



Building and Timber Pest Inspection Report VR

Inspection Date: Tue, 3 Mar 2026

Property Address: 5 McFarlane St, South Grafton NSW 2460, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 3 Mar 2026

Modified Date: Thu, 5 Mar 2026

The Parties

Name of the Client:

Name of the Principal(If Applicable):

Job Address: 5 McFarlane St, South Grafton NSW 2460, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections (Yamba)

Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

This inspection is only a visual inspection and multiple areas through out the building are not able to be inspected. Live timber activity and further damage maybe located in these areas. A further invasive inspection is recommended to gain a better understanding of the buildings condition and to the extent of any timber pest activity.

Any home built before 1990 has the potential to have been built with materials containing asbestos

The detection of asbestos containing materials is out of the scope of works for this inspection. I recommend a separate asbestos inspection and report, with samples of suspected asbestos containing materials taken and laboratory tested to, confirm or rule out the presents of asbestos.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect	✓	
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity		✓
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is Highly susceptible to timber pest attack. A timber pest treatment plan is recommended.

Section B General

General description of the property

Building Type	Residential
Company or Strata title	No
Floor	Brick Stumps or Piers, Slab on ground, Timber with concrete areas, Timber with hardboard areas
Furnished	Furnished
No. of bedrooms	3
Occupied	Unoccupied
Orientation	North West
Other Building Elements	Carport, Driveway, Fence - Fabricated Metal Fence, Footpath, Garage, Porch, Retaining Walls, Shed, Water Tanks
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Fascias, Internal Joinery, Skirting Boards, Timber Wall Panelling
Roof	Timber Framed, Tiled
Storeys	Single
Walls	Brick Veneer (Timber Framed), Timber Framed and Clad
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Fencing
- Gardens
- Interior
- Landscaping Timbers
- Posts
- Roof Exterior - Part
- Roof Void - Part
- The Site
- Trees
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Ceiling Cavity - Part.
- Areas of low roof pitch preventing full inspection.
- Areas of skillion or flat roof - no access
- Roof Exterior - Part
- Site - Part.
- Subfloor due to lack of access.

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.
- Ceiling linings
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Landscaping
- Overhanging vegetation
- Patio
- Porch
- Rugs
- Sarking
- Solar Panels
- Stored items
- Stored items, built in cabinetry, furniture and personal items obscured approximately 25% of every

room.

- Subfloor was not able to be inspected - there was no access to this area.

- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

Finding 2.01

Building: Main Building
Location: Bathroom and ensuite
Finding: Elevated Moisture Meter Readings to Shower Areas – Bathroom and Ensuite
Information: Higher than normal moisture meter readings were obtained to the lower wall areas of the showers in the bathroom and ensuite at the time of inspection. Elevated moisture readings in these locations may indicate moisture penetration through grout, silicone seals, waterproofing membranes, or a possible plumbing issue within the wall. This condition can occur over time with regular use and is a common defect with a property of this age. Further investigation and maintenance may be required to prevent deterioration to surrounding building materials. Assessment and any necessary repairs should be carried out by a licensed plumber, tiler, waterproofing contractor, or suitably qualified tradesperson.





Finding 2.02

Building:	Main Building
Location:	Garage
Finding:	Elevated Moisture Readings and Water Damage to Garage Wall Near Hot Water Unit
Information:	Higher than normal moisture meter readings and signs of water damage were identified to the lower section of the wall in the garage near the hot water unit. The plasterboard in this location appears to be directly adhered to the brickwork, which may have contributed to deterioration due to moisture ingress through the masonry. Moisture penetration through brickwork can occur over time, particularly where wall linings are installed directly against the masonry without an adequate cavity. Further investigation is recommended to determine the source of moisture and prevent further deterioration. Assessment and any necessary repairs should be carried out by a licensed plumber, builder, or suitably qualified tradesperson.





Finding 2.03

Building: Main Building
Location: Carport and driveway
Finding: Cracked Tiles to Carport and Driveway
Information: Cracked floor tiles were identified to areas of the carport and driveway. The cracking may be associated with movement of the underlying surface, impact damage, or general wear over time. If left unaddressed, the damage may worsen and may allow water to penetrate beneath the tiles. Replacement of the damaged tiles as required is recommended. Repairs should be carried out by a licensed tiler or suitably qualified tradesperson.





Finding 2.04

Building:	Yard
Location:	Carport
Finding:	Major and Minor Cracks to Brick Rendered Retaining Walls and Garden Beds
Information:	Major and minor cracks were identified to the low brick rendered retaining walls and garden beds around the property at multiple locations. Cracking to these types of structures can occur over time due to ground movement, soil pressure, and general weathering. Continued deterioration may occur if the cracking worsens or allows moisture penetration. Maintenance and repairs as required are recommended to prevent further deterioration. Repairs should be carried out by a licensed builder, bricklayer, or suitably qualified tradesperson.





Finding 2.05

Building: Shed
Location: Shed concrete floor
Finding: Major Cracks to Shed Concrete Floor
Information: Major cracks were identified to the concrete floor within the shed. The cracking may be associated with ground movement, settlement, or deterioration of the concrete over time. Significant cracking may affect the serviceability and durability of the slab if left unaddressed. Further assessment and repairs as required are recommended to prevent further deterioration. Repairs should be carried out by a licensed builder, concreter, or suitably qualified tradesperson.





Finding 2.06

Building:	Carport
Location:	Carport roof
Finding:	Deterioration to Roof Tiles at Base of Carport Parapet
Information:	Deterioration was identified to the edges of the roof tiles around the base of the carport parapet. The deterioration may allow moisture ingress beneath the roof covering if left unaddressed and may worsen over time due to ongoing exposure to weather. Maintenance and repairs to the affected roof tiles and surrounding flashing as required are recommended to maintain the weatherproofing of the roof area. Repairs should be carried out by a licensed roofer or suitably qualified tradesperson.



Finding 2.07

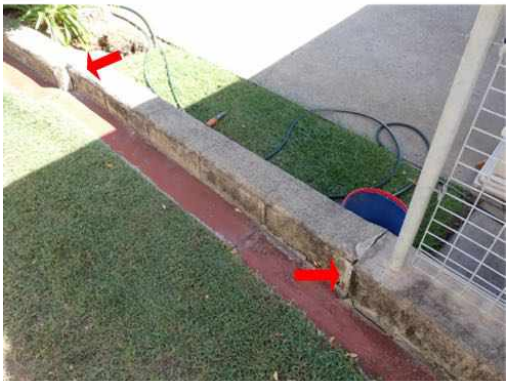
Building:	Yard
Location:	Rear tiled patio area
Finding:	Cracked, Drummy and Damaged Tiles to Rear Patio Area
Information:	Cracked, drummy and damaged tiles were identified to sections of the rear patio area. Drummy tiles indicate that the tiles have become debonded from the substrate and may loosen or crack further over time. The damage may be associated with movement of the underlying surface, deterioration of the adhesive, or general wear and this is a common defect. Replacement and re-fixing of the affected tiles as required is recommended to prevent further deterioration. Repairs should be carried

out by a licensed tiler or suitably qualified tradesperson.



Finding 2.08

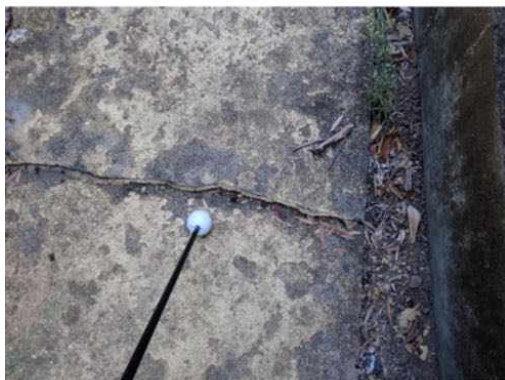
Building:	Yard
Location:	Back and left hand side boundary
Finding:	Large Cracks and Movement to Low Retaining Walls – Rear and Left Boundary
Information:	Large cracks and signs of movement were identified to the low retaining walls located at the rear and along the left-hand side boundary of the property. Movement and cracking in retaining walls may occur over time due to ground movement, soil pressure, and deterioration of materials. Significant movement may affect the stability and performance of the retaining walls if left unaddressed. Further assessment and repairs or rebuilding of affected sections as required is recommended. Works should be carried out by a licensed builder, structural landscaper, or suitably qualified tradesperson.



Finding 2.09

Building: Yard
Location: Rear left hand corner of property
Finding: Large Cracks to Concrete Path at Rear Left Side of Property
Information: Large cracks were identified in the old concrete path located at the rear left-hand side of the property. The cracking is likely associated with age, ground movement, or settlement of the underlying surface. Significant cracking may continue to deteriorate over time and may present a trip hazard if left unaddressed. Repairs or replacement of the affected sections of concrete as required is recommended. Works should be carried out by a licensed builder, concreter, or suitably qualified tradesperson.





Finding 2.10

Building:	Main Building
Location:	Carport roof
Finding:	Poor and Deteriorated Silicone to Carport Parapet Roof
Information:	Poor and deteriorated silicone sealant was identified to the parapet roof area of the carport. The sealant appears aged and inadequately applied in areas, which may allow water ingress if left unmaintained. Deterioration of sealants in exposed roof areas is commonly associated with weathering and is a common defect with a property of this age. Removal of the deteriorated silicone and re-sealing of the affected areas with appropriate roofing sealant is recommended to maintain weatherproofing. Repairs should be carried out by a licensed roofer or suitably qualified tradesperson to prevent further damage to associated building materials.



Minor Defect

Finding 3.01

Building:	Main Building
Location:	Living Room
Finding:	Sagging Cornice to Living Room
Information:	Age-related sagging was identified to the cornice in the living room. The condition may

also be associated with previous water damage; however, no elevated moisture readings were detected to the ceiling in this area at the time of inspection. This type of movement and deterioration can occur over time and is a common defect with a home of this age. Repairs or refixing of the cornice as required is recommended. Works should be carried out by a licensed builder, plasterer, or suitably qualified tradesperson.



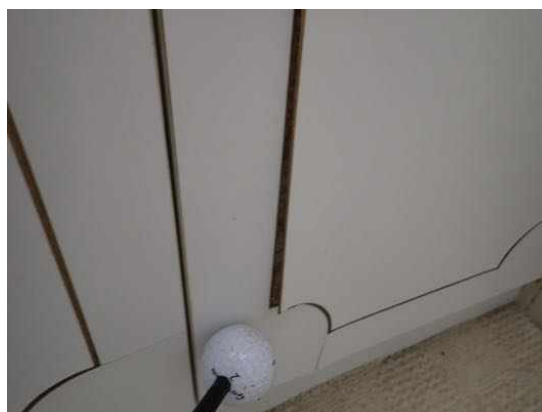
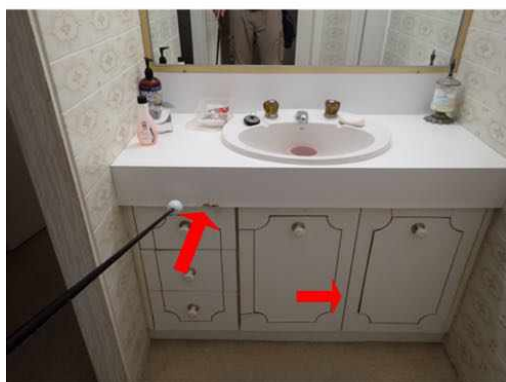
Finding 3.02

Building:	Main Building
Location:	Kitchen
Finding:	Deteriorated Silicone to Kitchen Benchtop and Tile Splashback Junction
Information:	Deteriorated silicone sealant was identified at the junction between the kitchen benchtop and the tiled splashback. The sealant has perished and is no longer providing an effective waterproof seal, which may allow moisture to penetrate behind the benchtop or wall lining and cause deterioration to adjacent materials over time. This condition is commonly associated with general wear and tear. Removal of the existing silicone and re-sealing with an appropriate sanitary grade sealant is recommended. Repairs should be carried out by a handyman or suitably qualified tradesperson.



Finding 3.03

Building:	Main Building
Location:	Bedroom
Finding:	Delamination to Bathroom Vanity Cupboard Doors and Benchtop Laminat
Information:	Delamination was identified to the bathroom vanity cupboard doors and the laminate surface of the benchtop. The laminate finish is lifting and deteriorating, which is commonly associated with age, moisture exposure, and general wear and tear. If left unaddressed, the deterioration may worsen and affect the serviceability of the vanity unit. Repair or replacement of the affected components is recommended. Works should be carried out by a cabinet maker, carpenter, or suitably qualified tradesperson.



Finding 3.04

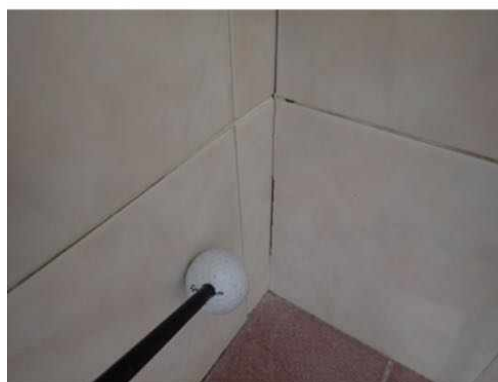
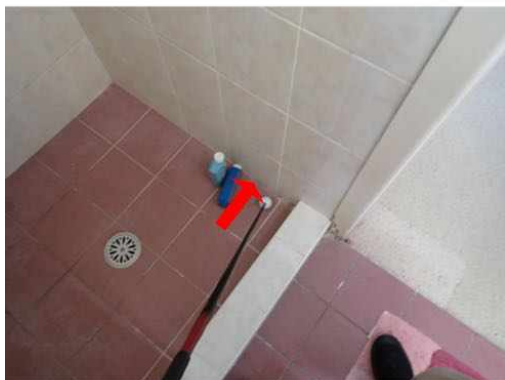
Building:	Main Building
Location:	Toilet (WC)
Finding:	Possible Old Water Stains to Plasterboard Around Ceiling Fan
Information:	Possible old water stains were identified to the plasterboard around the ceiling fan. The staining may be associated with previous moisture ingress; however, no elevated moisture readings were detected with the moisture meter at the time of inspection. This type of condition can occur over time and may relate to past roof leaks, condensation, or previous water ingress that has since dried. Continued monitoring and maintenance of the roof and ceiling areas is recommended. Repairs or further investigation, if required, should be carried out by a licensed roofer, builder, or suitably

qualified tradesperson.



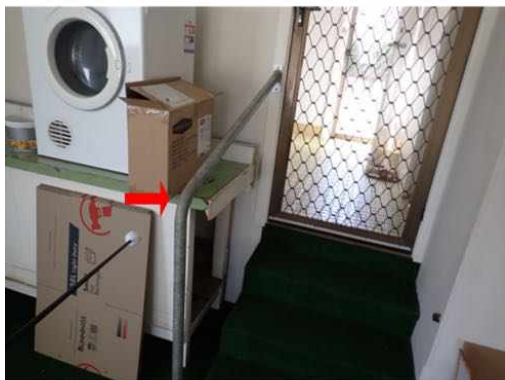
Finding 3.05

Building:	Main Building
Location:	Ensuite
Finding:	Deteriorated Grout and Silicone to Ensuite Shower
Information:	Deteriorated grout and silicone sealant were identified to the tiled areas of the ensuite shower. The deterioration may allow moisture to penetrate behind the tiles and surrounding materials over time. This condition is commonly associated with ongoing moisture exposure and is a common defect with a property of this age. Maintenance is recommended including regrouting and resealing the affected areas to maintain the waterproof integrity of the shower. Repairs should be carried out by a licensed tiler or suitably qualified tradesperson.



Finding 3.06

Building: Main Building
 Location: Garage
 Finding: Loose Handrail to Steps from Laundry to Garage
 Information: The handrail to the steps leading from the laundry to the garage was found to be loose at the time of inspection. Loose handrails may reduce stability and can present a potential safety hazard when using the steps. Re-fixing and securing of the handrail is recommended to ensure it is adequately supported and safe for use. Repairs should be carried out by a licensed builder, carpenter, or suitably qualified tradesperson.



Finding 3.07

Building:	Main Building
Location:	Carport
Finding:	Movement Between Main Building and Carport Structure
Information:	Movement was identified at the junction between the main building and the carport structure. The carport appears to have been constructed at a later stage than the original dwelling, which may result in differential movement between the two structures over time. This type of movement is not uncommon where additions are connected to an existing structure. Continued monitoring is recommended and repairs or separation detailing may be required if movement continues. Assessment and any necessary repairs should be carried out by a licensed builder or suitably qualified tradesperson.



Finding 3.08

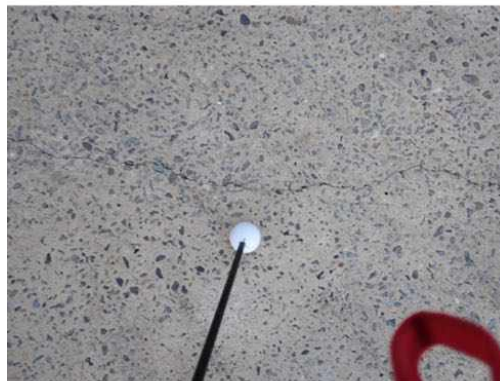
Building:	Main Building
Location:	Down pipes
Finding:	Rust and Paint Deterioration to Downpipes
Information:	Rust and deterioration of the painted finish were identified to the downpipes. This condition is commonly associated with prolonged exposure to weather and moisture and is a common defect with a property of this age. If left unmaintained, corrosion may continue to deteriorate the metal and affect the serviceability of the downpipes over time. Maintenance including preparation, treatment of rusted areas and repainting or replacement of affected sections as required is recommended. Repairs should be carried out by a licensed plumber or suitably qualified tradesperson.



Finding 3.09

Building: Yard
 Location: Bbq area
 Finding: Minor Cracks to Concrete Path and Concrete Beside Garden Shed
 Information: Minor cracks were identified to the concrete path and the concrete area beside the garden shed. This type of cracking is commonly associated with minor settlement, shrinkage, or normal movement of concrete over time and is a common defect with a property of this age. The cracks appeared minor at the time of inspection; however, continued monitoring and maintenance is recommended to ensure the cracking does not worsen. Repairs, if required, should be carried out by a licensed builder, concreter, or suitably qualified tradesperson.





Finding 3.10

Building:	Main Building
Location:	Roof
Finding:	Roof Tiles Weathered with Cracked Tiles, Lichen Growth and Cracked Ridge Caps
Information:	The roof tiles were found to be generally in fair condition; however, they were noted to be weathered. Some cracked tiles were identified along with areas of lichen growth and cracking to the ridge capping. These conditions are commonly associated with age and prolonged exposure to weather and are common defects with a property of this age. Damaged tiles and cracked ridge capping may allow water ingress if left unmaintained. Maintenance including replacement of cracked tiles, cleaning of lichen growth and repairs to the ridge capping as required is recommended. Inspections and necessary repairs should be carried out by a licensed roofer or suitably qualified tradesperson to prevent further damage to associated building materials.





Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

No evidence was found

Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Main Building
Location:	Ensuite
Finding:	Wood Rot to Architrave and Door Jamb at Ensuite Shower
Information:	Wood rot was identified to the bottom of the architrave and door jamb to the ensuite near the edge of the shower. The deterioration is likely associated with ongoing moisture exposure from the nearby wet area. If left unaddressed, the damage may

continue to worsen and affect surrounding materials. Repairs including removal of the deteriorated timber and replacement of affected components are recommended. Works should be carried out by a licensed builder, carpenter, or suitably qualified tradesperson.



Finding 7.02

Building: Main Building

Location: Fascia boards

Finding: Possible Wood Rot to Ends of Fascia Boards

Information: The ends of several fascia boards were found to be soft behind the painted surface, indicating possible wood rot to these locations. Deterioration of timber fascia boards is commonly associated with prolonged exposure to moisture and weathering and is a common defect with a property of this age. If left unaddressed, the deterioration may worsen over time and affect the integrity of the affected sections. Further assessment and repairs including replacement of deteriorated timber as required are recommended. Repairs should be carried out by a licensed builder, carpenter, or suitably qualified tradesperson.



Finding 7.03

Building: Yard

Location: Bbq area

Finding: Wood Rot to Timber Posts Supporting BBQ Area Roof
Information: Wood rot was identified to the bottom sections of the timber posts supporting the roof over the BBQ area. The deterioration is likely associated with prolonged exposure to moisture and weathering at the base of the posts. Timber decay may continue to worsen over time and may affect the structural support of the roof if left unaddressed. Repair or replacement of the affected timber posts is recommended. Works should be carried out by a licensed builder, carpenter, or suitably qualified tradesperson.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Asbestos Inspector
- Registered Roofing Contractor
- Registered/Licensed Builder
- Reinspection by Jim's Building Inspections
- Termite and Timber Pest Technician / Licensed Pest Controller

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in good condition when compared to homes of similar age, type of construction and location. This is common for a property of this age.

I recommend reading this report in detail and acting on all recommendations

For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building: Main Building
Location: All Areas
Finding: Additional Photos - Obstructions and Limitations
Information: These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.









Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.