



## Building Inspection Report VR

Inspection Date: Tue, 20 Jan 2026

Property Address: 13 Yorkshire St, Pascoe Vale VIC 3044,  
Australia



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Definitions to help you better understand this report

Terms on which this report was prepared

Special conditions or instructions

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

This Report has been prepared in accordance with the pre-inspection agreement in place between the parties set out below, which set out the purpose and scope of the inspection, and the significant items that will be reported on. This Report reflects the opinion of the inspector based on the documents that have been provided. This Report should be read in its entirety and in the context of the agreed scope of Services. If there is a discrepancy between the summary findings and the body of the Report, the body of the Report will prevail. We recommend that you should promptly implement any recommendation or advice in this Report, including recommendations of further inspections by another specialist. If you have any queries with this Report or require further information, please do not hesitate to contact the person who carried out the inspection. This Report contains reference to material that is the copyright of Standards Australia reproduced under agreement with SAI Global to Jim's Building Inspections (Australia).

Original Inspection Date: Tue, 20 Jan 2026

## The Parties

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Name of the Client:

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Name of the Principal(if Applicable):

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Job Address: 13 Yorkshire St, Pascoe Vale VIC 3044, Australia

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Client's Email Address:

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Client's Phone Number:

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Consultant: Jamie Daou Ph: 0405 484 010  
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Registered Building Practitioner; DB-U 37884;

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Company Name: Jim's Building Inspections (Brighton)

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Company Address and Postcode: Highett 3190

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Company Email: Brighton@jimsbuildinginspections.com.au

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Company Contact Numbers: 0405 484 010

## Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors

The following apply: This report has been prepared solely on the basis of the information available at the time of inspection and is subject to information provided by the Client, their agents and/or employees. It is also subject to the presence of latent or concealed defects, inaccessible areas, and other conditions that were not apparent or detectable at the time of inspection.

This report has been commissioned solely for the use of the Client only, and unless expressly stated otherwise, no responsibility or liability is accepted for or owed to any third party. Any third party not specifically named on page 3 of this report who relies on this report, in whole or in part, does so entirely at their own risk.

It is the responsibility of the property owner(s) to promptly address any identified safety hazards, major defects, minor defects, and evidence of timber pest activity or damage noted in this report immediately, in order to reduce the risk of further deterioration, safety concerns, and potential financial loss.

Areas that were inaccessible or assessed as HIGH RISK should be further investigated by appropriately qualified personnel. The Client is strongly advised to take all reasonable steps to remove, rectify, or actively monitor any conditions that may be conducive to timber pest activity or attack IMMEDIATELY.

This report reflects the condition of the property at the time of inspection only. Re-inspection is strongly recommended 30 days after the issue of this report, as the condition of the property may change over time, including the extent of defects or the appearance of previously undetected issues.

Building standards, construction materials, and techniques have evolved over time in Australia. Older buildings may not comply with current legislation or Australian Standards; please note that this does not necessarily indicate poor construction.

Assessments in this report are made with reference to the Australian Standards applicable at the time of construction.

\*This inspection applies only to the property specified on page 1 of this report. The report must be read in full, including all defect statements and associated images, to be understood in context. Any uncertainty or questions regarding this report should be clarified with the inspector prior to acting upon its contents.

## Section A Results of Inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

	Found	Not Found
<b>Safety Hazard</b>	✓	
<b>Major Defect</b>		✓
<b>Minor Defect</b>	✓	

### Overall Condition

In summary, the building, compared to others of similar age and construction is in the condition documented in this report.

## Section B General

### General description of the property

Floor	Stumps, Suspended Timber Frame
Walls	Weatherboards
Other Timber Bldg Elements	Doors, Eaves, External Joinery, Internal Joinery, Landscaping Timbers and Construction, , Architectural Trims, Architraves, Deck, Door Frames, Porch / Patio, Skirting Boards, Floating Floor, Fascias, Weatherboards, Window Frames
Roof	Pitched, Flat, Iron
Other Building Elements	Footpath, Fence - Post and Rail Construction, Driveway, Carport, Shed, Fence - Fabricated Metal Fence, Store
Building Type	Residential
Company or Strata title	No
Furnished	Furnished
No. of bedrooms	3
Occupied	Occupied
Orientation	East
Storeys	Single
Weather	Fine

## Section C Accessibility

### Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

- Landscaping Timbers
- Interior
- Gardens
- Fencing
- Exterior
- Outbuildings
- Roof Exterior - Part
- Roof Void - Part
- Subfloor - Part
- The Site
- Wall Exterior
- Stumps

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects or safety hazards may not be obvious unless obstructions or unsafe conditions are removed to provide access.

### Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch preventing full inspection.
- Ceiling Cavity - Part.
- Roof Exterior - Part
- Site - Part.
- Subfloor - Part.

- Subfloor due to lack of access.

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently wherever possible.

## **Obstructions and Limitations**

Building defects may be concealed by the following obstructions which prevented full inspection:

- Above safe working height
- Appliances and equipment
- Areas of low roof pitch preventing full inspection
- Ceiling linings
- Debris in gutters
- Debris or rubbish
- Decking
- Duct work
- External concrete or paving
- External finished ground level
- Fixed ceilings
- Fixed Furniture - Built-in Cabinetry
- Floor coverings
- Furniture
- Insulation
- Lack of clearance - subfloor
- Lack of suitable access or entry point
- Landscaping
- Overhanging vegetation
- Patio
- Pipework

- Proximity of perimeter fence to building
- Subfloor area - Limited access due to restrictive crawl space
- Sarking
- Rugs
- Stored items
- Vegetation
- Wall linings

The presence of obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

### Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection

The risk of undetected defects is: **High**

When the risk of undetected defects medium or high we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

## Section D Significant Items

### Safety Hazard

#### Defects 1.01

Building:	Main Building
Location:	Subfloor >
Finding:	Electrical - Exposed Wiring
Information:	Exposed electrical wiring was observed in this area. This condition presents a potential significant risk of electric shock, fire, or injury if left unattended.

Possible causes include previous incomplete or unlicensed electrical work, accidental damage during renovations or maintenance or relocation of fittings leaving wiring exposed.

Immediate inspection and rectification by a licensed electrician is strongly recommended. The wiring should be secured, protected, and made compliant with current electrical safety standards without delay.



### Major Defect

No evidence was found

### Minor Defect

#### Defects 3.01

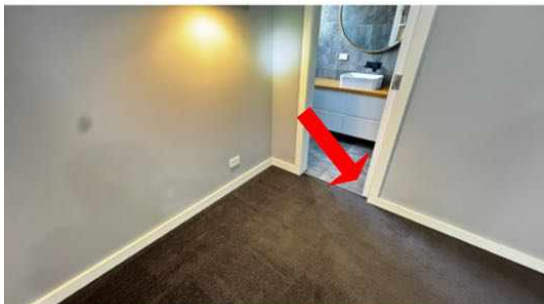
Building:	Main Building
Location:	All Areas
Finding:	Doors - Doors Binding
Information:	Binding or jamming of the door was observed in this area. This affects door functionality and may cause secondary damage to surrounding building elements,

such as floor coverings.

Binding can result from minor issues, including poor installation, worn hinges, or misalignment, or from more significant structural problems, such as subfloor movement or damage.

When practical, a qualified carpenter should be engaged to inspect and carry out necessary repairs. If the door continues to bind after repair, or if further movement is observed, a registered builder or structural engineer should be engaged immediately to inspect for underlying structural issues.



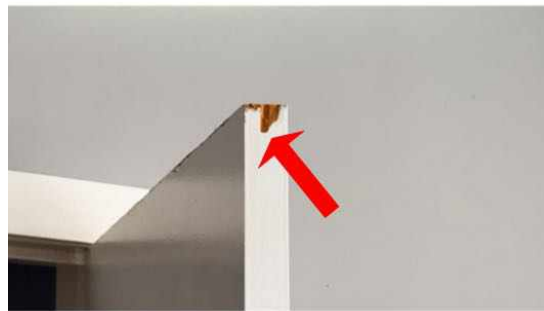
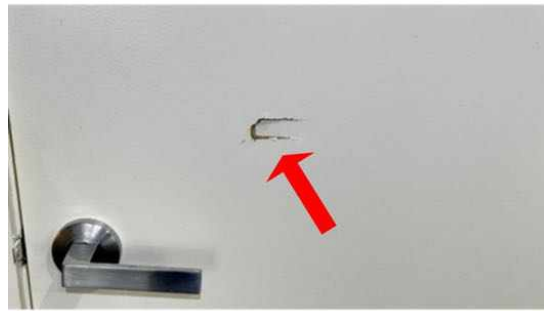


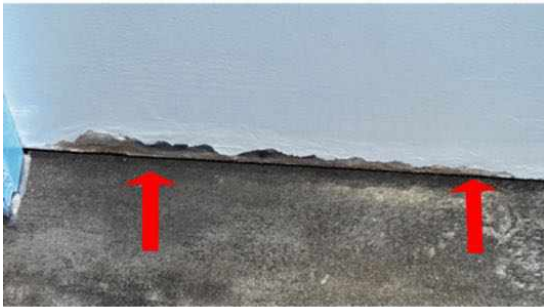
Defects 3.02

Building: Main Building  
Location: All Areas >  
Finding: Doors - Damaged Doors  
Information: The inspection identified doors with visible damage, including cracks, dents and splits. The damaged doors may affect operation, convenience, security, weatherproofing, and appearance.

The damage appears to be caused by age-related wear, poor maintenance such as inadequate painting or sealing, and minor structural movement affecting door alignment.

When practical, a qualified carpenter or door specialist should be engaged to repair, replace, or refinish the damaged doors. Prompt rectification will ensure safe operation, maintain security, and protect weatherproofing.





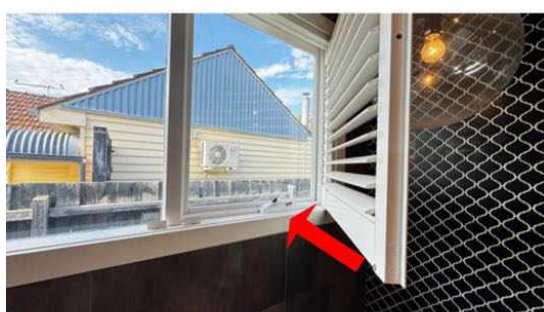
**Defects 3.03**

Building: Main Building  
Location: All Areas >  
Finding: Windows - Fittings & Hardware Deteriorated  
Information: Window fittings and hardware in this area were observed to be deteriorated. Deterioration of fittings and hardware can affect the functionality of the windows, reduce security, and, in some cases, make the windows difficult to open, close, or lock properly.

Possible causes include age-related wear, corrosion from moisture or environmental exposure, mechanical stress from repeated use, and lack of maintenance over time.

It is recommended that a window specialist or registered builder be engaged to assess the affected windows and replace any deteriorated fittings and hardware to restore proper function, security, and appearance.





### Defects 3.04

Building: Main Building

Location: Bedroom 2

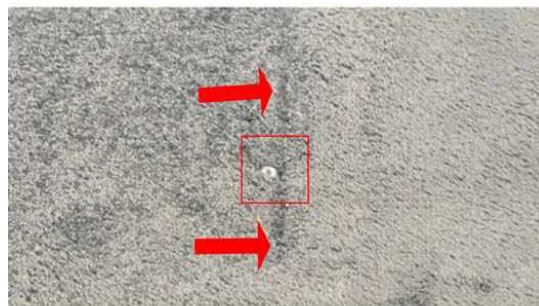
Finding: Floors - Carpet Damaged

Information: The carpet was inspected and found to be damaged in this area, with signs of wear and staining. Damaged carpet can reduce comfort, detract from the appearance of the space, and, over time, expose the subfloor to additional wear or moisture.

This condition may result from everyday use, accidental impact, or age-related deterioration.

A qualified flooring installer should be engaged when practical to clean, repair and or

replace the affected carpet. Timely attention will restore visual appeal, comfort, and the longevity of the flooring.



### Defects 3.05

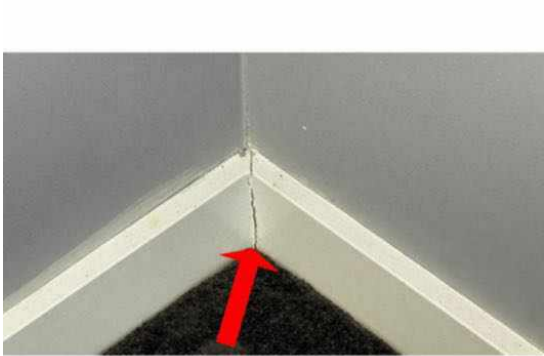
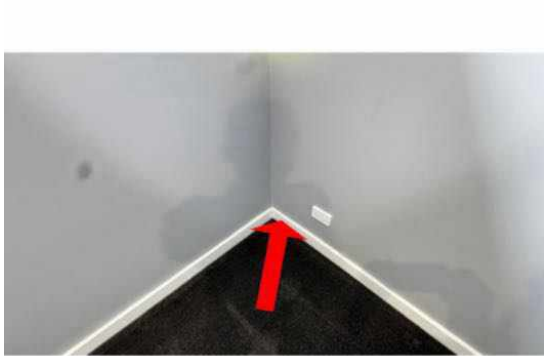
Building:	Main Building
Location:	All Areas
Finding:	Architraves & Skirting Boards - Minor Movement
Information:	Minor movement was noted in the architraves and skirting boards in this area, with small gaps at joints, slight separations from adjoining surfaces, and minor cracking in paint and sealant. This movement appears superficial and is generally related to normal timber behaviour or minor building settlement.

Common causes include seasonal timber shrinkage or expansion, slight building settlement, historic moisture or thermal movement, or insufficient fixing during installation. While largely cosmetic, these gaps and cracks can affect the appearance of finishes. If left unaddressed, minor deterioration may continue over time.

When practical, a qualified painter should be engaged to fill and repaint affected areas, to restore a neat finish.

Ongoing monitoring is advised, especially after seasonal changes. If movement worsens, a structural engineer should be consulted immediately to assess and recommend any necessary repairs.





**Defects 3.06**

Building: Main Building

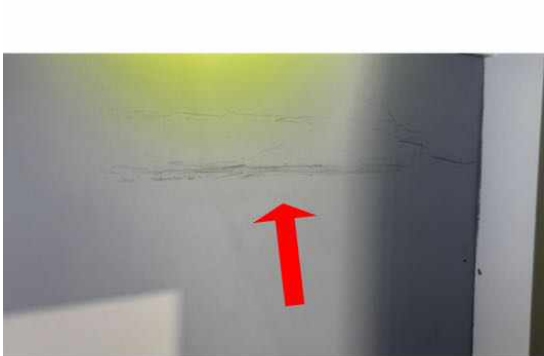
Location: All Areas

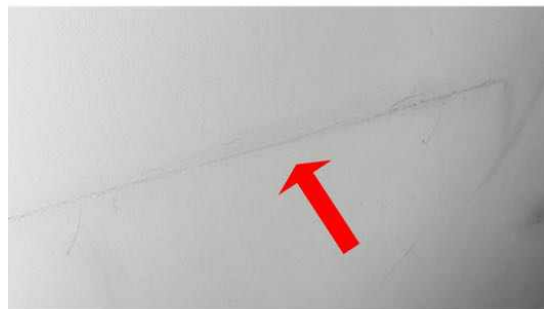
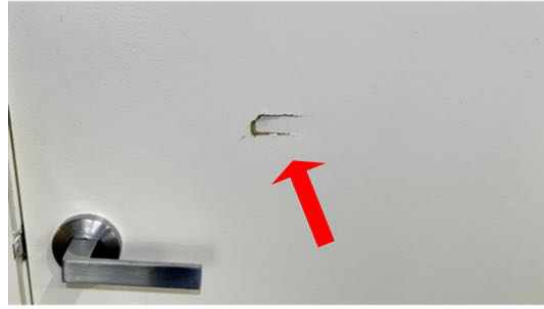
Finding: Walls - Scuff Marks

Information: The walls were inspected for paint condition, and discolouration was observed. While primarily a cosmetic issue, deteriorated paint may indicate poor surface preparation, or age-related wear.

Possible causes include age-related wear and impact damage.

A qualified painter should be engaged when practical to prepare and repaint affected areas. Addressing paint deterioration improves aesthetics and protects wall materials from further wear.





### Defects 3.07

Building: Main Building

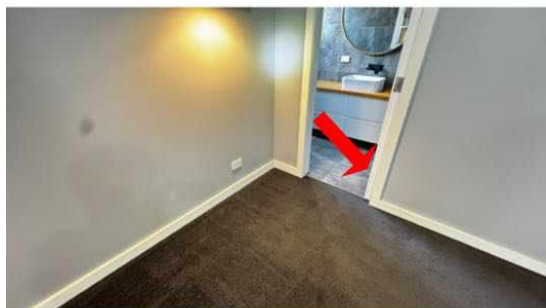
Location: Bathroom >

Finding: Architraves & Skirting Boards - Swelling

Information: During the inspection, swelling was observed to the skirting boards in these affected areas. Swelling of timber or composite finishes is commonly associated with moisture exposure and may lead to distortion, deterioration, or loss of adhesion if left unaddressed.

The condition may have been caused by moisture ingress from historic plumbing leaks, condensation, or previous water overflow from the Laundry area.

It is recommended that a licensed builder be engaged when practical to investigate the source of moisture, assess the extent of damage, and carry out repairs or replacement as required to prevent further deterioration.



### Defects 3.08

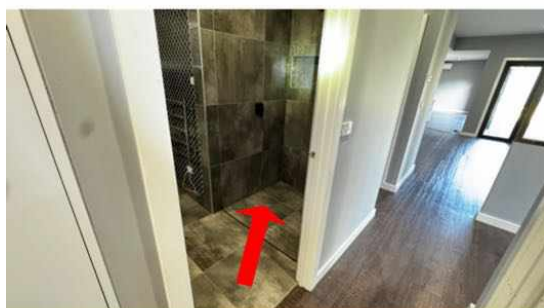
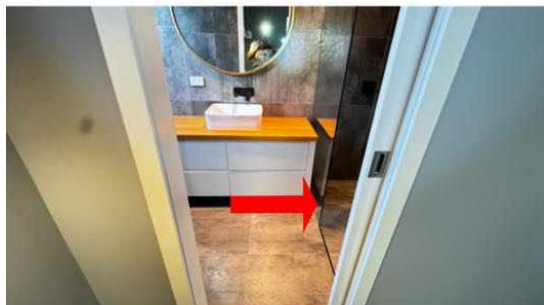
Building:	Main Building
Location:	Bathroom & Bathroom 2
Finding:	Shower Screen - No Shower Screen Doors
Information:	It was observed at the time of inspection that the shower screen is incomplete, with no shower screen doors installed. The absence of shower screen doors can result in uncontrolled water spray beyond the shower area, leading to water damage to adjoining finishes, flooring, wall linings, and fixtures.

Ongoing water exposure may also contribute to mould growth and deterioration of building materials if left unaddressed.

The condition is likely due to incomplete installation of the shower screen or omission during construction. Continued use of the shower without doors increases the risk of water ingress to adjacent areas and progressive damage to internal finishes.

It is recommended that a qualified glazier or bathroom installation contractor be engaged immediately to supply and install compliant shower screen doors. Any water-damaged finishes should be assessed and rectified once the shower screen

installation is complete to prevent further deterioration.



### Defects 3.09

Building:	Main Building
Location:	All Areas >
Finding:	Floors - Deviation In Levels
Information:	A deviation in surface levels of the concrete was observed in this area, with noticeable slopes, or undulations. Deviations in floor level can affect the performance of finishes and may indicate underlying structural or foundation issues.

The deviation may be due to differential settlement of footings or foundations, improper finishing or compaction during construction.

The affected area should be monitored over time to assess whether the deviation worsens. If further movement, additional dips, or other signs of structural concern are observed, a registered builder or structural engineer should be engaged immediately to inspect and provide advice on necessary repairs. Monitoring will help ensure the ongoing condition and safety of the floor.



Defects 3.10

Building: Main Building  
 Location: Bathroom 2  
 Finding: Bath Tub - Loose  
 Information: It was observed at the time of inspection that the bathtub is loose and not adequately secured. A loose bathtub can allow movement during use, which may compromise surrounding waterproofing, sealants, and junctions with walls and flooring. Ongoing movement increases the risk of water ingress, damage to adjacent finishes, and potential mould growth if left unaddressed.

The condition is likely due to improper installation, inadequate fixing, or failure of supporting structures or bedding. Continued use may result in progressive deterioration of waterproofing systems and increased repair costs.

It is recommended that a licensed plumber or qualified bathroom installation contractor be engaged as a matter of urgency to inspect the bathtub installation, securely fix the bathtub in accordance with manufacturer requirements, and reinstate any affected waterproofing or sealants. Repairs to surrounding finishes should only be undertaken once the bathtub has been properly secured and waterproof integrity restored.



### Defects 3.11

Building: Main Building  
 Location: Bathroom 2 >  
 Finding: Window Shutter - Operational Conflict With Light Fitting  
 Information: It was observed at the time of inspection that the window shutter opens inward and makes contact with a glass pendant light fitting. This operational conflict presents a risk of damage to the light fitting and window shutter, and poses a potential safety hazard due to the likelihood of glass breakage.

Continued use may result in damage to fixtures, risk of injury, and the need for replacement or repair if left unaddressed.

The condition is likely due to poor coordination between the window shutter

installation and the placement of the light fitting, with insufficient clearance provided for normal operation.

It is recommended that a qualified builder or suitably licensed tradesperson be engaged immediately to assess the window shutter operation and light fitting location, and to carry out appropriate remedial works. This may include adjusting or limiting the shutter opening, relocating the light fitting, or modifying one of the elements to ensure safe and unobstructed operation.



### Defects 3.12

Building:	Main Building
Location:	Kitchen >
Finding:	Floors - Timber Floor Damaged
Information:	Timber flooring was observed to be damaged in this area. The damage included scratches, dents, cracks, minor warping, and surface wear, which may affect the aesthetics, durability, and safe use of the floor.

Possible causes include impact or heavy foot traffic, water or moisture exposure, age-related wear, or poor maintenance.

When practical, a qualified carpenter or flooring specialist should be engaged to repair or replace the affected timber flooring. Prompt attention will restore appearance, durability, and safe use of the flooring.



### Defects 3.13

Building:	Main Building
Location:	Laundry
Finding:	Laundry Taps - Loose & Unstable
Information:	Taps were observed to be unstable in the laundry. Unstable taps can affect hygiene, cause water damage to surrounding surfaces, and may increase the risk of mould, damage to cabinetry, and structural deterioration.

This may be due to age-related wear, loose or improper installation, corrosion or failure of internal components, impact or mechanical stress, or other plumbing issues such as faulty connections.

A licensed plumber should be engaged immediately to inspect and repair or replace the unstable taps. This may include tightening or replacing fittings, securing the fixtures, and repairing any leaks. Prompt action will help prevent further water damage, maintain hygiene, and ensure safe operation.



### Defects 3.14

Building:	Main Building
Location:	Laundry & Kitchen >
Finding:	Ceilings - Paint Finishes Discolouration

Information: The ceilings were inspected for paint condition, and discolouration and uneven finishes were observed in this area. While primarily a cosmetic issue, the affected paint may indicate age-related wear, poor surface preparation, or previous repairs.

This may be due to age-related degradation of paint layers, poor application or surface preparation, or previous patching with incompatible paint.

When practical, a qualified painter should be engaged to prepare and repaint the affected areas. Addressing paint deterioration will improve the appearance of the ceilings and help protect the surfaces from further wear.



### Defects 3.15

Building: Main Building  
 Location: Laundry  
 Finding: Cabinets - Damaged  
 Information: Visible damage was noted to cabinet units, affecting both their appearance and functionality. If left unaddressed, the damage may worsen over time.

This damage may result from impact during installation or use, moisture exposure, poor-quality materials or finishes, or inadequate installation and protection during construction. \*No elevated moisture levels were detected at the time of inspection.

When practical, a qualified cabinetmaker should be engaged to repair or replace the

damaged components to restore proper function and appearance.



### Defects 3.16

Building: Main Building  
 Location: Laundry  
 Finding: Timber Floors - Deterioration  
 Information: The timber flooring was inspected, and signs of deterioration and surface wear were observed.

The deterioration appears to be caused by age, wear and tear and lack of maintenance. Deteriorated timber flooring can reduce structural integrity and affect the long-term performance and safety of the floor.

When practical, the building owners should consult with a registered builder for possible remedial works, which may include repairing, reinforcing, or replacing affected timber to restore structural integrity and safety.



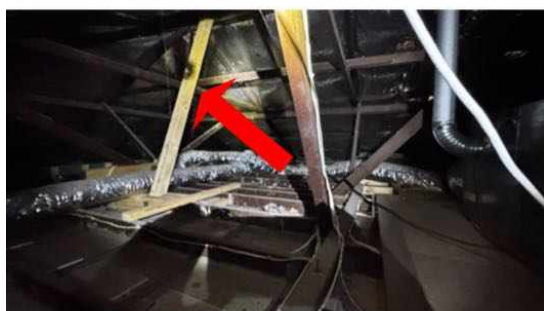
### Defects 3.17

Building: Main Building  
 Location: Roof Void >  
 Finding: Roof Void - Structural Roof Framing Altered

**Information:** During inspection of the roof space, structural members such as rafters, trusses, or joists were observed to have been cut or notched. The issue is present where these members have been altered, reducing their original size and strength.

This has likely occurred due to unauthorized modifications, installation of services without proper reinforcement, or poor original construction. Cutting or notching structural members can significantly reduce load-bearing capacity, compromise roof stability, and pose a serious safety hazard to occupants.

A structural engineer or registered builder is now required to inspect the roof space, assess the impact of the cut members, and undertake necessary remedial works. This may include reinforcement, replacement, or modification of affected members. Rectification should be completed immediately to ensure roof stability and occupant safety.



### Defects 3.18

**Building:** Main Building  
**Location:** All External Areas  
**Finding:** External Timber - Timber Rot  
**Information:** Timber elements including wall claddings, timber rails & posts, landscaping timbers, and other external timber surfaces were inspected and show signs of rot, decay and fungal attack in these areas. Softening, discoloration, splitting, and moisture

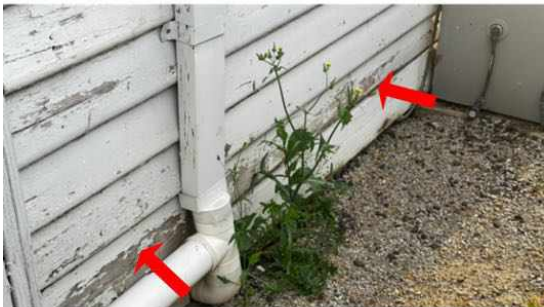
penetration indicate ongoing timber degradation.

This is likely caused by prolonged moisture exposure, inadequate protective coatings or maintenance, direct contact with soil or water, or poor detailing that traps water or limits ventilation.

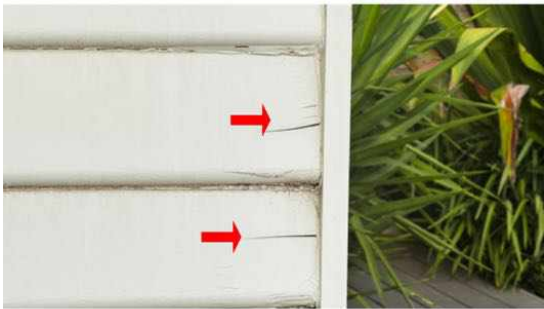
If left unaddressed, the affected timber may lose structural integrity, leading to progressive decay, potential collapse of walls, decks, or landscaping features, mould growth, and reduced durability and appearance of the building exterior.

A registered builder or timber specialist should inspect the affected areas immediately to determine the extent of damage. Damaged timbers should be repaired or replaced, protective treatments applied, and drainage or detailing corrected to prevent recurrence. Ongoing monitoring and urgent remedial action are required to prevent further deterioration.











**Defects 3.19**

Building: Main Building  
Location: All External Areas >  
Finding: AC Condensate Drain - Not Connected To Storm Water  
Information: The air conditioning condensate drain in this area was observed to be disconnected from stormwater drainage.

When condensate is not properly directed to a stormwater outlet, water can accumulate around the building or air conditioning unit, creating damp conditions that may lead to secondary defects such as timber rot, corrosion of nearby metal components, mould growth, or slippery surfaces. Prolonged pooling of water may also attract termites and contribute to long-term deterioration of surrounding building

elements.

A qualified HVAC technician or licensed plumber should be engaged immediately to connect the condensate drain to a suitable stormwater outlet. Prompt rectification will ensure proper drainage, protect the building fabric, and reduce potential health and safety risks.



### Defects 3.20

Building:	Main Building
Location:	All External Areas >
Finding:	HWS - (T&P) Valve Not Connected To Storm Water
Information:	The Hot Water System (HWS) Temperature & Pressure Relief (T&P) valve discharge pipe was observed to be disconnected from stormwater drainage.

When not properly connected, discharged water can create damp conditions around the HWS, potentially leading to secondary defects such as timber rot, corrosion of nearby metal components, mould growth, or slip hazards. Prolonged exposure to moisture in this area may also attract termite activity and contribute to long-term deterioration of surrounding building elements.

A licensed plumber should be engaged immediately to connect the T&P discharge pipe to a suitable stormwater outlet or floor waste. Prompt rectification will ensure safe operation of the HWS, protect surrounding structures, and reduce potential health and safety risks.

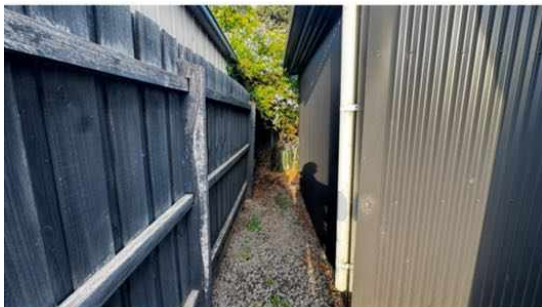


### Defects 3.21

Building: Main Building  
 Location: Fencing All Areas  
 Finding: Fencing - Deteriated  
 Information: Timber fencing was inspected and deterioration was observed in this area. Deteriorated fencing can compromise structural stability, reduce privacy, and may allow pest ingress or accelerated decay if left unaddressed.

Possible causes include age-related timber decay, prolonged exposure to moisture or sunlight, poor maintenance, or impact damage.

When practical, a qualified carpenter or fencing specialist should be engaged to repair or replace affected sections, and a qualified painter should be engaged to restore protective finishes. Prompt rectification will maintain structural performance, improve appearance, and extend the lifespan of the fencing.







**Defects 3.22**

Building: Main Building  
Location: All External Areas >  
Finding: Paving - Minor Cracking  
Information:

The external paved areas were visually inspected. Minor cracking, uneven surfaces, and general wear were observed in this area. These defects do not currently affect structural safety but may reduce durability, appearance, and safe pedestrian access.

This may be caused by age-related deterioration of concrete, pavers, or other materials, soil movement or settlement beneath paved surfaces, tree root intrusion or erosion, or inadequate original installation or sub-base compaction.

A qualified landscaper should be engaged as soon as possible to repair or resurface sections as required. Rectification will restore even surfaces, reduce trip hazards, and improve the serviceability and appearance of the paved areas.



**Defects 3.23**

Building: Out Building  
Location: Shed >  
Finding: Concrete - Minor Cracking To Concrete Surface  
Information:

Concrete surfaces were inspected and minor cracking was observed in this area.

While minor cracks are generally cosmetic, they may indicate normal shrinkage, settlement, or minor movement and should be monitored over time to ensure they do not worsen.

The cracks may be caused by shrinkage of concrete as it cures, minor settlement of footings, thermal expansion or contraction, or age-related wear.

The affected area should be monitored, and if cracks widen, additional movement occurs, or other signs of structural concern are observed, a registered builder or structural engineer should be engaged immediately to assess and provide advice on remedial works. Prompt attention will help maintain the integrity and safety of the concrete surface.

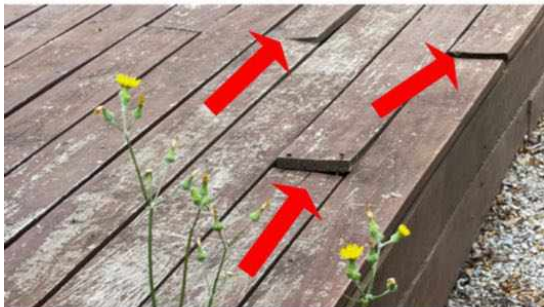


**Defects 3.24**

Building: Main Building  
Location: Deck  
Finding: Decking - Poor Condition  
Information: The external decking was inspected, and evidence of timber deterioration, loose and corroded fixings, warping, cracking, and uneven boards was observed.

The deterioration appears to be caused by age-related timber decay, weathering from sun, rain, and moisture and inadequate maintenance.

When practical, a registered builder or qualified carpenter should be engaged to inspect, repair, or replace affected decking components. Remedial works may include reinforcing or replacing damaged timber, securing loose fixings, and applying protective coatings to maintain safety and prolong the lifespan of the decking.



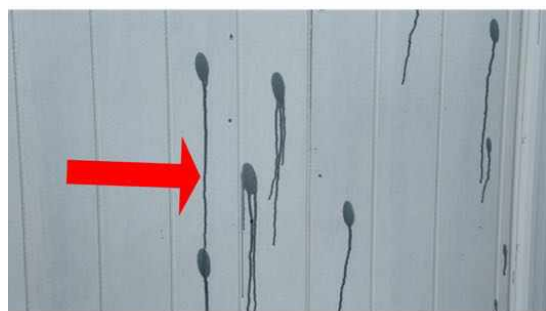


### Defects 3.25

Building:	Main Building
Location:	Exterior walls - rear
Finding:	Paint - Poor Paint Finish External
Information:	Poor paint finishes were observed in this area. The defects include uneven coverage, brush and roller marks, drips, and areas of peeling and flaking, which affect the visual appearance of the surfaces.

Poor paint finish can result from inadequate surface preparation, application over damp or unprimed surfaces, use of low-quality paint, or environmental conditions during painting. While primarily cosmetic, these issues may reduce the durability of the painted surfaces if left unaddressed.

It is recommended that a qualified painter be engaged immediately to prepare and repaint the affected areas. Rectification will restore an even, visually appealing finish and help protect the underlying surfaces from premature deterioration.



### Defects 3.26

Building:	Main Building
Location:	Subfloor
Finding:	Sub Floor - Stumps Dropping

Information:

The subfloor stumps were observed to be dropping and settling unevenly. The issue is present where the floor is sagging and load is unevenly distributed.

This has likely occurred due to ground movement, soil erosion or age-related deterioration of stumps. Dropping stumps can compromise the integrity of bearers and joists, increase the risk of structural failure, and create a serious safety hazard.

A registered builder or structural engineer is required to inspect the subfloor immediately, assess the affected stumps, and undertake remedial works. This should be rectified as soon as possible to restore structural stability and ensure safety.





### Defects 3.27

Building: Main Building

Location: Subfloor

Finding: Sub - Floor - Stored Items, Rubbish & Debris

Information: The subfloor was observed to contain stored items, rubbish, and debris. The issue is present where clutter restricts access and covers surfaces beneath the building.

This has likely occurred due to accumulation of materials over time or inadequate cleaning. Excess items can conceal defects, restrict inspections and maintenance, increase pest activity, and create fire or safety hazards.

This observation is provided for information only. When practical, a competent handyman should be engaged to remove all rubbish and clear access to ensure safe inspection, maintenance, and ongoing monitoring of the subfloor.







### Defects 3.28

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof Plumbing - Roof Flashings Missing
Information:	The inspection identified missing roof flashings in some areas. Flashings are essential for directing water away from joints and penetrations in the roof. Missing flashings can lead to water ingress, leaks, corrosion, and damage to the underlying roof structure.

The absence of flashings may be due to poor installation, previous damage, or maintenance issues.

It is recommended that a licensed plumber or roofing specialist be engaged immediately to install the missing flashings. Prompt action will help maintain the roof's water-tightness, prevent structural damage, and prolong the service life of the roofing system.



**Defects 3.29**

Building: Main Building  
Location: Roof Exterior  
Finding: Roof Plumbing - Gutters Leaking  
Information: Gutters in this area are leaking and not containing water effectively. The issue is observed along the gutter runs where joints, seams, and the gutter surface show signs of leakage.

This has likely occurred due to poor installation. Leaking gutters may cause water to overflow onto walls, windows, foundations, or landscaping, potentially leading to water damage or erosion.

A licensed roof plumber is required to inspect and repair or replace the leaking gutters in this area. This should be rectified immediately to ensure water is directed safely to the stormwater system and to prevent further damage to the building.





### Defects 3.30

Building:	Main Building
Location:	Roof Exterior
Finding:	Roof Plumbing - Gutters Blocked
Information:	Gutters in this area are blocked and not allowing water to flow freely. The issue is observed along the gutter runs where leaves, debris, or other obstructions have accumulated.

This has likely occurred due to lack of maintenance or build-up of debris over time. Blocked gutters may cause water to overflow, damage the roof, walls, or foundations, and increase the risk of erosion or water ingress.

A licensed roof plumber or competent handy man is required to inspect and clear the blocked gutters in this area. This should be rectified immediately to ensure water drains correctly and to prevent potential damage to the building.





### Defects 3.31

Building:	Main Building
Location:	Roof Exterior >
Finding:	Roof Plumbing - Downpipes Not Connected To Storm Water
Information:	Downpipes in this area are not connected to the stormwater drainage system, allowing water to discharge directly onto surrounding ground.

This has likely occurred due to missing connections, poor installation, or design oversight. Uncontrolled water discharge may cause erosion, pooling, water ingress near the building, and potential damage to landscaping, paving, or foundations.

A licensed roof plumber is required to inspect and connect the downpipes to the stormwater system in this area. This should be rectified immediately to ensure proper drainage and prevent potential water damage.



### Defects 3.32

Building:

Location: All External Areas

Finding: Site Drainage - Inadequate

Information: The overall site drainage was observed to be inadequate at the time of inspection. Poor drainage can cause water to pond near external walls, increasing the risk of rising damp, foundation movement, timber decay, and deterioration of associated building elements.

Ground levels should slope away from the dwelling to direct water from walls and footings. Downpipes must be properly connected to the stormwater system and should not discharge directly onto walls, paving, or plinths. Stormwater should be directed away from the property through adequately sized and maintained drains. Where ground levels are too high and cover the damp-proof course (DPC), lowering the levels may be necessary to expose the DPC and allow effective drainage.

A licensed plumber should be engaged promptly to investigate and recommend suitable remedial works, which may include the installation of an agricultural (aggie) drain or other site drainage improvements. Immediate action is strongly recommended, as inadequate drainage can lead to progressive water damage and secondary building defects over time.







## Section D Significant Items

### D4 Further Inspections

We advise that you seek additional specialist inspections from a qualified and, where appropriate, licensed

- As identified in summary and defect statements

Jim's Building Inspections can put you in contact with qualified and licensed providers of these and other trades services. Please contact your inspector for recommendations, or visit [www.jims.net](http://www.jims.net).

### D5 Conclusion - Assessment of overall condition of property

- Dear Lydia and family,

THANK YOU

Thank you for engaging me to conduct your Building Inspection today. It was an absolute pleasure.

Buying a property is one of the biggest financial and emotional decisions you'll ever make, and I want you to feel supported every step of the way.

\*Building Inspection reports often highlight defects - sometimes major, sometimes minor. Please don't be alarmed. Instead, I encourage you to read my report in its entirety and then to contact me when convenient so we can go through my findings together, and in more detail.

My mission is simply to protect you, your family, and your investment.  
Please find my overall summary below.

Best Regards  
Jamie

Building Inspection Report Summary – This building inspection report MUST BE READ IN FULL.  
Reliance should not be placed on the summary alone.

Overall, compared to other buildings of similar age and construction, the property appears to be in generally FAIR CONDITION. Minor Defects, and maintenance issues were observed that will require immediate attention and remedial works. If left unmanaged, some of these defects may worsen over time and develop into more significant and costly issues.

Please note that the inspection was subject to limitations, including areas obstructed by furniture, stored items, fixed joinery, floor coverings, blinds, curtains, soft furnishings, artwork, or ceiling linings. These obstructions may have prevented a full visual assessment of some building elements.

\*Safety Hazards Found;  
Observed (as per AS 4349.0-2007).

-Exposed electrical wiring was observed in the sub-floor. This condition potentially presents a significant risk of electric shock, fire, or injury if left unchecked. - Immediate inspection and rectification by a licensed electrician is strongly recommended.

\*Major Defects Found;  
Non Observed (as per AS 4349.0-2007).

\*Minor Defects Found;  
Observed (as per AS 4349.0-2007).

All minor defects and maintenance issues identified in this report should be addressed promptly to prevent escalation into major defects or potential safety hazards.

Gypsum wall linings were observed throughout the property, which have the potential to conceal underlying structural defects or water ingress. Ceilings, walls, windows, door openings, and wet areas were inspected and tested using both a Thermal Camera & a Tramex Moisture Meter. No elevated moisture levels were detected at the time of inspection, other than those defects specifically identified within the body of this report.

Regardless, these areas should still be regularly monitored, and further investigation is recommended should any signs of moisture ingress, structural movement, or other defects become evident in the future.

Based on these observations, the risk of undetected defects is assessed as HIGH.

It is strongly recommended that areas not visible during inspection be reviewed again, and further investigation conducted where practical to ensure all latent defects and risks are identified.

An additional second manhole should also be installed in an appropriate ceiling location to allow safe and regular access for inspection of the roof void.

\*Items for Your Information

- Asbestos Risks: This was not an asbestos inspection.
- Timber Pests: No termite management system was observed.
- Maintenance: Ongoing preventative maintenance (gutters, drainage, repainting, sealing cracks) is essential.

\*Inspection Limitations

This inspection was non-invasive and subject to a lot of access limitations, including but not limited to sub floor & roof space access, furniture, fixed joinery, floor coverings, blinds, soft furnishings, wall coverings, artwork, stored goods, landscaping and concealed structural elements.

If you would like to discuss any part of this report in more detail, or if you need further assistance with next steps, please do not hesitate to contact me.

I'm happy to help in any way I can.

'It's sad but true - All buildings, plans & construction projects hide costly defects. Let me Inspect before you invest - It's the smartest move you'll ever make.'

Best Regards,  
Jamie Daou

Master Builder  
Licence No: DB-U 37884  
Specialist Building Consultant  
Registered Building Practitioner  
Forensic Building Defects Investigations  
VCAT Expert Witness, Building Dispute Matters

For further information, advice and clarification please contact Jamie Daou on: 0405 484 010

## Section D Significant Items

### The following items were noted as - For your information

#### Noted Item

Building: Main Building  
 Location: Entry  
 Finding: Mirrors - Scratched  
 Information: Minor surface scratching was observed to the mirrors at the time of inspection. While the damage appears cosmetic in nature, scratching detracts from the overall appearance and finish of the mirrors and may become more noticeable under certain lighting conditions.

The condition is likely due to handling, installation, or contact with abrasive materials during construction or subsequent use.

It is recommended that a qualified glazier or building contractor be engaged to assess the extent of the scratching and determine whether polishing, repair, or replacement of the affected mirrors is required to achieve an acceptable finish.



#### Noted Item

Building: Main Building  
 Location: Roof Void  
 Finding: Roof Void - Limited Access  
 Information: Limited access to the roof void was present due to facts including but not limited to, limited access, insulation, Air condition Unit & ducting, obstructions or placement of insulation and or sarking, for this reason complete access to the roof void was not possible.

A visual inspection was carried out from accessible areas only, recommend installing another access hatch in a more accessible area for a re-inspection.

Additional photos are supplied for your general reference.

NOTE: Unless all insulation is removed from the roof space a full inspection is never possible, timber pest or termite activity and/or damage may not be visible.



**Noted Item**

Building: Main Building  
Location: Roof Void >  
Finding: Roof Void - Debris & Rubbish  
Information: Debris and rubbish were observed within the roof void.

The accumulation of foreign material can create an unhygienic environment, attract pests, and compromise the overall condition of the roof space.

It is recommended that a competent handy man be engaged to safely remove the debris. Prompt removal will maintain proper ventilation, improve hygiene, and allow safe and effective inspection and maintenance of the roof void.



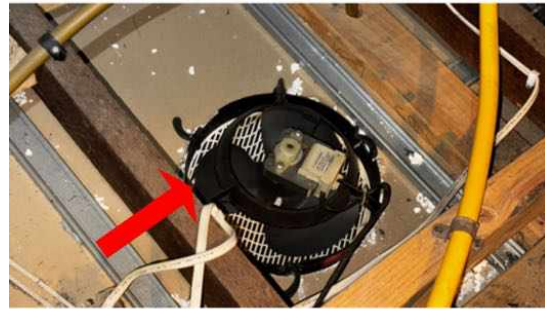
**Noted Item**

Building: Main Building  
Location: Roof Void >

**Finding:** Roof Void - Exhaust Fans Not Ducted To Atmosphere  
**Information:** The exhaust fans in the roof void are not ducted to the atmosphere. The issue is observed where fan outlets discharge directly into the roof space instead of venting outside.

This has likely occurred due to incomplete installation or missing ducting. Unducted fans may cause moisture buildup, condensation, and potential damage to insulation, ceiling linings, or timber, increasing the risk of mould growth and structural deterioration.

A licensed HVAC technician or licensed roof plumber is required to install proper ducting to vent the exhaust fans to the atmosphere. This should be rectified immediately to prevent moisture-related damage and maintain the performance of the ventilation system.

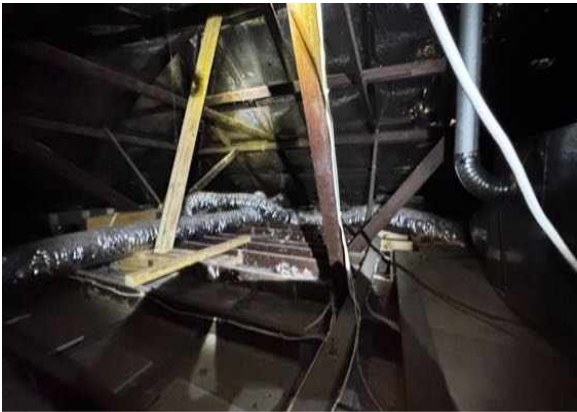


### Noted Item

**Building:** Main Building  
**Location:** Roof Void >  
**Finding:** Roof Void - No Insulation  
**Information:** Insulation in the roof void was found to not be installed. This reduces its effectiveness in maintaining thermal efficiency.

The issue may result from poor workmanship during installation or movement of insulation after installation. If not corrected, no insulation can increase heating and cooling costs and may create cold spots that lead to localized condensation or moisture issues.

A qualified insulation installer should be engaged promptly to assess the roof void and add insulation as needed to ensure full, even coverage without compression. Regular monitoring is recommended to maintain thermal performance.





**Noted Item**

Building: Main Building  
Location: Subfloor  
Finding: Sub Floor - Limited Access  
Information: The subfloor area was observed to have restricted, limited and difficult access. The issue is present where limited space and obstacles prevent safe entry and movement beneath the building.

This has likely occurred due to inadequate access points. Poor access can impede inspections, maintenance, and timely identification of structural, pest, or service issues, increasing long-term repair costs and safety risks.

A registered builder is required to assess and improve subfloor access. This should be addressed as soon as possible to ensure safe entry, proper inspection, and maintenance of the subfloor.





### Noted Item

Building:	Main Building
Location:	All Areas
Finding:	Asbestos - Suspected ACM Identified On Site
Information:	Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos to areas inside and outside the property.

As Asbestos Reporting is outside the scope of this report, we **STRONGLY** advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution not only to the areas within the report but all areas within the property, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos







**Noted Item**

Building: Main Building  
Location: All Internal Areas  
Finding: Smoke Detectors - Advisory  
Information:

During the inspection, smoke detectors were noted for advisory purposes only. The operation, age, type, and compliance of smoke detectors could not be fully verified as part of this inspection.

Smoke detectors are critical life-safety devices, and non-compliant, outdated, or non-operational units may not provide adequate warning in the event of a fire.

It is recommended that a licensed electrician be engaged immediately to test, service,

and upgrade smoke detectors as required to ensure correct operation and compliance with current safety requirements.



**Noted Item**

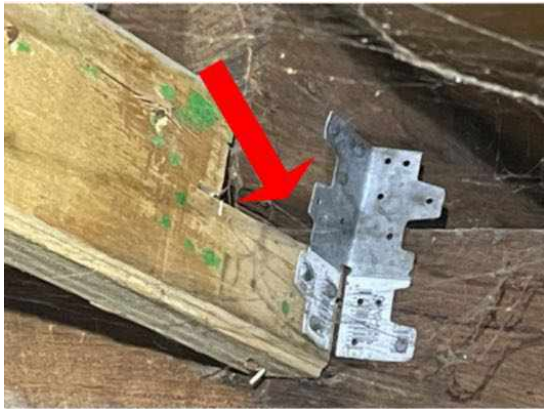
Building: Main Building  
Location: All Areas  
Finding: Building Approvals – Prior Renovations Advisory  
Information: For your information, the dwelling has undergone several renovations over the past years. Evidence of multiple alterations and upgrades was observed at the time of inspection. The inspection did not include verification of council approvals, permits, or compliance documentation for these works.

Unapproved or undocumented renovations may present compliance, safety, insurance, or resale risks if not properly approved or certified.

It is strongly recommended to make enquiries with the relevant local council immediately and engage appropriately qualified professionals, where necessary, to confirm that all historic renovations were carried out with the required permits, approvals, and certifications.







**Noted Item**

Building: Main Building  
 Location: Subfloor >  
 Finding: Sub Floor - Evidence of Historic Re-Stumping and Floor Level Deviations  
 Information: Evidence of historic re-stumping works was observed within the subfloor area at the time of inspection. Variations and deviations in floor levels were also noted, which may indicate movement, settlement, or uneven performance of the existing stumps.

The condition may be due to age, soil movement, differential settlement, or the adequacy of previous re-stumping works.

Continued movement could result in further floor level variations, cracking to finishes,

or operational issues with doors and windows if left unaddressed.

It is recommended that a qualified and licensed re-stumping contractor be engaged immediately to assess the subfloor structure, verify the condition and adequacy of the existing stumps, and advise on any remedial works required to stabilise floor levels and prevent further movement.





## Noted Item

Building: Main Building  
 Location: All Internal Areas  
 Finding: Water Supply & Drainage - Shower, Basins, Toilets, & Plumbing Fixtures  
 Information: The shower recess was tested, and no visible water penetration to surrounding areas was observed at the time of inspection, except where noted as a separate defect elsewhere in this report. Water appeared to flow freely toward the floor waste. Moisture detected to the shower walls is documented separately in the report. The shower floor waste appeared clear during inspection.

Flushing the toilet revealed no visible leaks, and the fixture appeared to operate normally unless otherwise noted as a separate defect. No water damage was observed to the vanity unit unless specifically stated elsewhere in the report. Basins, bathtubs, laundry tubs, vanities, and sinks were tested and inspected with no evidence of leaks, blockages, or drainage issues at the time of inspection unless otherwise noted. All internal taps and shower heads were tested with no leaks observed, unless documented as a separate defect.

### \*Important Note:

This inspection provides a snapshot of performance at the time of testing. Water leaks or drainage issues may not become apparent until the fixtures are used consistently over time and surrounding areas are monitored.



Noted Item

Building: Main Building  
 Location: All Areas Interior & Exterior  
 Finding: Moisture Levels - Advisory - No Elevated Moisture Levels Present  
 Information: At the time of inspection, no elevated moisture levels were detected in these areas. Moisture readings were taken (using a Tramex Moisture Meter) and non-invasive testing methods and reflect conditions present at the time of inspection only. This item is noted for advisory purposes and should not be relied upon as a guarantee that moisture issues are not present elsewhere or may not occur in the future.

It is important to note that moisture levels can fluctuate due to weather conditions, plumbing usage, seasonal changes, or intermittent leaks. Concealed moisture within wall cavities, subfloor areas, or other inaccessible locations may not be detected during a visual or limited moisture assessment.

Ongoing monitoring of the property is recommended, and further investigation by a qualified tradesperson should be considered if signs of water ingress, dampness, staining, mould growth, or material deterioration become apparent.

### Noted Item

Building: Main Building  
 Location: All Areas Interior & Exterior  
 Finding: Thermal Scanning & Diagnostic - Advisory - No Elevated Moisture Levels Present  
 Information: During the inspection, a thermal imaging camera was utilised as a non-invasive diagnostic tool to assist in identifying potential irregularities associated with moisture ingress, heat loss, insulation deficiencies, or concealed building defects. Thermal imaging detects surface temperature variations that may indicate abnormal conditions within building elements.

Any thermal anomalies identified during the inspection were further assessed where accessible using visual inspection methods and moisture testing. It is noted that thermal imaging is an indicative tool only and does not confirm the presence of defects or moisture without supporting evidence.

Due to the concealed nature of building construction and the limitations inherent in non-invasive inspection methods, the absence of significant thermal anomalies at the time of inspection does not guarantee that concealed defects or moisture issues are not present. Ongoing monitoring and further investigation are recommended should concerns arise.

### Noted Item

Building: Main Building  
 Location: All Areas, Interior & Exterior  
 Finding: Appliances, Heating & Cooling Systems, Mechanical Systems, Plumbing, Electrical,

Information: Fireplaces - Advisory

The inspection did not include testing, operation, safety, or assessment of any installed or portable appliances or mechanical systems. This includes, but is not limited to, ovens, cooktops, microwaves, rangehoods, dishwashers, ducted vacuum systems, air-conditioning units, heating systems, hot water services, ceiling fans, exhaust fans, intercoms, security systems, fireplaces, and solid fuel heaters.

Any observations or images relating to appliances are provided for your information only and cannot be relied upon as part of this building inspection.

Where appliances are beyond their warranty period, the owner should be prepared for potential costs of repair or replacement at any time. The operation of these appliances cannot be guaranteed, and further inspection by a licensed tradesperson may be required. Many appliances are only covered by limited manufacturer or installer warranties. Confirming warranty status is strongly recommended prior to purchase, as out-of-warranty items may require servicing, replacement, or certification by a qualified technician.

In accordance with AS 4349.1–2007 (Pre-Purchase Building Inspections – Residential), appliances and mechanical systems are excluded from the scope of a standard building inspection. These systems may present electrical, gas, or fire safety risks if not properly maintained, serviced, or installed.

Do not rely on this inspection to confirm that all appliances or mechanical systems are functioning.

Appliances may be worn, damaged, or malfunctioning. Electrical or gas appliances can pose serious safety hazards if incorrectly installed or maintained.

A licensed electrician, plumber, gasfitter, or HVAC technician should be engaged at the building owners discretion to:

Test the operation of all appliances and mechanical systems.

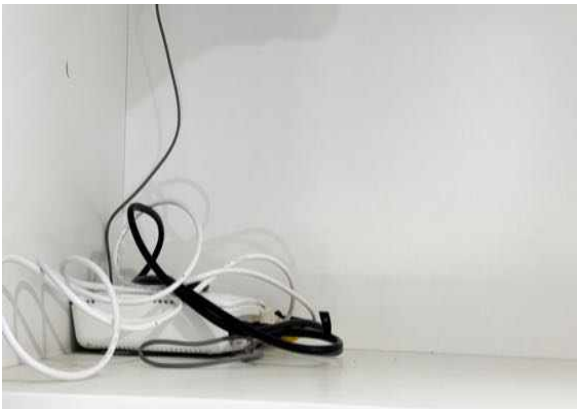
Assess safety, compliance, and certification requirements.

Service, repair, or replace equipment as necessary, particularly where service history or warranty coverage is unknown.

Inspect any water, gas, or electrical connections associated with appliances to ensure safety and compliance.

Observations and images of appliances are for informational purposes only and do not form part of the formal building inspection.







### Noted Item

Building: Main Building

Location:

Finding: Electrical Switch Board - Location

Information: For your information, the main electrical switchboard was visually inspected. No intrusive testing or detailed electrical assessment was performed as part of this inspection.

For full compliance and safety verification, a licensed electrician should be engaged to inspect the switchboard, test all circuits, and ensure all components are functioning correctly. This will help maintain electrical safety and prevent potential hazards.

(AS 4349.1-2007: Electrical Switchboard & meter inspections are for your information only, as functional testing is outside the scope of a standard pre-purchase building inspection.)



### Noted Item

Building: Main Building  
 Location: All External Areas  
 Finding: Gas Meter - Location For Your Information  
 Information: The gas meter was inspected and photographed for reference and location purposes only.

Gas meters can be affected over time by age, environmental exposure, or accidental impact, which may lead to corrosion, physical damage, leakage, or non-compliance with current regulations. Regular checks are recommended to ensure ongoing safe operation.

For your information, a licensed gasfitter should be engaged to carry out routine inspections and maintenance.

Observations are for informational purposes only and do not constitute a full safety or compliance inspection.

(AS 4349.1–2007: Gas meter images are for your information only, as functional testing is outside the scope of a standard pre-purchase building inspection.)



### Noted Item

Building: Main Building  
 Location: All External Areas  
 Finding: Water Meter - Location For Your Information Only  
 Information: The water meter was photographed at the time of the inspection. The meter is included for reference & location purposes only.

Advisory / Possible Risks:

Water meters can be affected over time by age, environmental exposure, accidental impact, or poor maintenance. Potential issues could include leaks, corrosion, or malfunction that may impact water supply or cause water damage.

Recommendation / Actions:

It is recommended that a licensed plumber carry out routine inspections and maintenance to ensure continued safe and compliant operation. Observations are for informational purposes only and do not form part of a full safety or compliance inspection.

(AS 4349.1–2007: Water meter images are for your information only, as functional testing is outside the scope of a standard pre-purchase building inspection.)



## Noted Item

Building:  
 Location:  
 Finding: Neighbouring Properties - For Your Information  
 Information: Neighbouring properties were visually inspected from publicly accessible areas. No detailed structural, noise, or compliance testing was performed as part of this inspection.

Recommendation: For concerns regarding noise, encroachments, or structural issues affecting neighbouring properties, it is recommended to engage relevant specialists (e.g., acoustic consultant, building surveyor, or a registered builder) and/or contact the local council.

(AS 4349.1–2007: inspection of neighbouring properties is not included in standard pre-purchase building inspections; this statement is for your information only.)



## Noted Item

Building:

Location:

Finding: Council Assets - Footpaths, Crossovers, & Adjacent Infrastructure

Information: For your information, council-owned assets located on or adjacent to the property, including footpaths, vehicle crossovers, kerbs, drainage pits, street signage, and other infrastructure, were visually inspected where accessible.

During the inspection, minor cracking, surface wear, or uneven sections were observed on footpaths or crossovers. Some accessible metal components, such as street signage or grates, showed signs of rust or deterioration. Debris accumulation and vegetation encroachment were also noted around council infrastructure. Access or visibility was limited to certain council-owned assets.

These areas should be monitored, and for detailed assessment, maintenance, or compliance verification, the relevant local council authority should be contacted immediately. Regular monitoring of adjacent council assets is recommended to ensure ongoing safety and proper maintenance.

(AS 4349.1–2007: inspection of council-owned infrastructure is not included in standard pre-purchase building inspections; this statement is for your information only.)



**Noted Item**

Building:

Location: All Areas

Finding: Additional Photos - Obstructions & Limitations

Information: These photographs provide evidence of obstructions and restrictions that prevented full access to certain areas of the property at the time of inspection. Such obstructions may include stored goods, furniture, floor coverings, stored building materials, dense vegetation, vehicles, or fixed finishes.

It is important to note that these restrictions can conceal a wide range of building defects, including but not limited to:

Structural damage such as cracking or movement in walls, floors, or ceilings.

Water ingress, rising damp, or drainage issues.

Pest activity such as termites or timber decay.

Electrical, plumbing, or safety hazards.

Because these areas could not be visually assessed, no comment can be made on their condition within this report.

Recommendation:

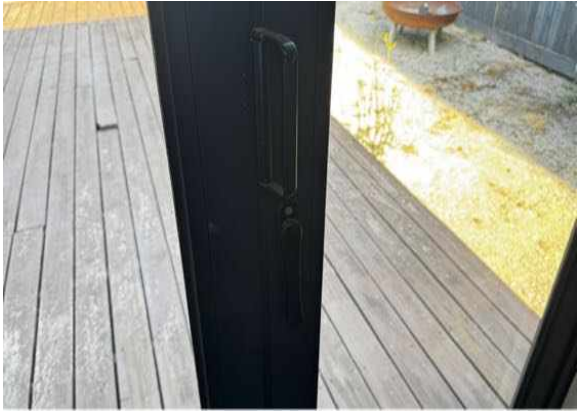
It is strongly recommended that obstructions be removed and concealed areas made fully accessible immediately. A re-inspection should then be carried out to allow a complete assessment of the property's condition. This is particularly important prior to purchase, as defects in concealed areas can carry significant rectification costs.















## Noted Item

Building:

Location:

Finding:

Information:

Client Testimony - Rebel & Richard Hungerford

"After recently engaging Jamie to undertake a pre-purchase building and pest inspection on a prospective property to purchase in Melbourne; I am confident to highly recommend Jamie for all building inspection purposes. After utilising other building consultants for various property purchases and having seen many reports I have disappointingly arrived at the conclusion that most provide little value add information to the purchasing process. Information that a buyer necessarily draws on to make a significant financial decision. Jamie prioritises this value add, in his work, stating repeatedly that a major focus of his effort is the protection of his clients. This is a rare demonstration of his professional ethics within an industry that suffers from a lack of integrity in general. The attention to detail, detailed explanations and photographic evidence provided in his reports are pivotal examples of this work ethic and subsequent value add to the purchaser's decision making process. Jamie allocates more actual time onsite than most, thoroughly assessing and providing expert advice based on his many years of experience in the building industry. As an example, Jamie took extra time to assess our building which had some major defects present to ensure he covered all bases. The follow up was great and he generously answered all questions in respect to the report. I plan to engage Jamie exclusively in future for all my building consultation needs.

I am 100% happy to recommend Jamie due to his integrity, reliability, and expertise."

Rebel & Richard Hungerford"



**Noted Item**

Building:

Location:

Finding: Client Testimony - Kim & Family

Information: "Jamie is an outstanding Registered Builder and Building Inspector and an absolute professional to deal with. He has a deep understanding of high-end luxury residential properties, and it's clear his expertise comes from decades of hands-on experience building beautiful homes in Bayside.

He has an exceptional ability to identify hidden defects, construction shortcuts, and potential risks that could easily turn a dream home purchase into a costly mistake. Jamie also takes the time to explain everything in a clear, honest, and easy-to-understand way. There's no pressure and no confusion and he delivers practical advice you can trust.

What I appreciated most was Jamie's personal approach. He genuinely cares about his clients and treats every inspection as if it were his own personal home or investment.

Thank you again Jamie

Kim & family :)"



## Noted Item

Building:

Location:

Finding: Client Testimony - Chris & Family

Information: "Jamie was extremely helpful. He explained everything I needed to know before and during the process, communicating very well. Additionally, his attention to detail and extensive knowledge provided myself an excellent report.

Highly recommend!"



## Noted Item

Building:

Location:

Finding: Client Testimony - Bianca & Family

Information: "We had a great experience from start to finish. Jamie was professional, punctual, and extremely thorough. His detailed inspection report saved us money by clearly identifying issues we could address during negotiations, giving us real peace of mind before purchasing. The report was easy to understand and delivered promptly.

Highly recommend Jamie to anyone looking for a reliable and honest building inspection."



### Noted Item

Building:

Location:

Finding: Clients Testimony - Henry & Family

Information: " Jamie is super passionate about his role in the industry, makes being a client easy and care free.

Thanks Jamie!"



## Terms on which this report was prepared

This report is based on the condition of the property at the time of inspection. We strongly recommend re-inspection 30 days after this report is issued as the general condition of the property is likely to have changed, including the extent of defects described and instance of potential undetected defects.

This report has been prepared in accordance with and subject to the pre-inspection agreement in place between the parties, which forms part of this Report.

*This Report is prepared for the client identified above and may not be relied on by any other person without our express permission or by the purchase of this Report on our website.*

SPECIAL ATTENTION SHOULD BE GIVEN TO THE SCOPE, LIMITATIONS AND EXCLUSIONS IN YOUR PRE-INSPECTION AGREEMENT AND THIS REPORT

Any of the exclusions or limitations identified for this Report may be the subject of a special-purpose inspection which we recommend being undertaken by an appropriately qualified inspector

### RELIANCE AND DISCLOSURE

This report has been prepared based on conditions at the time of the report.

We own the copyright in this report and may make it available to third parties.

If your Property is in the Australian Capital Territory, you acknowledge we will make certain information about this Report available to the ACT Government for inclusion in the building and pest inspections public register if required under the *Civil Law (Sale of Residential Property) Act 2003*. This will include the fact the report has been prepared, the Property street address, date of the inspection, the name of the person who prepared the report and (if applicable) the entity that employs them.

### UNDETECTED DEFECT RISK RATING

If this Report has identified a medium or high-risk rating for undetected defects, we strongly recommend a further inspection of areas that were inaccessible. This may include an invasive inspection that requires the removal or cutting of walls, floors or ceilings.

*If the Property has been vacant for a period of time, moisture levels or leaks may not be detectable at the time of the inspection because often only frequent use of water pipes (showers, taps etc) result in a leak being identifiable. We advise further testing on pipes and water susceptible areas (such as the bathroom and laundry) after more frequent use has occurred.*

### IMPORTANT SAFETY INFORMATION:

**This is not a report by a licensed plumber or electrician.** We recommend a special-purpose report to detect substandard or illegal plumbing and electrical work at the Property

**This is not a smoke alarm report.** We recommend all existing detectors in the Property be tested and advice sought as to the suitability of number, placement and operation.

**This is not a pest report.** As termites are widespread throughout mainland Australia we recommend annual timber pest inspections.

**This is not an asbestos report.** There are potential products in the Property containing asbestos that will not be identified in this report. In order to accurately identify asbestos, we recommend performing an asbestos inspection, particularly for buildings built prior to 1988.

**This is not a report on safety glass.** Glazing in older homes may not reflect current standards and may cause significant injury if damaged. Exercise caution around the glass in older homes.

**This is not a report on window opening restrictions.** We have not inspected window opening restrictors. Window openings in older buildings may not reflect current standards and can be a potential risk. Window opening restrictors are advised for all second story or above windows with sill heights below 900mm. Some states make this a mandatory requirement. Owners should enquire of their local and state requirements to ensure compliance.

**This is not a report on pool safety.** If a swimming pool is present it should be the subject to a special purpose pool inspection.

**External Timber Structures - Balcony and Decks.** It is strongly recommended that a Structural Engineer is required to assess distributed load capacity of external timber structures such as balconies and decks, alerting users of the load capacity. Regular maintenance and inspections by competent practitioners to assess the ongoing durability of exposed external timber structures are needed.

**This is not a Group Titled Property Report as per AS4349.2.** If you require a report for a Group Titled Property as per this standard, please seek a separate inspection for Group Titled Properties.

## MOISTURE

The identification of moisture, dampness or the evidence of water penetration is dependent on the weather conditions at the time an inspection. The absence of dampness identified in this Report does not necessarily mean the Property will not experience some damp problems in other weather conditions or that roofs, walls or wet areas are watertight.

Where the evidence of water penetration is identified we recommend detailed investigation of waterproofing in the surrounding area monitoring of the affected area over a period of time to fully detect and assess the cause of dampness.

## MAINTENANCE OF THE PROPERTY

This Report is not a warranty or an insurance policy against problems developing with the Property in the future. Accordingly, a preventative maintenance program should be implemented which includes systematic inspections, detection and prevention of issues. Please contact the inspector who carried out this inspection for further advice.

## **NO CERTIFICATION**

- a) The Property has been compared to others of a similar age, construction type and method that had an acceptable level of basic maintenance completed.
- b) We don't advise you about title, ownership or other legal matters like easements, restrictions, covenants and planning laws. None of our inspections constitutes approval by a Building Surveyor, a certificate of occupancy or compliance with any law, regulation or standard, including any comment on whether the Property complies with current Australian Standards, Building Regulations or other legislative requirements.

## **RECTIFICATION COSTS**

We don't provide advice on the costs of rectification or repair unless specifically identified in the scope of the Report. Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, the standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. No liability is accepted for costing advice.