



# Building Inspection Report

Inspection Date: Mon, 23 Feb 2026

Property Address: 22 Pybus St, Snug TAS 7054, Australia



## Contents

	The Parties
<b>Section A</b>	Results of inspection - summary
<b>Section B</b>	General
<b>Section C</b>	Accessibility
<b>Section D</b>	Significant Items
<b>Section E</b>	Additional comments
<b>Section F</b>	Annexures to this report

Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 23 Feb 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 22 Pybus St, Snug TAS 7054, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Ash Ruscoe Ph: 0493 985 075  
Email: Sandybay@jimsbuildinginspections.com.au

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Builders Licence CC6482

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Company Name: Jim's Building Inspections (Sandy Bay)

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Company Address and Postcode: Tolmans Hill 7007

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Company Email: Sandybay@jimsbuildinginspections.com.au

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Company Contact Numbers: 0493 985 075

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>		✓
<b>Major Defect</b>		✓
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in excellent condition with some minor defects found.

## Section B General

### General description of the property

Building Type	Detached, Residential
Company or Strata title	No
Floor	Brick Stumps or Piers, Strip Footings, Suspended Timber Frame
Furnished	Furnished
No. of bedrooms	4
Occupied	Occupied
Orientation	North East
Other Building Elements	
Other Timber Bldg Elements	Doors, Architraves, Deck, Eaves, Skirting Boards, Internal Joinery, Door Frames, Window Frames, Floorboards, Weatherboards
Roof	Corrugated Iron (e.g. Colourbond), Timber Framed, Pitched
Storeys	Single
Walls	Timber Framed and Clad, Weatherboards
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Outbuildings
- Interior
- Fencing
- Roof Exterior
- Subfloor - Part

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity.
- Roof Exterior - Part
- Subfloor - Part.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

### Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Appliances and equipment
- Areas of skillion or flat roof - no access
- Ceiling linings
- Decking

- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Stored items
- Wall linings

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

No evidence was found

### Major Defect

No evidence was found

### Minor Defect

#### Defects 3.01

Building: Main Building

Location: Ensuite

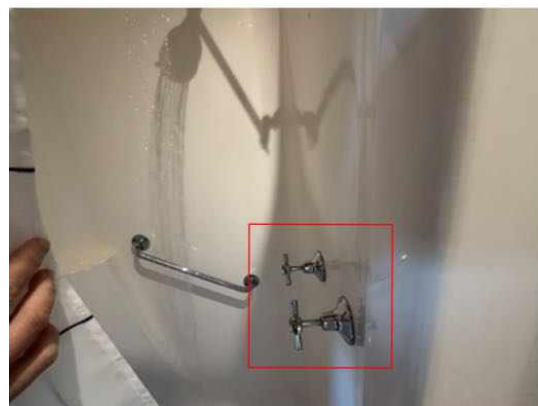
Finding: Ensuite silicone to tap penetrations

Information: In the ensuite the silicone to the tap penetrations appears to be missing. The tap penetrations are the most likely area for water ingress. I could not access this area in the subfloor, the access was too small and a plumbing pipes running across the entry.

Recommend client engage a Lic Plumber to rectify as soon as possible.

Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

Failure to remedy could result in damage to surrounding building elements.





### Defects 3.02

Building: Main Building

Location: Kitchen

Finding: Water staining under kitchen sink

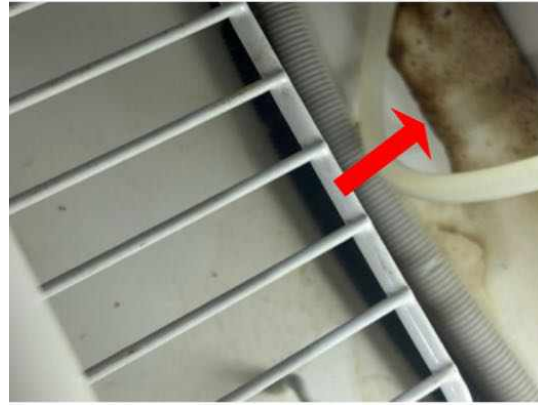
Information: In the kitchen under the sink cabinet, there is some water staining. It was dry at the time of the inspection.

Recommend client engage a Lic Plumber as soon as possible to inspect and rectify (if required).

Water staining was evident in this area at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by other building elements.





### Defects 3.03

Building: Main Building  
 Location: Bathroom  
 Finding: Silicone to tap penetrations deteriorated  
 Information: In the bathroom the silicone to the tap penetrations appears to be incomplete.

Recommend client engage a Lic Plumber to inspect and rectify as soon as possible.

Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

Failure to remedy could result in damage to surrounding building elements.





### Defects 3.04

Building: Main Building  
Location: Butlers pantry  
Finding: Glass broken to window  
Information: The glass is broken to the butlers party window pane.

Recommend client engage a Glazier to rectify at clients convenience, to prevent further deterioration.



### Defects 3.05

Building: Main Building  
Location: Roof  
Finding: Wood heater flue not capped  
Information: On the roof the wood heater flue has not been capped.

Recommend client engage a Handy Person to rectify as soon as possible.

Failure to rectify could allow water and vermin ingress to the interior of the property.



## Section D Significant Items

### D4 Further Inspections

### D5 Conclusion - Assessment of overall condition of property

- This 4 bedroom, 2 bath property is in excellent condition when compared to other properties of similar age and construction style that have been well maintained.

There were no safety hazards or major defects identified.

There were some minor maintenance items. Details, photos and recommendations are in the body of the report.

I have also included some “for your information” items.

Due to low roof pitch and cathedral ceilings there was no roof void to inspect.

Also the subfloor to the rear of the house was inaccessible, due to small access and plumbing pipes running across the area.

For further information, advice and clarification please contact Ash Ruscoe on: 0493 985 075

## Section D Significant Items

The following items were noted as - For your information

### Noted Item

Building: Main Building

Location:

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.







**Noted Item**

Building: Main Building

Location:

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.



**Noted Item**

Building: Main Building

Location:

Finding: Additional Photos - Obstructions and Limitations

Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





### Noted Item

Building: Main Building  
 Location: Lounge  
 Finding: Open Fire Place  
 Information: FYI in the living room there is an open fire place. Inspection of the open fire place is outside the scope of this report. Recommend that the client engage a Wood Heater & Flue Specialist to check the condition of the chimney and to ensure safety before the fire place is used. Open fire places and flues can cause health and fire risks.



### Noted Item

Building: Main Building  
 Location: Living  
 Finding: Wood Heater  
 Information: FYI in the living room there is a wood heater fitted. Inspection of the wood heater is outside the scope of this report. Recommend that the client engage a Wood Heater and Flue Specialist to check the condition of the fire box and flue, to ensure safety before the wood heater is used. Faulty wood heaters and flues can cause health and fire risks.



### Noted Item

Building: Main Building  
 Location: Back bedroom  
 Finding: Minor cracking  
 Information: FYI There is minor cracking to the cladding in the back bedroom;

These small cracks are cosmetic and likely as a result of shrinkage.

Client could choose to engage Handy Person or painter to prep, paint and repair as clients discretion. Always contact your building inspector as soon as possible, should cracks widen, lengthen, or become more numerous.



**Noted Item**

Building: Main Building  
 Location: Switchboard  
 Finding: FYI switchboard  
 Information: FYI the switchboard is updated and has protected circuits.



**Noted Item**

Building: Main Building  
 Location: Subfloor

Finding: FYI dampness  
 Information: FYI there was some minor dampness in some parts of the subfloor. This is most likely due to the subfloor being below the external ground area. However the soil was sandy and it should drain quickly.



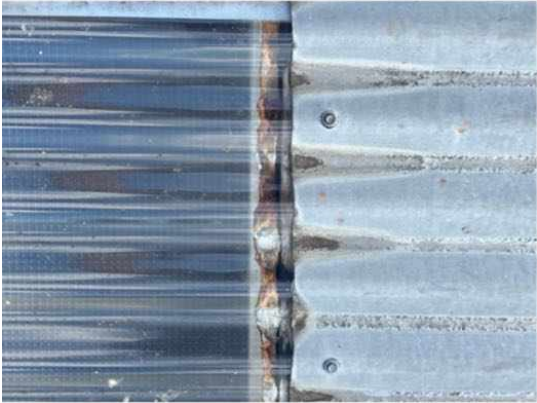
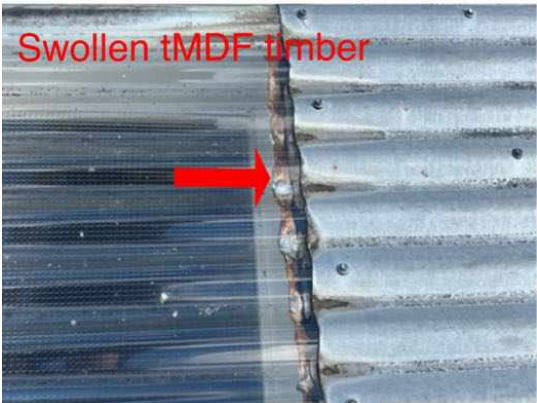
### Noted Item

Building: Main Building  
 Location: Roof  
 Finding: Skylight to kitchen  
 Information: FYI the skylight to the kitchen is home made and not a professionally supplied and installed skylight. MDF has been used for the skylight surround and under the laser light, however the MDF material used is not ideal for this purpose. There is some minor water damage/swelling to the timber, most likely from condensation. The pitch of the roof is less than 5 degrees, therefore the skylight is more prone to water leaking and pooling.

Recommend client engage a Lic Plumber/Handy Person to check the skylight on a regular basis to ensure there are no leaks or further deterioration.

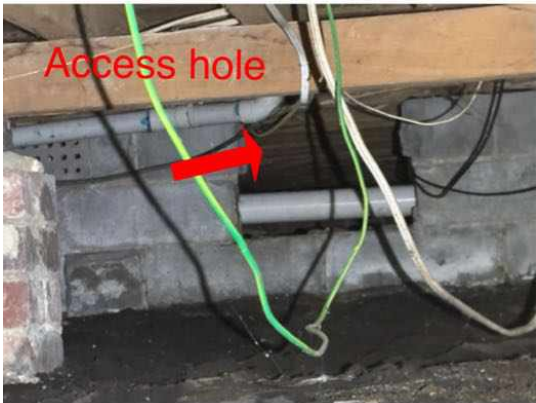
If the skylight starts to leak recommend client engage a Lic Roof Plumber or Skylight Contractor to rectify, as soon as possible. They will probably recommend this skylight be replaced, with a professionally constructed skylight with roof flashings to prevent

water ingress.



**Noted Item**

Building: Main Building  
Location: Subfloor  
Finding: FYI subfloor access  
Information: FYI the access to the subfloor at the rear of the house was not accessible. There was a small opening in the brick wall and plumbing pipes running across the area close to the opening.



## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

## **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

## **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.