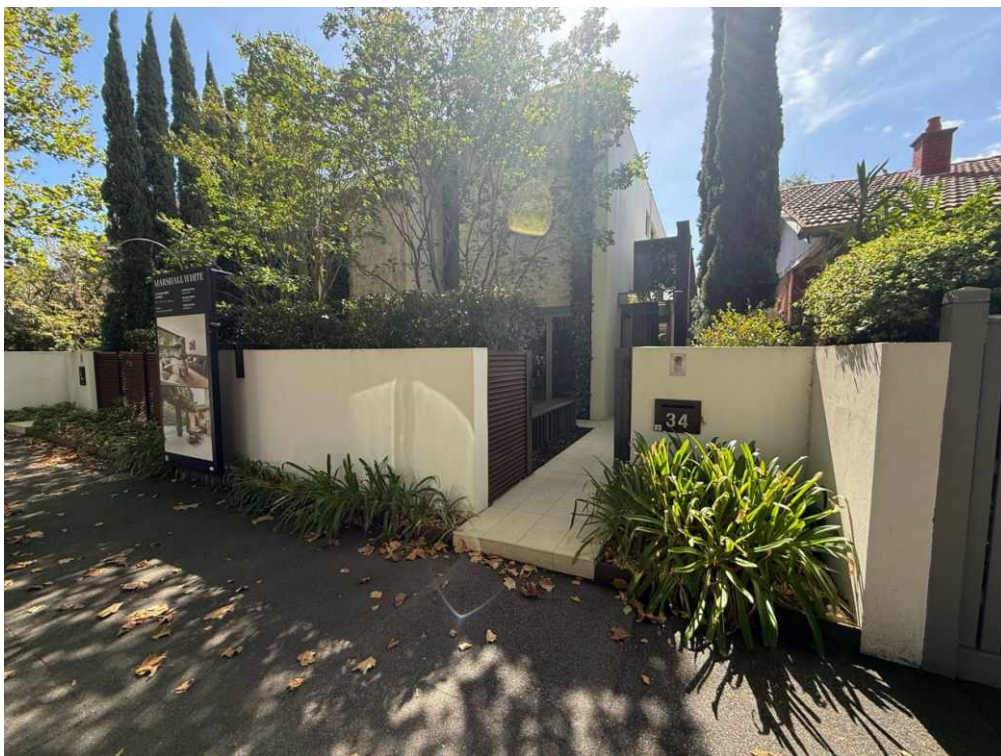




Building and Timber Pest Inspection Report

Inspection Date: Fri, 13 Feb 2026

Property Address: 34 Foam St, Elwood VIC 3184, Australia



Contents

	The Parties
Section A	Results of inspection - summary
Section B	General
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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Fri, 13 Feb 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 34 Foam St, Elwood VIC 3184, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Daren Louison Ph: 0402 561 280
Email: Frankston@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections Frankston

Company Address and Postcode: Skye 3977

Company Email: Frankston@jimsbuildinginspections.com.au

Company Contact Numbers: 0402 561 280

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: Not Applicable

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard	✓	
Major Defect		✓
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity	✓	
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in Good condition however some minor defects and a safety defect was found

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is highly susceptible to timber pests. A termite treatment is required.

Section B General

General description of the property

Building Type	Residential, Semi-Detached
Company or Strata title	No
Floor	Concrete
Furnished	Furnished
No. of bedrooms	4
Occupied	Unoccupied
Orientation	South East
Other Building Elements	Footpath, Garage, Pergola, Pool, Porch, Fence - Fabricated Metal Fence, Retaining Walls
Other Timber Bldg Elements	Door Frames, Architraves, Internal Joinery, Landscaping Timbers and Construction, Doors, Porch / Patio, External Joinery, Skirting Boards, Stair Railing, Staircase, Timber Wall Panelling
Roof	Flat, Corrugated Iron (e.g. Colourbond)
Storeys	Double
Walls	Timber Framed and Clad
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Landscaping Timbers
- Interior
- Gardens
- Fencing
- Exterior
- Pool Surrounds

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity.
- Areas of skillion or flat roof - no access
- Exterior Roof Surface - Second Storey.
- Roof Exterior.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Ceiling linings
- Above safe working height

- Areas of skillion or flat roof - no access
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Landscaping
- Rugs
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

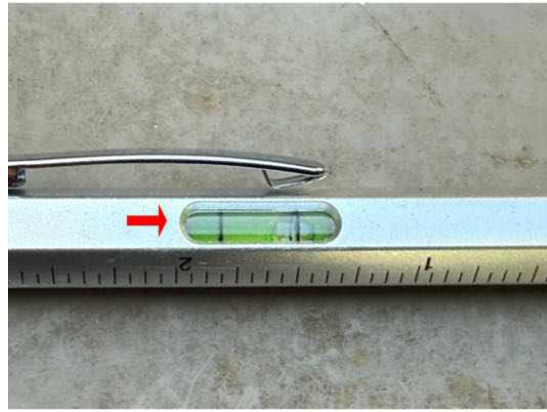
Finding 1.01

Building:	Main Building
Location:	Roof Exterior
Finding:	Loose Glass Mirror Ceiling Panel
Information:	A glass mirror ceiling panel has dropped and is inadequately supported due to deterioration of the silicone adhesive, caused by prolonged water ingress.

The porch roof above falls toward the building, allowing water to pool, with tree debris observed blocking the drain outlet, resulting in ongoing moisture exposure. This condition has compromised the fixing system and presents a risk of the panel further loosening or detaching and falling, creating a safety hazard to occupants below.

A Licensed Builder, Roof Plumber & Glazier should be engaged immediately to clear the roof drainage, rectify falls where required, address the source of water ingress, and securely refix or replace the affected panel using appropriate mechanical fixings and moisture-resistant materials.





Major Defect

No evidence was found

Minor Defect

Finding 3.01

Building: Main Building
Location: Yard - Front & rear
Finding: Cracking Exterior Render - Damage Category 0 - Hairline (less than 1mm)
Information: At the time of inspection cracking in the render at the front and rear of the house, was noticed.

Hairline cracks are very minor in nature and generally are only ever an appearance defect.

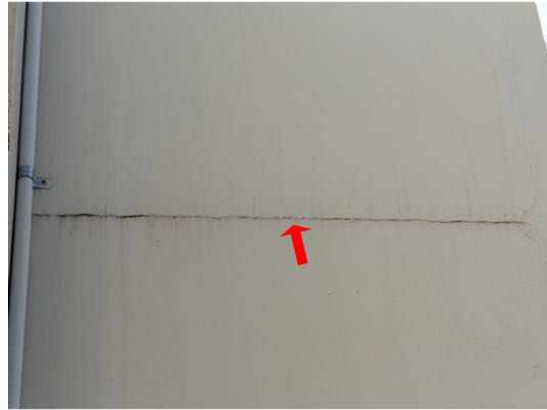
While such cracking may be noticeable in some cases, it is quite common and does not indicate any structural damage.

Cracking of this nature can generally be repaired with minor filling and/or repainting. Such works should be performed by a qualified painter or a general handyman.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.







Finding 3.02

Building:	Main Building
Location:	Yard - Back
Finding:	Cracked floor tiles
Information:	Cracking in the floor tiles was evident to the back patio area and front footpath at the time of inspection. It is suspected that this cracking has occurred as a result of minor settlement or shrinkage of the slab.

Cracked tiles throughout the household detract from the overall appearance of the affected areas however it is unlikely to create or lead to any secondary defects.

While not considered a matter of urgency, replacement of cracked floor tiles is recommended at the clients discretion. A tiling contractor may be appointed to perform these works. Where cracks become more numerous, contact a licensed building inspector for further investigation.



Finding 3.03

Building:	Main Building
Location:	Yard - Back
Finding:	Silicone Missing - Around sliding door Window
Information:	It was noted on inspection that silicone sealant was missing to the surrounds of the exterior sliding door.

This is due to a lack of proper maintenance. Missing sealant around window allows for water egress, pests such as spiders and other insects, increased air flow resulting in a drop in the internal thermal rating.

A flexible sealant is required to allow for expected expansion and contraction of substrates, while keeping the joint water tight and protective of all associated building materials.

Flexible, UV and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works

immediately. As a minor sealant problem, if left unchecked, can become a major problem.



Finding 3.04

Building: Main Building
 Location: Pool Area
 Finding: Sealant and grouting - Missing or damaged
 Information: It was noted on inspection that sealant or grout is degraded to the tiled area around the pool area.

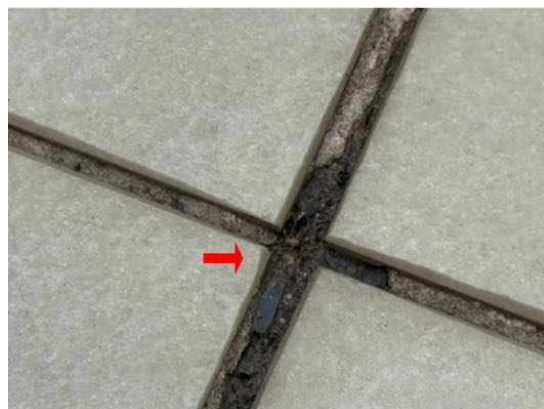
Different materials and floor areas move at different rates, generally causing cracking

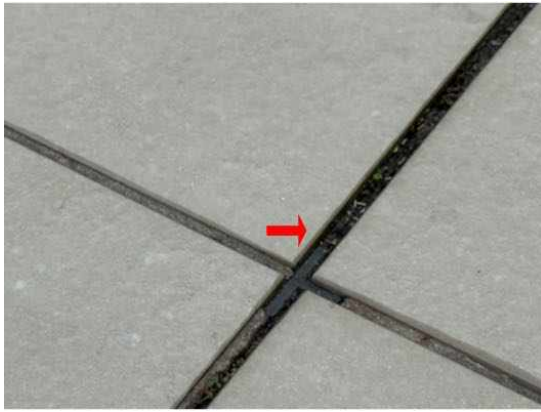
to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

There appears to be excessive mould to the sealant and grout which will likely require scraping out and replacement.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible





Finding 3.05

Building:	Main Building
Location:	Porch
Finding:	Window - Cracked
Information:	Cracks were identified in the window above the porch entry. Cracking in windows is generally the result of impact damage, and is likely to develop further when left unmanaged.

The likelihood of this window pane further cracking and shattering is increased exponentially, providing a safety hazard in the area. The cracked window also impairs the weather tightness of the building, creating potential for minor water leaks.

A qualified glazier is required to repair the window as soon as possible. Depending on the extent of the cracking, replacement of the window may be required. Please be advised that any persons coming into contact with the cracked window should do so with due caution to avoid any personal injury that may ensue.



Finding 3.06

Building:	Main Building
Location:	Yard - Front
Finding:	Silicone Missing - Around sliding door Window

Information: It was noted on inspection that silicone sealant was missing to the surrounds of the sliding door window.

This is due to a lack of proper maintenance. Missing sealant around window allows for water egress, pests such as spiders and other insects, increased air flow resulting in a drop in the internal thermal rating.

A flexible sealant is required to allow for expected expansion and contraction of substrates, while keeping the joint water tight and protective of all associated building materials.

Flexible, UV and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works immediately. As a minor sealant problem, if left unchecked, can become a major problem.





Finding 3.07

Building: Main Building

Location: Laundry

Finding: Water staining

Information: Water staining was evident in the laundry cupboard at the time of inspection. Water staining indicates that surfaces have been exposed to excessive moisture over time. The minerals and other elements in the water lead to staining, which may graduate to corrosion and deterioration if left unmanaged.

While mostly an appearance defect, water staining can be indicative of more serious defects, which may be currently concealed by other building elements.

Where water staining is active, a licensed plumber must be consulted to identify the cause of the staining and to provide advice on any reparation works that may be required. Replacement of any broken or damaged structures is advised.

Conversely, where water staining is old and inactive, affected building materials may be repaired or replaced at client discretion. A qualified carpenter or registered builder may be appointed to perform these works.





Finding 3.08

Building: Main Building

Location: Laundry

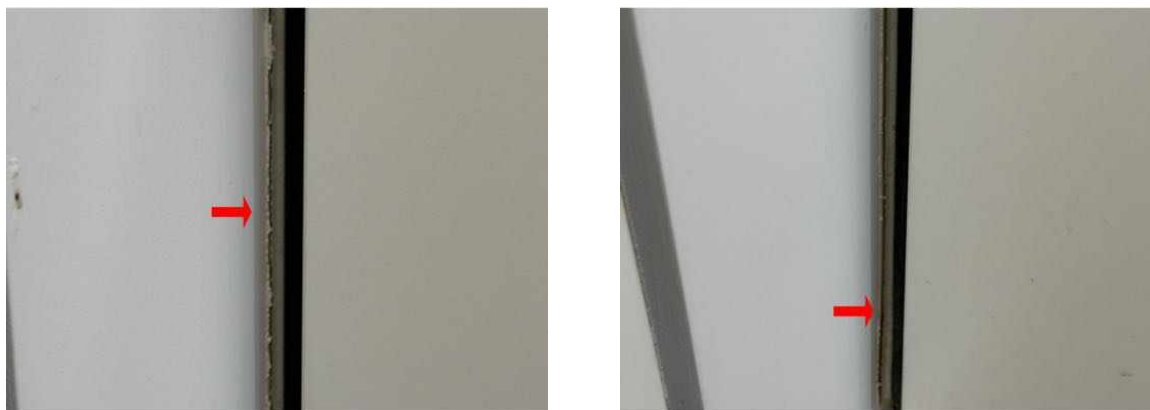
Finding: Silicone Deteriorated - laundry

Information: The silicone sealant to the perimeter of the laundry cupboard was observed to be deteriorated, split, and partially missing in sections. Gaps were noted between the basin, wall tiles, and benchtop/wall junctions, indicating loss of effective waterproof sealing.

Failed or deteriorated silicone sealant allows water to penetrate behind finishes during normal use. Over time, this may result in moisture damage to wall linings, cabinetry, or benchtop substrates, and can contribute to mould growth and hygiene concerns within the amenities area.

It is recommended that all deteriorated silicone sealant be removed and replaced with a suitable sanitary-grade waterproof silicone by a plumber or sealant specialist. Works should be carried out immediately, to all basin junctions to reinstate effective waterproofing and maintain hygiene standards.





Finding 3.09

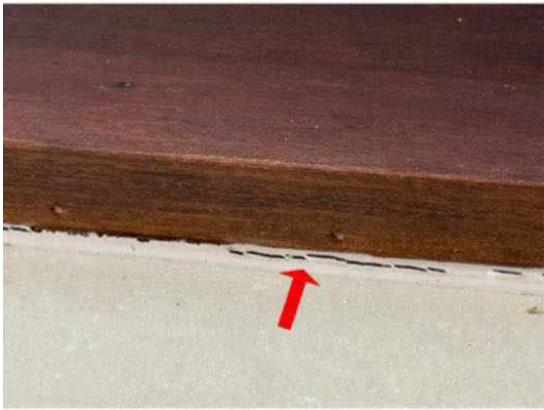
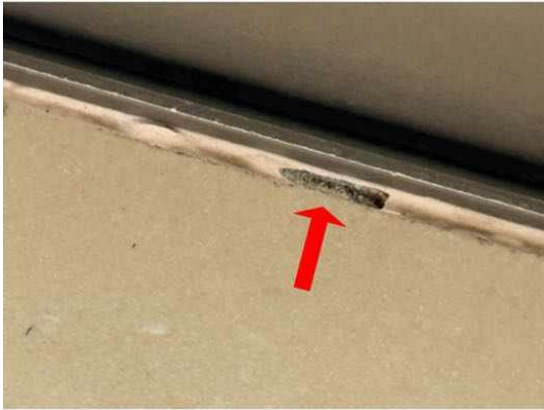
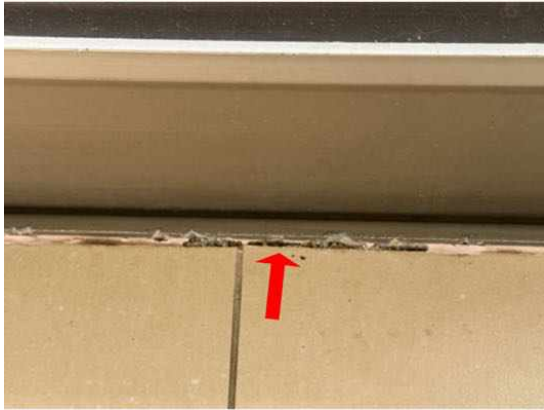
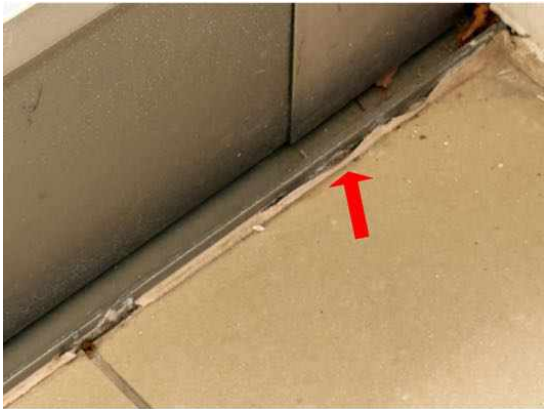
Building:	Main Building
Location:	Lounge Room
Finding:	Silicone Missing - Around Windows
Information:	It was noted on inspection that silicone sealant was missing to the surrounds of all the timber windows interior.

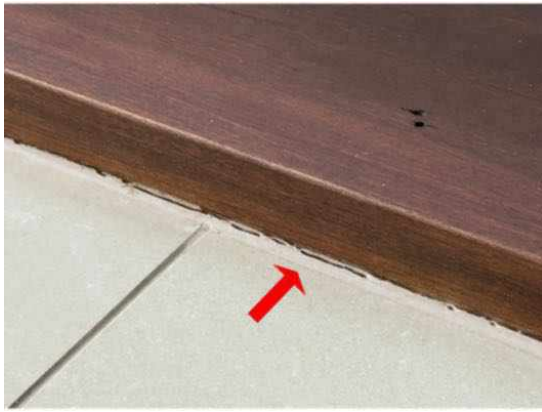
This is due to a lack of proper maintenance. Missing sealant around window allows for water egress, pests such as spiders and other insects, increased air flow resulting in a drop in the internal thermal rating.

A flexible sealant is required to allow for expected expansion and contraction of substrates, while keeping the joint water tight and protective of all associated building materials.

Flexible, UV and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works immediately. As a minor sealant problem, if left unchecked, can become a major problem.





Finding 3.10

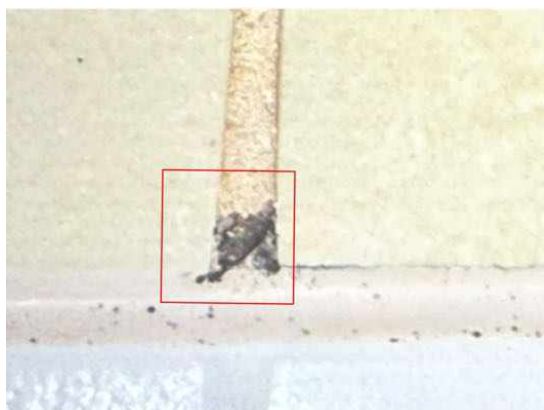
Building:	Main Building
Location:	Bathroom
Finding:	Sealant and grouting - Mouldy & Deteriorated
Information:	It was noted on inspection that sealant and grout is degraded and mouldy in the main bathroom shower recess.

When this happens the chances for water penetration of the substrate and timber elements behind the tile wall increases. Once this occurs, it creates a conducive conditions for timber pest attack.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage, missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A licensed plumber, sealant specialist or tiling contractor should be appointed to complete these works immediately.



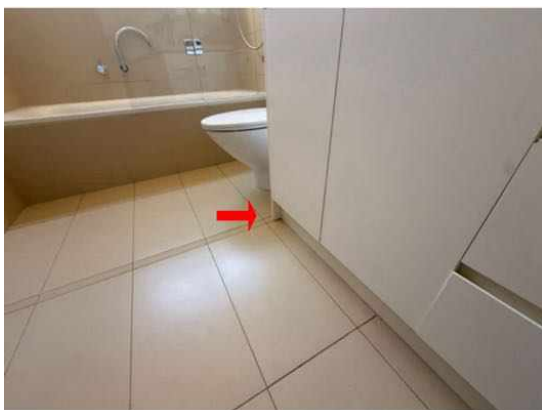


Finding 3.11

Building:	Main Building
Location:	Bathroom
Finding:	Silicone Deteriorated
Information:	The silicone sealant to the base of the vanity was observed to be deteriorated, split, and partially missing in sections. Gaps were noted between the cupboard and the floor tiles, indicating loss of effective waterproof sealing.

Failed or deteriorated silicone sealant allows water to penetrate behind finishes during normal use. Over time, this may result in moisture damage to the cabinetry, or flooring can contribute to mould growth and hygiene concerns within the amenities area.

It is recommended that all deteriorated silicone sealant be removed and replaced with a suitable sanitary-grade waterproof silicone by a plumber or sealant specialist. Works should be carried out immediately, to all areas to reinstate effective waterproofing and maintain hygiene standards.



Finding 3.12

Building:	Main Building
Location:	Bathroom
Finding:	Door handle - Not latching
Information:	It was noted that the door in the bathroom was not latching during operation at the time of inspection. Whilst detracting from the functionality of this building element, this minor defect.

It is suspected that this defect has occurred due to minor issues with the associated hinges. Such damage is identified as general wear and tear, which is expected for building elements of this age.

A qualified carpenter or general handyperson may be appointed to perform rectification works as necessary, at client discretion. If left unattended, further functional impairment is likely to occur.



Finding 3.13

Building: Main Building
 Location: Ensuite
 Finding: Paint finish - deteriorated
 Information: The paint finish to the ensuite cupboard was identified as being deteriorated at the time of inspection.

Whilst incomplete or missing paint finish is generally an appearance defect, it can also lead to the development of secondary building defects over time. Incomplete areas of paint finish expose the area to moisture, potentially accelerating the deterioration of underlying building materials.

Incomplete paint finishes should be sanded back, filled, leveled and painted, as applicable. Where inadequate or missing paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

A painting contractor or general handyman should be appointed as soon as possible to perform necessary works to aid the appearance of the affected area and to ensure the area is protected against further deterioration. Alternatively, the homeowner following manufacturer instructions may perform these works.



Finding 3.14

Building: Main Building
Location: Ensuite
Finding: Sealant and grouting - Missing or damaged
Information: It was noted on inspection that sealant or grout is degraded to the tiled shower alcove and or other areas of the ensuite.

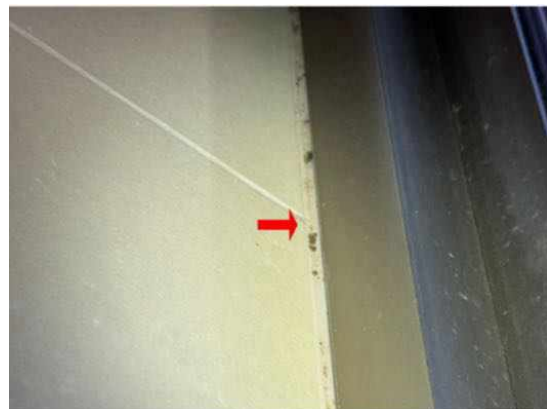
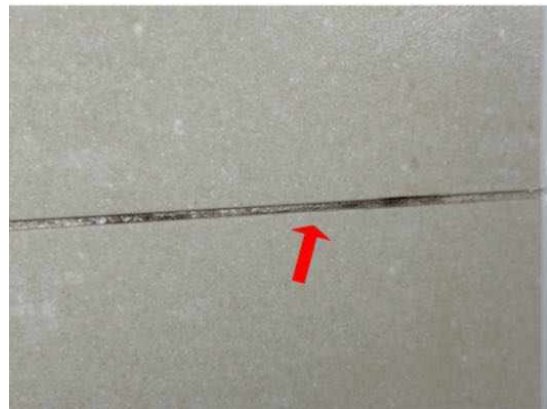
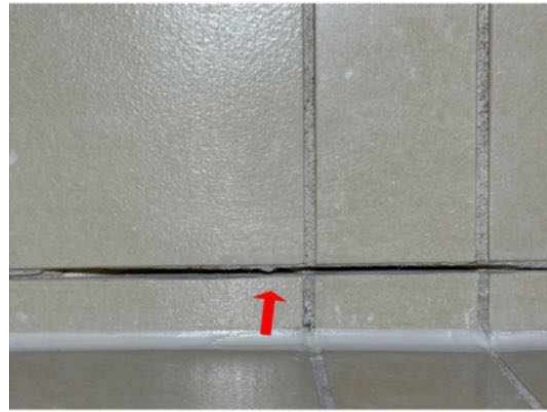
Different materials and floor areas move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

There appears to be excessive mould to the sealant and grout which will likely require scraping out and replacement.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible





Finding 3.15

Building:	Main Building
Location:	Built In Robe
Finding:	Cracking - Damage Category 1 - Fine (up to 1mm)
Information:	Although fine cracks are quite noticeable, they are often only considered to be an appearance defect, and usually do not indicate any structural damage. Generally, the cause of a fine crack is indicative of a separation between building materials and finishes (e.g. paint, plaster, etc.) along joins.

Cracking of this nature can generally be repaired with minor sanding, filling and/or repainting. Such works should be performed by a qualified painter or a general

handyman.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous.



Finding 3.16

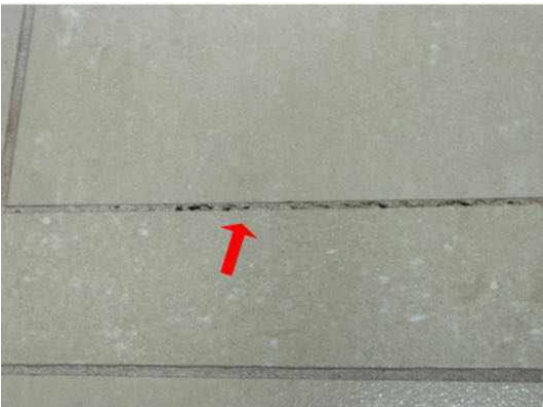
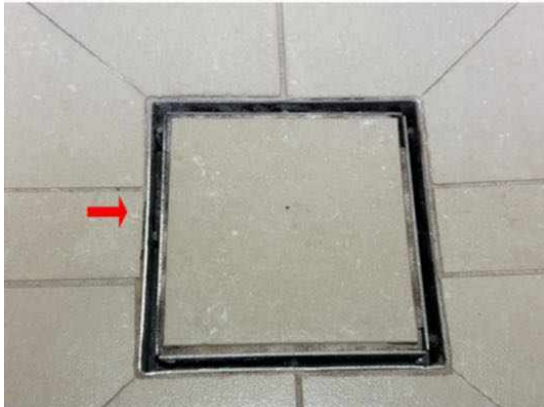
Building:	Main Building
Location:	Garage Ensuite
Finding:	Sealant and grouting - Missing or damaged
Information:	It was noted on inspection that sealant or grout is degraded to the tiled shower alcove and or other areas of the ensuite.

Different materials and floor areas move at different rates, generally causing cracking to grout or sealant at this point. A flexible sealant is required to allow for expected expansion and contraction, while keeping the joint water tight and protective of all associated building materials.

There appears to be excessive mould to the sealant and grout which will likely require scraping out and replacement.

Flexible and mould resistant materials should be applied to affected areas to prevent any subsequent water damage that is likely to occur. Regular maintenance and replacement of damage or missing or damaged sealant and grout is highly recommended to the wet areas, as this is a regular wear and tear defect. Sealant and grouting in areas that come into regular contact with water should be maintained for the long term care of your property.

A sealant specialist or tiling contractor should be appointed to complete these works as soon as possible



Finding 3.17

Building: Main Building
Location: Garage Ensuite
Finding: Tap - Loose
Information: The tap in this area has not been installed correctly, or has deteriorated with age, and is consequently loose and come off. This tap being loose creates potential for water leaks and subsequent water damage to the surrounding area.

Where taps or spouts are loose, a qualified plumber should be appointed to re-fix the plumbing fitting.



Finding 3.18

Building: Main Building
 Location: Yard - Front
 Finding: Front Entry Door Lock Latch Exposed
 Information: The front entry door lock latch and strike area are exposed due to an excessive gap between the door and frame, allowing access to the latch mechanism when the door is closed.

This condition increases the potential for unauthorised access by shimming or slipping the latch, reducing the overall security performance of the door.

While the lock is currently functional, a qualified locksmith or carpenter should be engaged to adjust the door alignment and/or install an appropriate strike plate or latch guard to fully conceal the latch and restore effective security immediately.



Finding 3.19

Building: Main Building
 Location: Roof Exterior
 Finding: Gutters - Blocked
 Information: Roof plumbing structures, such as guttering and downpipes, should be free of all debris to prevent blockages. Blockages of the guttering and downpipes will lead to

pooling and accumulated water overflows, which is likely to subsequently flood eaves and exterior walls.

Where gutter guard is installed regular maintenance should include cleaning out any debris which may rest on top of or filter through the gutter guard.

Blocked gutters are likely to lead to high levels of moisture in the affected areas. Such moisture will not only cause rust and decay of the associated building materials, but can also provide conditions that are conducive to termite and timber pest activity. Blockages in gutters should therefore be removed immediately to ensure dry conditions are maintained.

Consult a Licensed Plumber for further specific advice on remedial works that may be required. In the interim, it is highly advised that blocked gutters be removed by the homeowner or a general handyperson as a matter of urgency.



Finding 3.20

Building:	Main Building
Location:	Roof Exterior
Finding:	Stormwater drain - Not connected
Information:	The roof plumbing is not adequately connected to stormwater drainage on the site. This disconnection negatively impacts the functional capacity of the roof plumbing.

Where roof plumbing doesn't drain adequately, the area at the base perimeter can become excessively damp, potentially creating an environment that is susceptible to rust and corrosion of surrounding building elements, as well as attracting termites and other pests.

It is highly recommended that a plumber be appointed to further inspect the area and to install adequate drainage equipment where necessary.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

Finding 6.01

Building:	Main Building
Location:	Yard - Front
Finding:	Termite Management System - no evidence of a chemical installation
Information:	The application of a post-construction chemical termite barrier is highly recommended for all properties, particularly if live termite activity has been found on the site previously. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be placed in the switchboard unit to indicate current termite barriers. At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with this application. It is recommended that obtaining such advice be a short-term priority.



Finding 6.02

Building:	Main Building
Location:	All Areas
Finding:	Mulch - Garden Beds
Information:	Tan bark mulch has been used in garden beds surrounding the perimeter of the property. While commonly used for landscaping, this organic material retains moisture and provides a food source, thus creating conducive conditions for sub terranean termite activity.

A Reduction in mulch levels to no more than 50mm in depth, ensuring it is kept at least 75mm clear of slab edges, weep holes, and structural timbers is recommended. Consider replacing with non-organic ground cover in high-risk areas.

The property owner should consult a qualified landscaper urgently to rectify this condition.

A pest technician should reinspect periodically.



Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Main Building
Location:	Yard - Back
Finding:	Wood rot - External Garden Timbers
Information:	The external garden Timbers, are showing signs of wood rot.

Wood rot, also known as Fungal Decay, occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis. This could be the result of exposure to weathering over a prolonged period of time, or the attraction of excessive moisture to the soil.

Wood rot is often associated with general damp problems and is evidenced by a 'musty' smell or mould and mildew occurring on surfaces. If left unmanaged, damp conditions can lead to further decay of the timbers and surrounding building elements.

The stage of decay to the external garden timbers and fence will require removal and replacement to rectify the issue.

A general handyman, carpenter or fencing contractor, may be required to perform these works at the owners discretion.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Registered/Licensed Builder
- Swimming Pool Fence Inspector
- Termite and Timber Pest Technician / Licensed Pest Controller
- Licensed Plumber
- Licensed Plumber specialising in Roof Plumbing

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- Building Summary

The building compared to others of a similar built age of construction appears to be mostly in good condition. It does however have some minor defects, some minor maintenance issues and one safety defect found. Left unmanaged some of these defects may become costly in the future and develop into more major defects over time.

The rating for the risk of undetected defects is High.

The safety defect was -

* A loose glass ceiling panel in the porch ceiling has compromised the fixing system and presents a risk of the panel further loosening or detaching and falling, creating a safety hazard to occupants below. A qualified builder, roofing plumber and glazier are required immediately to fix the or replace the panel.

There was no major defects at the time of inspection.

All other minor defects are noted in the body this report.

Pest Summary

There was no live termite activity or previous termite timber pest damage seen at the time of inspection.

Due to the degree of risk of subterranean termite infestation, we strongly recommend that a full

chemical termite management system be installed to the property and inspections in accordance with AS 4349.3 or AS 3660.2:2017 is conducted at this property not exceeding 12 months (or as otherwise recommended by the pest control company installing the system). As currently there was found to be no indication of a current termite management system in place.

Please contact a qualified pest controller for recommendations and installation of termite management system, immediately.

All other recommendations are seen in the body of this report.

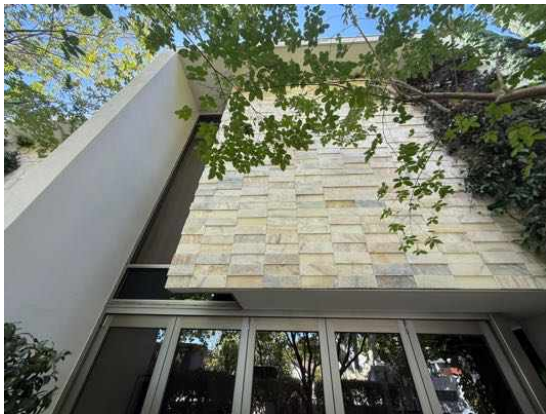
For further information, advice and clarification please contact Daren Louison on: 0402 561 280

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the property at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.









Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.