



**BEFORE YOU BUY**

**BEFORE YOU BUILD**

## Building Inspection Report

Inspection Date: Thu, 19 Feb 2026

Property Address: 385 Station St, Box Hill South VIC 3128,  
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Thu, 19 Feb 2026

## The Parties

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Name of the Client:

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Name of the Principal(If Applicable):

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Job Address: 385 Station St, Box Hill South VIC 3128, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Mark Thorpe Ph: 0456 295 434  
Email: Croydon@jimsbuildinginspections.com.au

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DBU-13373

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Company Name: Jim's Building Inspections (Croydon)

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Company Address and Postcode: Lilydale 3140

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Company Email: Croydon@jimsbuildinginspections.com.au

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Company Contact Numbers: 0456 295 434

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: N/a

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>		✓
<b>Major Defect</b>	✓	
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in good condition with some minor defects found.

## Section B General

### General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Suspended Timber Frame
Furnished	Furnished
No. of bedrooms	4
Occupied	Unoccupied
Orientation	East
Other Building Elements	Driveway, Fence - Post and Rail Construction, Shed, Pergola
Other Timber Bldg Elements	Door Frames, Fascias, Floorboards, Architraves, Porch / Patio, Skirting Boards, Doors, Weatherboards, Window Frames
Roof	Corrugated Iron (e.g. Colourbond)
Storeys	Single
Walls	Weatherboards
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of skillion or flat roof - no access
- Ceiling Cavity - Part.
- Areas of low roof pitch preventing full inspection.
- Roof Exterior - Part
- Subfloor - Part.
- Wall Exterior - where neighbouring buildings immediately adjoin.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

### Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was significantly obstructed with more than 75% of the inspectable area inaccessible or obstructed by factors like lack of safe access, insulation and ducting.
- Duct work

- Evidence of recently painted walls or ceilings
- Decking
- Furniture
- Lack of clearance - subfloor
- Floor coverings
- Insulation
- Roof framing - not trafficable
- Roofing material is a slip hazard - not safe to access
- Subfloor was obscured due to poor clearance and obstructions. Less than 50% of the inspectable area was accessible.
- Stored items
- Unsafe to Access Roof - No Fall Protection System

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

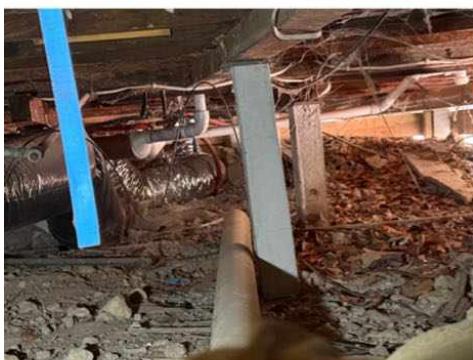
No evidence was found

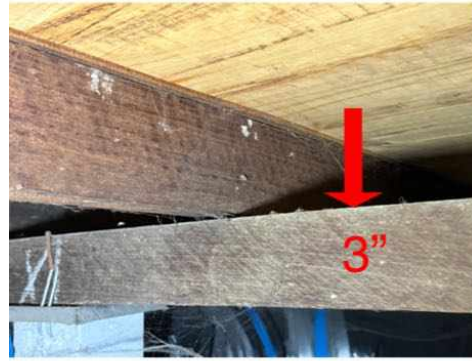
### Major Defect

#### Defects 2.01

Building: Building 1  
Location: All Areas > All Areas  
Finding: Subfloor bearers  
Information: At the time of the inspection of the subfloor areas it was noted that the timber floor bearers had been installed on the flat, meaning instead of the traditional construction method of the timber bearer installed with the 4" up, these bearers were on the side. 3" vertical and 4" across. The bearers installed on their flat is considered to be a major defect due to structural weakness. The client can appoint a structural engineer to conduct a further inspection to check that these areas for structural integrity of the affected areas to assess the safety of the associated structures.

They did appear to have been installed like this during the time of the construction of the home and are suspected to have been this way for a long time. These timber bearers are supposed to be placed on edge to provide maximum resistance to bending and downward loads. Timber floor bearers are designed to support heavy floor loads, such as occupants, furniture and the floor system itself, and the orientation of the timber bearer maximises their vertical strength, prevents floor sagging and a level floor.





## Minor Defect

### Defects 3.01

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Insulation - minor amount missing
Information:	Upon inspection of the roof void it was noted that some minor areas of the insulation was missing or removed. Insufficient insulation will result in a comparatively higher cost to heat and cool a property as there is a lack of Insulation (or uneven coverage of insulation) which works as a barrier to heat transfer. The roof insulation helps to keep

out unwanted heat in summer and preserves warmth inside your home in winter.

It can also help soundproof your home from unwanted airborne noise transfer. Installation of adequate insulation is required and should be conducted as soon as possible. Where insulation is absent, the area does not meet current Australian Standards.



### Defects 3.02

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Concrete driveway cracks
Information:	Numerous cracks on the driveway were observed at the time of the inspection. Also the rear pergola concrete showed concrete cracked and lifted, this area is considered to be a tripping hazard for occupants, especially young children and elderly. This area should be removed and re-instated to improve the overall appearance and aesthetics of the area.

Concrete cracks are a common occurrence as a result of many primary defects. Such causes may include age, general wear and tear, expected building movement, general expansion/contraction of building materials in different weather conditions, and/or minor failings in the installation or application of building materials. Monitoring of all cracking should be conducted periodically. Contact a relevant tradespersons,

especially where cracks have become trip hazards for occupants.





Defects 3.03

Building: Building 1  
Location: All Areas > All Areas  
Finding: Floor levels  
Information: The internal flooring throughout the home was observed to be showing signs of being out of level and uneven. At the time of the subfloor inspection it was observed that the home had been re-stumped with concrete stumps at some time. Uneven and out of level floors with a property of this age is considered in most cases to be normal however some areas were considered more than other areas. The uneven and out of level floors throughout the home is highly likely to indicate that at the time of the re-stumping of the home the stumps appeared to have been replaced at the original height and not has not been overly leveled. This could be due to the extensive plaster cracks that would have resulted in leveling the home.

Floor levels can have complex and varying causes, which will influence the required remedial works the client may wish to take. If client wishes to rectify these areas it is advised to begin by consulting a registered builder who has expertise in re-stumping to determine the required scope of works that may be deemed necessary. This may include some packing of stumps to some areas. Client may also consider consultation with a geotechnical engineer to understand what and how the surrounding soil is reacting to surrounding moisture.

A Registered Builder would generally carry out these types of works or can be guided and advised by an geotechnical or structural engineer where deemed to be required. The floors can be also monitored to identify any further movement even after floor have been rectified. Where flooring is uneven further, a potentially invasive inspection of the subfloor stumps and floor structures is required. If remedial work is carried out on the floors, it is likely that in some areas the floors would require the floors areas to be removed due to the close proximity to the ground.





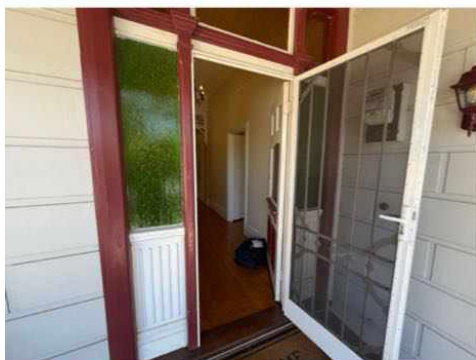
### Defects 3.04

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Door handles and latches - door and window security
Information:	It was observed that doors still had the original door hardware, this door hardware has exceeded its useful life and is now considered to be a hazard for occupants. Numerous door handles and latches are not working as intended and in time occupants are highly likely to be stuck in a room unable to exit. The sliding doors throughout the home were also missing head pelmets and may also benefit by being renewed. Some handles and or door latches were observed to be sticking and handles spinning during normal operation.

Whilst detracting from the functionality of this building element, this minor defect may also be a safety hazard to all occupants, and may therefore have serious implications if occupants were not able to egress at the time of an emergency. It is suspected that this defect has occurred due to minor issues after painting, poor installation and or through general wear and tear, which is expected for building elements of this age. A qualified carpenter may be appointed to perform rectification works as necessary. If left unattended, further functional impairment is likely to occur.

Front exterior door and window security :- Numerous exterior doors and windows throughout the property were observed to require some maintenance. The exterior doors and windows may require new locks and other hardware to ensure the home has adequate security. Some door handles and keepers were observed to be poorly fitting. The exterior window locks were also considered to be an aged design and may not be providing adequate protection and security for occupants.

These remedial works will ensure that they offer adequate security and they operate correctly during standard operation. Doors and window hardware defects may inhibit the egress from the rooms and make it difficult for younger and other occupants to safely egress the interior areas if left unmanaged. The functionality of affected doors and windows may also be creating secondary defects to associated building elements, such as damage to the associated frames. Such defects may have several causes, ranging from, deteriorated door and window hardware or poor installation. A qualified carpenter should be appointed to perform remedial, rectification works to these doors and windows.









Defects 3.05

Building: Building 1  
Location: All Areas > All Areas  
Finding: Kitchen and bathroom cabinets  
Information: The kitchen and bathrooms cabinet doors showed that they were aged and deteriorated and signs of lack of maintenance over many years to the doors, drawers and cabinet carcasses. Many areas were observed to have some wear and may require some maintenance, remedial work or renewal to ensure further deterioration does not continue further. Although these defects may detract from the overall looks of the cabinetry, in most cases it does not necessarily affect the operational state of the cabinetry.

To improve the operation of these affected cabinets, cabinet doors or drawers, a qualified cabinet maker or carpenter may be appointed to renew, rejuvenate rectify or repair any cabinetry as deemed to be necessary. Such works should be completed at discretion of the client.







Defects 3.06

Building: Building 1  
Location: Bathroom > All Areas  
Finding: Toilet roll holders and towel rail - Loose  
Information: The toilet roll holders and towel rail were found to be loose at the time of inspection. While not a major operational defect, function can deteriorate if the problem is left unmanaged. It is recommended that some remedial works to rectify the loose toilet roll holders and towel rails to its original fixing. If these cannot be rectified to function as intended, client is recommended to renew. A qualified carpenter may be required to perform these works.





## **Section D Significant Items**

### **D4 Further Inspections**

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### **D5 Conclusion - Assessment of overall condition of property**

- In summary the home compared to others of a similar age the home appeared to be in a good condition and reasonable condition with numerous minor defects and numerous maintenance items for the client to consider.

For the full summary of defects please refer to defects and pictures held within this Building Inspection report.

For further information, advice and clarification please contact Mark Thorpe on: 0456 295 434

### Section D Significant Items

The following items were noted as - For your information

#### Noted Item

Building: Building 1  
Location: All Areas > All Areas  
Finding: Additional Photos  
Information: Additional photos are provided for either future maintenance items for clients attention and or general reference. Arrows may have been included to highlight areas of importance. Please discuss these photos with your building consultant for clarification.















**Noted Item**

Building: Building 1  
Location: All Areas > All Areas  
Finding: Asbestos - Suspected ACM  
Information: Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos. As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection which can include the taking of samples for definitive confirmation of the presence of Asbestos when tested by a laboratory.

Asbestos sampling can only be taken upon ownership of the property only, due to being an invasive procedure. In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear, renovations, extensions, demolition and general maintenance activities due to the suspected presence of Asbestos.



### Noted Item

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Smoke detectors and alarms  
 Information: Reporting on Smoke Detectors or Alarms, including hard wired smoke detection systems and their legislative requirements, is outside the Scope of this Report. Please note that this defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that smoke detectors are sometimes get overlooked, or they may be in a poor condition, so we recommend that they always should be addressed prior to occupation to improve occupant safety.

Always ensure sufficient working and suitable smoke detectors are installed prior and during to occupying any building. Additionally, it is advised that all smoke detectors be tested by the homeowner on a monthly basis.



## Noted Item

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Timber in the ground and exposed to excessive weather conditions
Information:	External timbers in the ground and are frequently exposed to harsh and extreme weather conditions, will require adequate protection and maintenance in order to maintain their condition. Other timbers are exposed to moisture from ground contact which exposes these areas to accelerated wood rot and decay, damage and deterioration. Where timbers have not been painted properly or treated adequately, general deterioration is likely to occur at an accelerated rate.

If left unattended, replacement of these timbers is likely to be necessary in the future. Adequate treatment of these timbers is required to ensure excessive weathering does not occur, painting of these areas may be carried out by the client or by a painting contractor or general handyman.





**Noted Item**

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Fireplace and chimney sweep  
 Information: Reporting on the fireplace and or the associated chimneys, including as to whether they are working or not and their legislative requirements, is outside the Scope of this Report. Please note that this is highlighted as a caution only. It is highly recommended the fireplaces and associated chimneys get checked periodically and even before use when they may not have been used in a while. If left unmaintained and not cleaned adequately a fireplace and chimneys may be or become a fire hazard.

We suspect, based on our experience in the building industry, that fireplaces and the

associated chimneys get over looked and do not get chimney swept or any maintenance for long periods of time. The chimney may therefore be in a poor condition, so we recommend that they always ensure that these areas be addressed prior to their use, this is to ensure home and occupant safety.



### Noted Item

Building:	Building 1
Location:	All Areas > All Areas
Finding:	Evaporative air conditioner
Information:	Reporting on the Evaporative air conditioning unit, including as to whether they are working, is outside the Scope of this Report. Please note that this is highlighted as a recommendation only. It is recommended that the Evaporative air conditioning unit to receive maintenance and servicing. Servicing of this unit will improve occupants well being and ensure good functionality and prolonged serviceability. If left unmaintained, Evaporative air conditioning unit may be or become a health hazard.

We suspect, based on our experience in the building industry, that Evaporative air conditioning unit get over looked and do not get any maintenance for long periods of time. The Evaporative air conditioning unit may therefore be in a, less than perfect condition, so we recommend that they always ensure that these areas be addressed prior to their use, this is to ensure home and occupant health and safety.

A air-conditioner serviceman should be appointed to assess the condition of the unit and to service and clean as deemed necessary, this is at the discretion of the client.



### Noted Item

Building: Building 1  
 Location: All Areas > All Areas  
 Finding: Building elements missing  
 Information: Bolts and rafter brackets were observed to have been omitted or missing at the time of the inspection. The rear pergola areas have no bolts to the posts to perimeter beams and rafters brackets to beam missing, these types of building elements are an essential part of the building structure and will improve the longevity of the building structure as it becomes aged and deteriorated. Although some building elements may seem irrelevant or unnecessary, all building elements play a key role in the operation and function of the overall structure and its performance.

All cleaning, maintenance or replacement of any missing building elements should be conducted as soon as possible to ensure that no secondary damage or functional issues occur to associated building elements or materials not being installed. A qualified carpenter, builder or another appropriate tradesperson should be appointed to clean, maintain or replace the missing building elements or materials deemed necessary.





## Section D Significant Items

### Undefined Defects

#### Noted Item

Building:	Building 1
Location:	All Areas
Finding:	Brickwork leaning and movement
Information:	<p>At the time of the inspection of the rear left hand side brickwork it was observed to be leaning and stepped approximately 10mm outside of the lower footings. Structural issues are suspected and are generally the underlying cause of these types of brickwork defects. Other causes can also have been created due to unstable footings or foundations in these areas, subsidence, general expansion, and contraction of different soils in different weather conditions. These type of brickwork defects may develop over time if left unmanaged or unattended, with potential for necessitating more serious remedial works or replacement of the brickwork and footings in the future.</p>

The client is recommended to appoint a structural engineer to conduct a further invasive inspection. A structural engineer and builder should be appointed immediately or the short term future to inspect the structural integrity of the affected areas to assess the safety of the associated structures. The engineer can also nominate a scope of works required for rectification by the registered builder. Always contact a Structural engineer should these areas become even more unstable, bowed and deteriorated even after repair works have been completed.

## Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm <sup>2</sup> (Residential) or 10 micrograms/100 cm <sup>2</sup> (Commercial).

Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

**NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

**RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.