location: All Areas

Finding: Floor - creaking slightly in some areas

Information: The internal flooring in these areas were creaking slightly when walked upon at the time of inspection.

Creaking floors generally indicate that the floorboards or the subfloor structures are coming loose from the supporting structure that they are installed on.

The areas should be monitored for any changes or unevenness. Should this occur, consultation with a registered builder should be undertaken to determine the cause . The potential resolution may involve regluing and screwing the floor down through to replacement of subfloor support structures.





Finding 3.12

Building:	
Location:	Hallway
Finding:	Cracks and crack repairs noted to internal solid plaster surfaces
Information:	Cracking and previous patching of cracks was noted to areas of the internal solid plaster surfaces. Generally these cracks are the result of movement in the foundations of the property and occur quite easily.

It is recommended that the cracks be monitored for a period of time to determine any ongoing cracking. After the monitoring period, should the crack not have changed, in repaired can be filled.

Consultation with a solid plasterer or painting contractor should be sought .

Always contact your building inspector should cracks widen, lengthen, or become more numerous.



Finding 3.13

Building:

Location: All External Areas

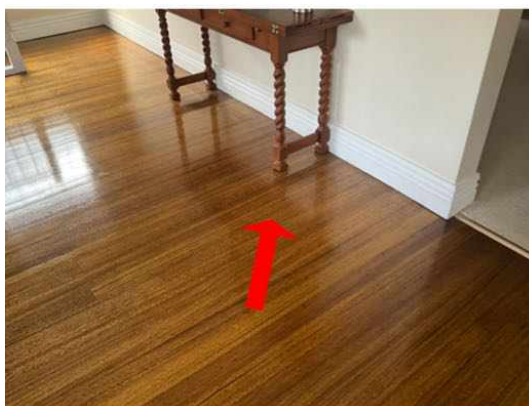
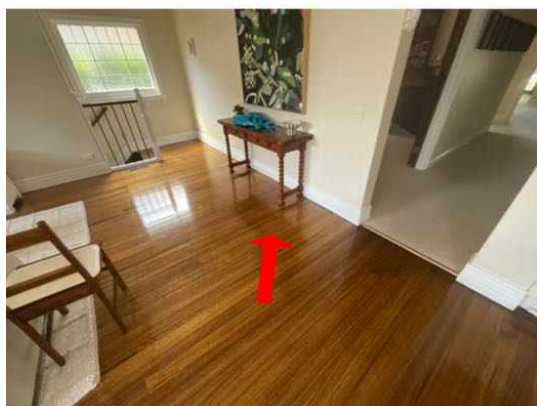
Finding: Floors - bouncy

Information: The internal flooring in this area was identified as being bouncy at the time of inspection. A bouncy floor surface generally presents as a discernible change in level as they are walked across, in noisy or creaking flooring, or in consequent movement of surrounding furniture and fixtures.

Bouncy floors generally indicate that the floorboards or the subfloor structures are coming loose from the joists that they are installed on. Bouncy flooring may also be the result of gaps between flooring and stumps or joist structures, which require packing.

Where necessary, the client is advised to seek quotations for required repairs from a Registered Builder specialising in re-stumping. The potential resolution may range from packing gaps in subfloor structures through to replacement of subfloors stumps and refixing of flooring.





Finding 3.14

Building:

Location: Ensuite

Finding: Shower - Damp noted within wall of shower

Information: Damp was evident to the lower part of one of the tiled walls within the ensuite shower when tested with a moisture meter. This defect is quite common, and is suspected to have been caused by moisture permeating through the grouting in this area, which shows evidence of deterioration. Leaking pipes within the adjoining wall is also a possible cause. (Note there was no moisture noted to the wall immediately behind the shower - which is under the stairs.)

Damp (or structural damp) refers to the presence of unwanted moisture in the structure of a building, either as the result of intrusion from outside, or condensation from within the structure. In the shower area, internal water leaks or other sources of excessive moisture are generally the cause of damp.

Unmanaged damp in the shower recess may facilitate the formation and development of mould and fungi growth. It is important to address damp conditions, as the World Health Organisation notes that excess moisture leads - on almost all indoor materials - to growth of microbes such as moulds, fungi and bacteria, which subsequently emit spores and other matter into the indoor air. Exposure to these contaminants is associated with a wide range of respiratory and other health-related problems.

Should staining to the wall behind the bathroom occur, consultation with a qualified plumber or bathroom specialist would be advised immediately to identify the cause of damp and to perform remedial works as required.

Always ensure that sealant and grout is in good condition to prevent any moisture issues occurring in the future.

Please note: the shower appeared to have recently been used which can affect the readings of the meter.





Finding 3.15

Building:

Location: Bedroom 3 > Upstairs

Finding: Window winder stiff to operate

Information: At the time of inspection the window winder in this bedroom was slightly stiff to operate . It is suspected that this has occurred due to general aging and lack of maintenance.

It is recommended that the winder be inspected and lubricated to see if that will help. Should the window still be difficult to operate, a new winder may need to be installed.

A window specialist or competent handyman may be engaged to remove and replace the winder where necessary.



Finding 3.16

Building:

Location: Attic

Finding: Additional Photos for your information - slight sagging to ceiling linings within roof void.

Information: Additional photos are provided for your general reference.

At the time of inspection, the ceiling linings within the roof void were sagging slightly in some areas. No evidence of any leaking was observed.



Finding 3.17

Building:
Location: All External Areas
Finding: Fascia and rafters - Wood rot noted
Information: Wood rot was found to be affecting the fascia and rafters in these areas. Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

It is likely that this wood rot has developed as a result of faults in the roof cover or plumbing, creating excessive moisture in this areas. Frequent exposure to rain and other weather conditions also make fascias and rafters susceptible to accelerated deterioration.

Early intervention and regular maintenance will prolong the useful life of these building elements. Prior to any works being performed, the cause of the moisture that has created the visible wood rot should be identified and addressed in a suitable manner.

It is advised that a roof plumber be appointed to inspect all roof plumbing and subsequently identify the cause of the wood rot. Replacement of affected fascias and barges may then be a necessary step in protecting surrounding building elements from such deterioration.

A qualified plumber may be appointed to assess the cause of excessive moisture and to provide advice on any remedial works as required. A qualified carpenter or registered builder may also be required to replace affected building materials.





Finding 3.18

Building:
Location: Yard - Back
Finding: Fencing - leaning with some areas of deterioration
Information: It was noted at the time of inspection that sections of the side fencing either side of the property were leaning slightly. Some areas of deterioration were also noted.

Typically fencing deteriorates due to age and or wear, rot and or rust which is generally expected for a structure of this age, due to prolonged exposure to weather conditions. Sometimes inadequate installation or maintenance can be to blame.

The fencing should be monitored for further changes.

Should further damage occur, repair of several elements of the fencing may be required. Replacement may also be a consideration.

A licensed fencing contractor should be appointed to provide further advice and perform rectification works as necessary.



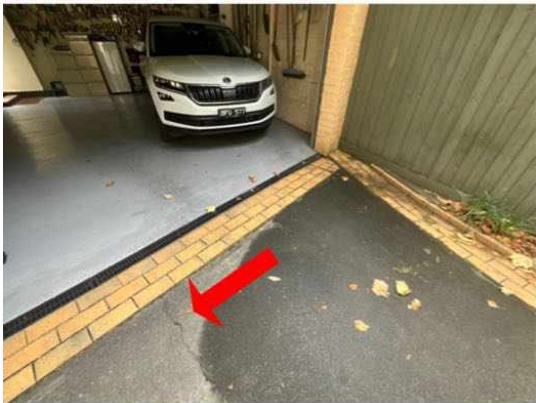
Finding 3.19

Building:	
Location:	Driveway
Finding:	Cracking - Noticeable cracking to driveway paving
Information:	Fine but noticeable cracks were identified in the concrete paving of the driveway. These cracks may lead to the development of tripping hazards and secondary defects if they develop further.

General age and expected deterioration of the paved areas is a common cause of this type of cracking. However, expansion and contraction of the driveway may also have occurred due to environmental factors. Such factors include variable moisture and weather conditions, the presence of trees and their roots having a settling or lifting affect on the soil, or the effect of load bearing, e.g. heavy vehicles over a sustained period of time.

Cracking to this degree may also be due to poor original installation of the driveway. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects. Noticeable cracks may also be due to subsidence of soils.

The area should be monitored for any changes that may occur and potentially cause tripping hazards. Should this occur, repair or replacement of the concrete paving may be necessary.



Finding 3.20

Building:
Location: All External Areas
Finding: Noticeable Cracking - External Concrete Paving
Information: Noticeable cracks were identified in the concrete paving around the property.

General age and expected deterioration of the paved areas is a common cause of this type of cracking. However, expansion and contraction of the driveway may also have occurred due to environmental factors. Such factors include variable moisture and weather conditions, the presence of trees and their roots having a settling or lifting affect on the soil, or the effect of load bearing, e.g. heavy vehicles over a sustained period of time.

Cracking to this degree may also be due to poor original installation of the driveway. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects. Noticeable cracks may also be due to subsidence of soils.

The area should be monitored for any changes that may occur and potentially cause tripping hazards. Should this occur, repair and likely replacement of the concrete paving may be necessary.



Finding 3.21

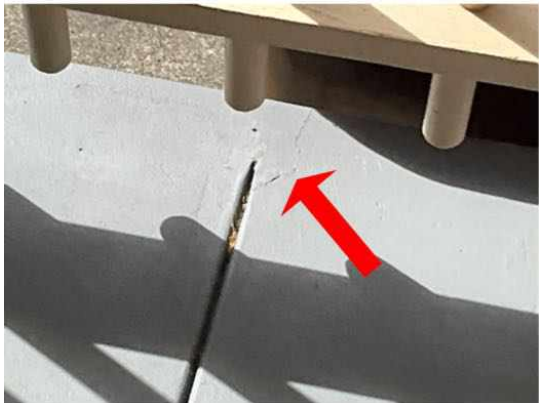
Building:
Location: Porch
Finding: Cracking to external concrete- Fine
Information: Fine cracks were identified in external concrete paving. Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage.

Generally the cause of a fine crack in existing concrete paving is indicative of the expansion and contraction of the concrete. Such causes are generally due to environmental factors, such as moisture levels, weather conditions, root systems of nearby trees or the soil types on which they are laid.

Fine cracks may also be due to poor original installation of the concrete. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.





Finding 3.22

Building:
Location: Garage
Finding: Cracking - Concrete flooring within garage - Fine
Information: Fine cracks were identified in the concrete flooring of the garage . Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage.

Generally the cause of a fine crack in existing concrete paving such as driveways and pathways is indicative of the expansion and contraction of the concrete. Such causes are generally due to environmental factors, such as moisture levels, weather conditions, root systems of nearby trees or the soil types on which they are laid.

Fine cracks may also be due to poor original installation of the concrete. Factors such as poor compaction of the sub surface and/or inadequate reinforcing of the slab may create cracking and other secondary defects.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.





Finding 3.23

Building:

Location: Eaves

Finding: Eave linings - Water stained

Information: At the time of inspection, there appeared to be some water staining to various areas of the eaves linings around the property .

Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed. It is suspected that the staining in this instance may be from overflowing gutters due to being blocked with leaves and other vegetation.

Where water staining is active, a licensed plumber must be consulted to identify the cause of the staining and to provide advice on any reparation works that may be required. Replacement of any damaged structures is advised.

Conversely, where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion. All gutters should be cleared to allow for correct operation.





Finding 3.24

Building:
Location: All External Areas
Finding: Exterior rendered wall - minor but noticeable cracking
Information: Minor but noticeable cracking was noted to the exterior rendered walls at the time of inspection.

This type of defect is often consistent with general movement of the foundations of the property and is not considered a major structural defect.

Whilst it is more of an appearance issue, repairs may be required as failure to act may allow moisture to enter any cracks and cause secondary damage to other building elements.

Consultation with a suitably qualified renderer should be sought to determine costs involved with any repairs necessary.

The areas should be monitored for any further changes. Should cracks increase in size or number, or the joins become further exposed, speak with your building inspector for further advice.







Finding 3.25

Building:	
Location:	Exterior walls - left side
Finding:	Rendered wall - noticeable joins and minor cracking
Information:	Minor cracking and noticeable joins within the rendered wall was identified at the time of inspection.

This type of defect is often consistent with general movement of the foundations of the property and is not considered a major structural defect.

Whilst it is more of an appearance issue, repairs may be required as failure to act may allow moisture to enter any cracks and cause secondary damage to other building elements.

Consultation with a suitably qualified renderer should be sought to determine costs involved with any repairs necessary.

The areas should be monitored for any further changes. Should cracks increase in size or number, or the joins become further exposed, speak with your building inspector for further advice.



Finding 3.26

Building:
Location: Pool Area
Finding: Block wall - Step cracking
Information: Step cracking was identified to the concrete block boundary wall in the pool area at the time of inspection. Step cracking, which is similar to other forms of cracking, has a variety of possible causes. However, the most common is the subsidence of adjacent footings.

Step cracking is a relatively common defect. Mortar failure in the gaps between affected blocks or bricks indicates the stresses and tensions affecting the wall.

Where step cracking is extensive or severe or is coupled with other forms of cracking, the client is advised to consult a structural engineer.

Minor step cracking can be used as a warning sign to address factors causing stress to the wall, which can include the effect of surrounding trees, water leaks, soil erosion, or even the presence of reactive soils in the surrounding area.

It is highly recommended that the cracking be monitored for a period of time e.g. six months, to determine if there is any further cracking or active movement within the wall. Should no further cracking or movement occur, the wall may be patched by a qualified bricklayer or renderer.

Should cracking increase, a structural engineer should be engaged. In that instance, underpinning of the foundations may be required to stabilise the area and reduce the cracking.





Finding 3.27

Building:

Location: Exterior walls - right side

Finding: Roof plumbing - downpipe not plumbed into stormwater drainage

Information: Some sections of the roof are not adequately drained via downpipes. Downpipes that are not installed adequately or plumbed directly into the stormwater drainage may result in excessively damp conditions against the exterior surfaces and around the base perimeter of the building.

Excessive moisture creates an environment which accelerates the deterioration of building elements in the area, as well as being conducive to termite and pest infestation. Such an environment may necessitate repair and/or replacement of building elements.

It is highly recommended a roofing plumber be appointed to inspect the area and determine the best course of action, ideally installing plumbing from the downpipe to the drain below.



Finding 3.28

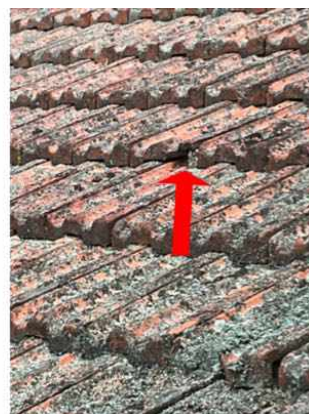
Building: Roof Exterior
 Location: Roof Exterior
 Finding: Roof tiles - fair condition but with some maintenance required
 Information: Upon inspection of the exterior roofing, the majority of roof tiles were considered to be in a fair condition. While weathering of the tiles is consistent with the age of the property, some minor maintenance works are required.

Areas of fine cracking of the mortar around the ridge and hip capping was noted. Some tiles had also shifted slightly from their original fixings.

Repairs to damaged tiles is required. Any gaps between tiles should also be attended to.

Consultation with a roofing contractor is advised to gain advice on remedial works that will be required . Where left unmanaged, damage can lead to a number of secondary defects, including water leaks and weather exposure to internal roofing structures.





Finding 3.29

Building:

Location: Roof Exterior

Finding: Metal Roofing - Rusted

Information: Metal roofs generally comprise numerous individual sheets, which join and overlap. These are particularly prone to rusting and lifting at the edges.

Upon inspection of the exterior roofing structure at the side and rear of the property , evidence of surface rust was identified. If left unmanaged, this can develop further and allow water ingress to the internal roofing structures, potentially leading to secondary damage of building elements. Accelerated deterioration of the roofing sheets and any associated building elements is also likely to occur.

A roofing contractor should be appointed immediately to assess the condition of the roofing sheets and capping and to perform remedial works as necessary.

Works may include replacement of severely affected areas or minor works such as the application of rust-retardant surface protectors.



Finding 3.30

Building:
Location: Roof Exterior
Finding: Gutters - require cleaning of debris
Information: Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages and potential future damage.

Debris including nails and screws can also cause rusting and decay of the associated building materials. Any blockages or debris in gutters should therefore be removed immediately to ensure the effective operation of the roof plumbing system is maintained.

It is highly advised that blocked gutters be cleared by a gutter cleaning specialist or a general handyperson as a priority. Failure to do so may result in secondary damage to the property.





Finding 3.31

Building:
Location: All Areas
Finding: Additional Photos - minor defects
Information: Additional photos are provided for your general reference. Arrows have been included where necessary to highlight areas of importance.





Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:

Location: All External Areas

Finding: Building materials in direct ground contact - conducive to termites

Information: Where timber elements are in direct contact with the ground and consequently moisture or dampness, they become conducive to termite activity. Whether timber is used as a building element, part of a fencing structure or stored as an unused item, they can provide an environment that is attractive to termite infestation.

When met with excessive moisture, timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds especially if left untreated

or non-durable also provide ingress for subterranean termites into that particular element.

Where possible, the removal of any such materials that may be conducive to termite activity should be carried out as soon as possible to minimise the risk of termite attack. Where not possible or practical, regular monitoring of timber elements is recommended. Replacement of any damaged materials should be carried out where necessary.



Finding 6.02

Building:

Location: All External Areas

Finding: Garden Beds - Conditions Conducive to Termites

Information: Garden beds were found to be evident around and against the property. These garden beds can include untreated timber, and with a combination of moisture from rainfall and hosing, can make conditions conducive to termite activity and termite ingress.

Plants against or very close to buildings can also provide cover/ shade and can provide an environment that is attractive to termite infestation.

The removal and replanting of species that do not provide "cover" or cutting back of existing vegetation will assist greatly in preventing this from occurring.

Where removal of any such materials that may be conducive to termite activity is not possible or practical regular monitoring of the areas should be carried out to minimize the risk of potential termite attack.



Finding 6.03

Building:

Location: Subfloor

Finding: Subfloor - stored items

Information: An array of stored items and debris were found in the subfloor area at the time of inspection. Stored items and debris in this area restricts subfloor ventilation and creates potential for concealed pest entry. Stored timbers and other materials may also make the area susceptible to termite activity and wood rot.

A clear and empty subfloor will be better ventilated and easier to maintain in a dry condition. The removal of any timber debris is vital in minimising the risk of termite or wood borer activity.

Any stored items and debris in the subfloor should be removed as soon as possible.

Please note: stored items and debris prevented full access to the subfloor area to inspect for any pest activity or defects.



Evidence of fungal decay activity and/or damage

Finding 7.01

Building:

Location: All Areas

Finding: Fungal decay - conditions conducive to timber pest attack

Information: Fungal decay also known as wood decay or wood rot generally refers to the deterioration of timber elements when in contact with excessive levels of moisture for a prolonged period of time.

Generally fungal decay develops on timber elements that are in use in an external environment which are exposed to rain penetration.

Decaying timbers can create an environment conducive to timber pest attack. It is recommended that the decaying timbers be repaired / replaced to lessen the risk of timber pests.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- The property at the time of inspection presented in a generally good condition when compared with properties of a similar age and characteristic.

There were no major defects noted - just a number of minor defects and maintenance items consistent with a property such as this.

The floor was uneven and slightly bouncy in the front bedroom and also in the living area near the top of the stairs to the garage. Upon inspection of the subfloor area it was noted that the property has a combination of timber stumps and concrete stumps. It is suspected the unevenness and bounciness to the flooring in these areas may be due to the different stumps that were present underneath. Some wedges were also noted between the bearers and stumps. This can also affect the flooring above. It is recommended the flooring be monitored for any changes over time.

All defects should be read in full within the body of the report. Action should be taken as per the recommendations listed within.

In terms of the timber pest inspection, there was no evidence of any termite activity or damage. Fungal decay (wood rot) was observed to some external timbers. Some conditions conducive to timber pest activity were also noted. The property would be classified as a medium to high risk for timber pest activity.

Please note: not all areas of the roof void and subfloor were able to be fully inspected due to framing and stored items blocking access. As a result, the risk of undetected defects is listed as high. This doesn't mean there definitely defects present, it just means that as these areas couldn't be fully inspected, there is a greater risk of a defect being present.

For further information, advice and clarification please contact Andrew Lacey on: 0419 824 486

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building:
 Location: All Areas
 Finding: Termite inspection - no termite activity found
 Information: All areas of the dwelling are checked with particular attention paid to wet areas which were closely assessed to check for excessive levels of moisture and temperature anomalies.

No evidence of termite activity was found inside the property at the time of the inspection.

In an attempt to identify the presence of hidden timber pest activity, a variety of techniques are adopted to identify irregularities including, a moisture meter reading of susceptible areas, sounding of timber elements using a device called a "donga" visual assessment of materials affected by moisture or signs of deformity, trails and bridging constructed by termites, irregular and regular shaped holes in timber elements indicating pest destruction.

Termite activity generates high temperatures and moisture and if this irregularity is found it can be grounds for further investigation.

Wall paneling, wallpaper, carpet and fixed cabinetry can obscure termite activity.

Please note: not all areas of the roof void or subfloor could be inspected.

Noted Item

Building:
 Location: Meter Box
 Finding: Termite Management System - no evidence of a chemical installation
 Information: The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs

and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



Noted Item

Building:
Location: Deck
Finding: Additional Photos for your information - deck barrier
Information: Additional photos are provided for your general reference.

It was noted that the deck railings were spaced wide apart and horizontal . This may not comply with current safety regulations for elevated balconies.

Standards have changed over the years to improve safety and properties only needed to meet the standard that was current at the time of building.

Caution should be taken in the area, particularly if young children are present.

This item is listed for your information only.



Noted Item

Building:
Location: Pool Area

Finding: Pool , equipment and fencing
Information: Please note that this inspection does not cover pool, equipment or fencing.

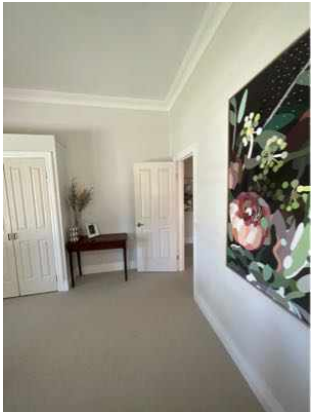
It is highly advised that a pool specialist be appointed to inspect the pool and associated equipment and provide advice on compliance and any rectification works that may be required.

Please note: it was observed at the time of inspection that the pool gate did not fully close which can become a safety hazard. Urgent action should be carried out to ensure the fence complies with minimum standards for safety.



Noted Item

Building:
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.















Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.