



Building and Timber Pest Inspection Report

Inspection Date: Mon, 23 Feb 2026

Property Address: 183-205 Broken Head Rd, Suffolk Park NSW
2481, Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Mon, 23 Feb 2026

The Parties

Name of the Client:

Name of the Principal(if Applicable):

Job Address: 183-205 Broken Head Rd, Suffolk Park NSW 2481, Australia

Client's Email Address:

Client's Phone Number:

Consultant: Dean Huxley Ph: 0410 535 121
Email: Yamba@jimsbuildinginspections.com.au

Company Name: Jim's Building Inspections (Yamba)

Company Address and Postcode: Yamba 2464

Company Email: Yamba@jimsbuildinginspections.com.au

Company Contact Numbers: 0410 535 121

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report should be read in its entirety, including all defect statements referenced by pictures in full, to understand the report completely. Should you have any difficulty in understanding anything contained with in this report then you should contact the inspector and have the matter explained to you prior to acting on this report.

Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	
Live Timber Pest Activity		✓
Timber Pest Damage		✓
Conditions Conducive to Timber Pest Activity		✓
Evidence of fungal decay activity and/or damage	✓	
Evidence of wood borer activity and/or damage		✓
Evidence of a previous termite management program		✓

Overall Condition (Building)

In summary, the building, compared to others of similar age and construction is in good condition with some minor defects found.

Overall Condition (Timber Pest)

In summary, the building, compared to others of similar age and construction is moderately susceptible to timber pests. A current termite treatment is in place. Minimum 12 monthly inspections should be carried out.

Section B General

General description of the property

Building Type	Unit
Company or Strata title	Yes
Floor	Concrete, Slab - Suspended Slab
Furnished	Furnished
No. of bedrooms	2
Occupied	Occupied
Orientation	South
Other Building Elements	Footpath, Garage, Porch
Other Timber Bldg Elements	Architectural Trims, Architraves, Door Frames, Doors, Internal Joinery, Skirting Boards, Veranda Posts
Roof	Timber Framed, Corrugated Iron (e.g. Colourbond)
Storeys	Double
Walls	Light Weight Wall Clad, Rendered, Weatherboards, Timber Framed and Clad, Concrete Block, Colourbond
Weather	Fine

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Exterior
- Interior
- Posts
- Roof Exterior - Part
- Wall Exterior

The inspection excludes areas which are affected by obstructions, where access is limited or unsafe. We do not move obstructions and defects, timber pest activity or conditions conducive to these may not be obvious unless they are removed.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Areas of skillion or flat roof - no access
- Ceiling Cavity.
- Exterior Roof Surface - Second Storey.
- Roof Exterior - Part

Any areas which are inaccessible at the time of inspection present a high risk for undetected defects and timber pest activity and conditions conducive to these. The client is advised to make inaccessible areas accessible wherever possible for re-inspection.

Obstructions and Limitations

Building defects, termite and timber pest activity as well as conditions conducive to both, may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment

- Areas of skillion or flat roof - no access
- Ceiling linings
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- No safe point from which to access roof exterior
- Rugs
- Stored items, built in cabinetry, furniture and personal items obscured approximately 25% of every room.
- Wall linings

The presence of obstructions increases the risk of undetected building defects, timber pest activity and conditions conducive to these. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas urgently.

Undetected defect risk (Building)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Undetected defect risk (Timber Pest)

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **Medium**

When the risk of undetected defects is medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

Section D Significant Items

Safety Hazard

No evidence was found

Major Defect

No evidence was found

Minor Defect

Finding 3.01

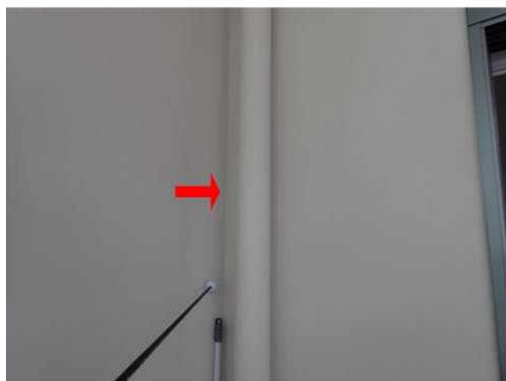
Building:	Main Building
Location:	Balcony
Finding:	Deteriorated Grout to Isolated Areas of Balcony Floor Tiles
Information:	Deteriorated grout was identified to isolated areas within the balcony floor tiles. The grout is cracked and breaking down, reducing its effectiveness as a weather-resistant seal between tiles. In simple terms, some of the grout between the balcony tiles is worn and starting to fail. This condition is commonly caused by age, weather exposure and movement in the substrate. If left unaddressed, moisture penetration may occur, potentially affecting the tile bed or underlying structure over time. It is recommended that a licensed tiler remove and replace the affected grout and assess surrounding tiles for soundness, with re-sealing as required. Repairs can be undertaken at the owner's discretion as part of ongoing maintenance.



Finding 3.02

Building:	Main Building
Location:	Balcony and external wall cladding
Finding:	Minor Silicone Cracking to External Walls/Cladding
Information:	Minor cracking was identified to silicone sealant joints at sections of the external

walls/cladding. The sealant is beginning to deteriorate and lose flexibility, which may reduce its effectiveness in preventing moisture penetration at joints and junctions. In simple terms, some of the external sealant is slightly cracked and starting to wear out. This is a common maintenance item due to age and weather exposure. If left unaddressed, further deterioration may allow moisture ingress into wall cavities. It is recommended that a qualified tradesperson or general handyman remove and replace the affected silicone as required. Repairs can be undertaken at the owner's discretion as part of routine property maintenance.



Finding 3.03

Building:	Main Building
Location:	Ensuite
Finding:	Deteriorated Silicone to Floor Tile/Door Angle in Ensuite
Information:	Deterioration of silicone sealant was identified at the floor tile to door angle junction within the ensuite. The sealant is cracked and breaking down, reducing its effectiveness in preventing moisture penetration at this junction. In simple terms, the silicone where the floor tiles meet the door frame in the ensuite is worn and starting to fail. This condition is commonly caused by age, moisture exposure and minor movement. If left unaddressed, water may track into adjoining materials over time. It is recommended that a licensed tiler or suitably qualified tradesperson remove and replace the affected silicone to maintain a watertight seal. Repairs can be undertaken at the owner's discretion as part of routine maintenance.



Finding 3.04

Building: Main Building

Location: Ensuite

Finding: Ensuite Half-Flush Toilet Button Broken

Information: The half-flush button to the ensuite toilet cistern was found to be broken and not operating as intended. The flushing mechanism may not function correctly, which can affect water efficiency and normal use. In simple terms, one of the toilet flush buttons in the ensuite is broken. This condition is commonly caused by wear and tear to the internal plastic components over time. It is recommended that a licensed plumber repair or replace the flush button assembly or associated cistern components as required. Repairs can be undertaken at the owner's discretion to restore proper operation.



Finding 3.05

Building: Main Building

Location: Ensuite and bathroom

Finding: Loose Towel Rails to Bathroom and Ensuite

Information: Loose towel rails were identified within the bathroom and ensuite. The fixtures are not securely fixed to the wall and may detach with continued use. In simple terms, the towel rails are wobbly and not properly secured. This condition is commonly caused

by loose fixings, inadequate anchoring into wall linings or general wear and tear. If left unaddressed, the rails may pull away from the wall and cause damage to surrounding tiles or wall surfaces. It is recommended that a qualified handyman or carpenter re-secure or refix the towel rails with appropriate fixings. Repairs can be undertaken at the owner's discretion.



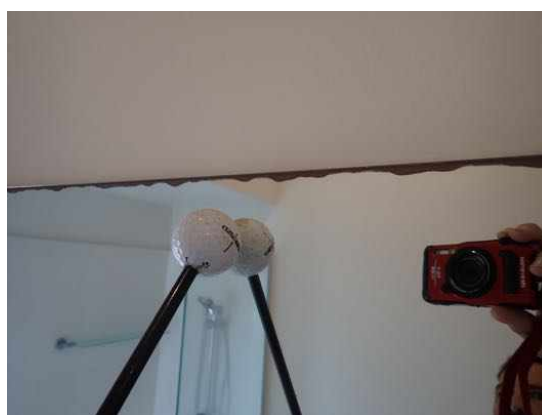
Finding 3.06

Building: Main Building

Location: Ensuite and bathroom

Finding: Mirror Edges Deteriorating to Bathroom and Ensuite

Information: The mirrors in the bathroom and ensuite were observed to be turning black around the edges. This condition indicates deterioration of the mirror backing (desilvering), commonly caused by age and prolonged exposure to moisture. In simple terms, the edges of the mirrors are going black due to moisture damage behind the glass. This is a common defect in wet areas over time. While primarily cosmetic at this stage, deterioration may continue and affect overall appearance. It is recommended that a glazier or suitably qualified tradesperson replace the affected mirrors if desired. Replacement can be undertaken at the owner's discretion as part of cosmetic upgrades or routine maintenance.



Finding 3.07

Building:	Garage
Location:	Left hand side of garage
Finding:	Timber Eave Trim Loose to Left-Hand Side of Garage
Information:	The timber eave trim to the left-hand side of the garage was found to be loose. The trim is not securely fixed and may detach if not re-secured. In simple terms, the timber trim under the roof edge on the left side of the garage is coming loose. This condition is commonly caused by fixing failure, timber movement or age-related deterioration. If left unaddressed, the trim may fall or allow moisture and pests to enter the eaves cavity. It is recommended that a qualified carpenter re-secure or replace the affected trim and check adjacent sections for stability. Repairs can be undertaken at the owner's discretion to prevent further movement or damage.



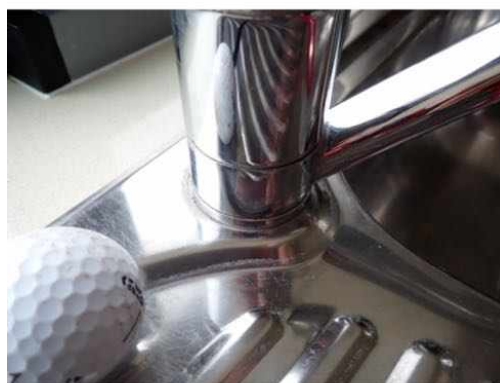
Finding 3.08

Building:	Main Building
Location:	Left hand side wall
Finding:	Fading Paint to Left-Hand Side Weatherboard Cladding
Information:	Fading of the painted finish was identified to the weatherboard cladding on the left-hand side of the building. The coating shows signs of UV exposure and age-related deterioration. In simple terms, the paint on the left side weatherboards is fading and losing its colour. This is a common condition due to long-term sun and weather exposure. While primarily cosmetic at this stage, continued breakdown of the protective coating may reduce protection to the underlying timber over time. It is recommended that a qualified painter prepare and re-coat the affected areas as required. Repainting can be undertaken at the owner's discretion as part of routine exterior maintenance.



Finding 3.09

Building:	Main Building
Location:	Kitchen
Finding:	Kitchen Mixer Tap Loose
Information:	The kitchen mixer tap was found to be loose at its base and not securely fixed to the benchtop/sink. Movement of the tap may place strain on associated plumbing connections. In simple terms, the kitchen tap is wobbly. This condition is commonly caused by loose fixings or wear over time. If left unaddressed, continued movement may result in leaks beneath the sink or damage to surrounding fittings. It is recommended that a licensed plumber or suitably qualified handyman tighten, secure or refit the tap as required. Repairs can be undertaken at the owner's discretion to prevent further issues.



Finding 3.10

Building:	Garage
Location:	Front left hand corner
Finding:	Impact-Related Damage to Garage Roof Gutter – Front Left-Hand Corner
Information:	Impact-related damage was identified to the garage roof gutter at the front left-hand corner of the building. The gutter shows signs of deformation consistent with external force, which may affect its ability to effectively collect and discharge stormwater. In simple terms, the front left garage gutter has been dented or damaged from impact. If

left unaddressed, the damaged section may lead to water overflow or improper drainage. It is recommended that a suitably qualified tradesperson repair or replace the affected gutter section and ensure correct falls and connections are maintained. Repairs can be undertaken at the owner's discretion to maintain proper stormwater performance.



Live Timber Pest Activity

No evidence was found

Timber Pest Damage

No evidence was found

Conditions Conducive to Timber Pest Activity

No evidence was found

Evidence of fungal decay activity and/or damage

Finding 7.01

Building:	Main Building
Location:	Garage door
Finding:	Wood Rot Identified to Bottom of Garage Door Jambs
Information:	Wood rot was identified to the lower sections of the garage door jambs. The timber shows signs of decay consistent with moisture exposure at ground level. In simple terms, the bottom of the garage door frame timber is rotting. This condition is commonly caused by ongoing moisture contact, poor drainage and/or inadequate sealing of the timber. If left unaddressed, deterioration may worsen and affect the structural integrity of the door frame. It is recommended that a qualified carpenter remove and replace the affected timber sections and ensure the area is properly sealed and protected from moisture. Repairs should be undertaken to prevent further

decay and associated damage and can be arranged at the owner's discretion.



Evidence of wood borer activity and/or damage

No evidence was found

Section D Significant Items

D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- Reinspection by Jim's Building Inspections

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit www.jims.net.

D5 Conclusion - Assessment of overall condition of property

- At the time of inspection, the property was found to be in good condition when compared to homes of similar age, type of construction and location.

I recommend reading this report in detail and acting on all recommendations

For further information, advice and clarification please contact Dean Huxley on: 0410 535 121

Section D Significant Items

The following items were noted as - For your information

Noted Item

Building:	Main Building
Location:	Left hand side wall
Finding:	Gutter Blocked with Leaves
Information:	A section of the roof guttering was found to be blocked with accumulated leaves and organic debris, which may impede the effective discharge of stormwater. In simple terms, leaves are clogging part of the gutter. This is a common maintenance issue, particularly in areas with nearby trees. If left unaddressed, blocked gutters can lead to overflow, moisture damage to fascia boards and potential water ingress. It is recommended that the gutters and associated downpipes be cleaned and cleared of debris. Ongoing regular cleaning should be carried out as part of routine property maintenance at the owner's discretion.



Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Additional Photos - Obstructions and Limitations
Information:	These photographs are an indication of the obstructions and limitations which impeded full inspection of the area at the time of inspection. These obstructions can hide an array of defects and should be removed to allow full inspection to be carried out. A re-inspection is recommended once the areas are made accessible.





Definitions to help you better understand this report

Access hole (cover)	An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an inspection, maintenance or repair.
Accessible area	An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
Appearance defect	Fault or deviation from the intended appearance of a building element.
Asbestos-Containing Material (ACM)	Asbestos-containing material (ACM) means any material or thing that, as part of its design, contains asbestos.
Building element	A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function. NOTE: For example supporting, enclosing, furnishing or servicing building space.
Client	The person or other entity for whom the inspection is being carried out.
Conditions Conducive to Termite Activity	Noticeable building deficiencies or environmental factors that may contribute to the presence of Termites.
Defect	Fault or deviation from the intended condition of a material, assembly, or component.
Detailed assessment	An assessment by an accredited sampler to determine the extent and magnitude of methamphetamine contamination in a property.
Inspection	Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
Inspector	Person or organisation responsible for carrying out the inspection.
Instrument Testing	Where appropriate the carrying out of Tests using the following techniques and instruments: (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements (b) stethoscope - an instrument used to hear sounds made by termites within building elements (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees and (d) sounding - a technique where timber is tapped with a solid object. (e) T3I - an instrument used to detect movement, moisture and changes in temperature within timber
Limitation	Any factor that prevents full or proper inspection of the building.
Major defect	A defect of sufficient magnitude where rectification has to be carried

	out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Methamphetamine	An amphetamine-type stimulant that is highly addictive. Methamphetamine is a controlled substance, classified as a Class A (very high-risk) drug under the Misuse of Drug Act. This term is used as a grouping term to include all substances screened for, specifically: Ephedrine, Pseudoephedrine, Amphetamine, Methamphetamine, MDA and MDMA.
Methamphetamine contamination	A property or part of a property where the level of methamphetamine has been tested in accordance with this standard and found to exceed 0.5 micrograms/100 cm ² (Residential) or 10 micrograms/100 cm ² (Commercial).
Methamphetamine production/manufacture	The manufacture of methamphetamine, including processing, packaging, and storage of methamphetamine and associated chemicals.
Minor defect	A defect other than a major defect.
Roof space/Roof void	Space between the roof covering and the ceiling immediately below the roof covering.
Screening assessment	An assessment by a screening sampler to determine whether or not methamphetamine is present.
Serviceability defect	Fault or deviation from the intended serviceability performance of a building element.
Significant item	An item that is to be reported in accordance with the scope of the inspection.
Site	Allotment of land on which a building stands or is to be erected.
Structural defect	Fault or deviation from the intended structural performance of a building element.
Structural element	Physically distinguishable part of a structure. NOTE: For example wall, columns, beam, connection.
Subfloor space	Space between the underside of a suspended floor and the ground.
Subterranean Termite Management Proposal	A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.
Termites	Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
Tests	Additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be

particularly susceptible to attack by Termites. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity	Tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.
Timber Pest Attack	Timber Pest Activity and/or Timber Pest Damage.
Timber Pest Damage	Noticeable impairments to the integrity of timber and other susceptible materials resulting from an attack by Timber Pests.
Urgent and Serious Safety Hazards	Building elements or situations that present a current or immediate potential threat of injury or disease to persons.

Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.

IMPORTANT SAFETY INFORMATION:

This is not a report by a licensed plumber or electrician. We recommend a special-purpose

report to detect substandard or illegal plumbing and electrical work at the Property

This is not a smoke alarm report. We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

This is not an asbestos report. There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

This is not a report on safety glass. Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

This is not a report on window opening restrictions. We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

This is not a report on pool safety. If a swimming pool is present it should be the subject to a special purpose pool inspection.

External Timber Structures - Balcony and Decks. It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

This is not a Group Titled Property Report as per AS4349.2. If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of

conditions conducive to timber pest activity. Undertaking thorough regular inspections at intervals not exceeding twelve months (or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack). To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and those thorough regular inspections of the building are necessary.

NO CERTIFICATION

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

RECTIFICATION COSTS

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.